

**PROJECT NARRATIVE**

**HAZELWOOD BREWERY  
5007 LYTTLE STREET  
15<sup>th</sup> WARD, CITY OF PITTSBURGH  
ALLEGHENY COUNTY, PENNSYLVANIA**

*Prepared for:*  
**THE PROGRESS FUND  
425 WEST PITTSBURGH STREET  
GREENSBURG, PENNSYLVANIA 15601**

*Prepared by:*  
**KU RESOURCES, INC.  
22 SOUTH LINDEN STREET  
DUQUESNE, PENNSYLVANIA 15110**

**OCTOBER 1 2020**

## DESCRIPTION OF PROPOSED DEVELOPMENT

The Progress Fund is developing a lot at parcel number 56-K-35 located in the 15<sup>th</sup> Ward of the City of Pittsburgh, Allegheny County, Pennsylvania. The proposed development will include renovations of the existing Ice House (5006 Gloster Street) and the Brewery (5007 Lytle Street). The first phase of the development consists of the renovation of the Brewery. The Ice House renovation will occur in the future and is not included within this scope of work.

The site is located at 5007 Lytle Street in the Hazelwood neighborhood of the City of Pittsburgh. See Figure 1 for the Site Location Map and the Existing Conditions Plan.

The project involves renovation of an existing five story building. Each story will be comprised of the following elements:

- FIRST FLOOR (Production): 3 Production Areas Bay Areas, Mechanical/Sprinkler/electrical Rooms, Elevator/Stairwell, Public Lobby, and Restroom Facilities.
- SECOND FLOOR (Production): Continuation of 3 Production Areas Bay Areas (Storage/Canning) and Lobby/Corridor/Elevator/Stairwell.
- SECOND FLOOR MEZZANINE (THIRD BUILDING FLOOR): Office
- THIRD FLOOR (FOURTH BUILDING FLOOR): Restroom Facilities, Food Service/Preparation Area, Tap Rooms/Gift Shop, and Tasting Room.
- THIRD FLOOR MEZZANINE (FIFTH BUILDING FLOOR): Mezzanine Seating Area and Rooftop Seating Area

According to the Federal Emergency Management Agency, the site is not within a floodway. The existing utilities include a 6-inch water line and a 15-inch combined sewer line, both located in Lytle Street.

## EXISTING SANITARY FLOWS

The building's previous use is as office space for a construction company. The building is currently not occupied. The company employed four (4) full time employees. As such, the daily past sanitary flows are computed as follows:

$$4 \text{ Employees} \times 10 \text{ gpd/employee} = 40 \text{ gpd}$$

Dry weather flow depth was measured at 1.083 ft on 6/1/2020 during dry weather at approximately 2 PM by KU Resources.

**PROPOSED SANITARY FLOWS**

The Progress Fund is proposing to renovate the existing building at 5007 Lytle Street into a brewery/restaurant with new utilities and street scape enhancements. All building’s sanitary lines will connect into an existing 15-inch combination sewer line in Lytle Street.

The daily sanitary flow estimate was determined by applying PA DEP Code Chapter 73.17 Sanitary Sewage Flow Estimates for the following types of establishments:

- Office (Restaurant/Kitchen) Workers – 10 gpd/worker
- Patrons – 3 gpd/patron (kitchen waste only, single-service utensils/patron)
- Factory Workers – 35 gpd/employee

The facility will consist of three (3) separate breweries, each having a tap room associated with the selling and distribution of its respective product. There will not be a restaurant located on the premises. The food preparation area does not contain a hood but will be utilized in the preparation of food items brought from external sources such as food trucks or catering services. Menus and waiters/waitresses will not be provided.

The brewery will utilize 6 full time workers. Beer production waste effluent has been provided by the Master Brewer and a tabularized summary has been provided herein. For patronage, three (3) turnovers has been applied to the waste generation calculation.

Effluent will ultimately be sent to the Allegheny County Sanitation Authority (ALCOSAN). See the attached Pittsburgh Water and Sewer Authority (PWSA) Sewer System map with the route to ALCOSAN highlighted.

The daily projected sanitary flows are computed as follows (please refer to architectural drawings for floor areas of respective uses):

**FIRST FLOOR**

- 1) Factory (Brewery Staff) Workers

6 workers x 35 gpd/worker = **210 gpd**

- 2) Brewery Operation Waste Generation:

Cleaning of Beer Eqp: 7 BBL	720 gpd	4 gpm for an hour max @ 3 uses per day
Cleaning of Beer Eqp: 7 BBL	720 gpd	4 gpm for an hour max @ 3 uses per day

Cleaning of Beer Eq: 7 BBL	720 gpd	4 gpm for an hour max @ 3 uses per day
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Total = **2,370 gpd**

**SECOND FLOOR**

(Included in First Floor tabulation)

**SECOND FLOOR MEZZANINE (THIRD BUILDING FLOOR)**

Factory worker included in First Floor tabulation.

3) Office Worker

10 gpd x 6 office workers = **60 gpd**

**THIRD FLOOR (FOURTH BUILDING FLOOR)**

4) Condensate Return (per Architect)

Condensate				
air flow	4241	cfm		
Entering specific humidity	79.77	gr/lb	0.0114	lbm/lbair
Leaving specific humidity	66.11	gr/lb	0.0094	lbm/lbair
density of air	13.99	ft <sup>3</sup> /lb	Entering Conditions	
Condensate	0.0709	gpm		
	4.26	gph		
	<b>102</b>	<b>gpd</b>		

5) Patrons

98 Patrons x 5 gpd x 3 turnovers = **1,470 gpd**



**Note that the tasting room patrons are not consumers of restaurant food as the facility does not have a restaurant (s) on the premises. Also, customers purchasing items in the Tap Room/Gift Shop will not be able to consume beverages within the room itself. The Owner will not permit consumption/loitering of customers upon item purchase in this area as it will deter additional purchases to be made as the area would become over crowded. Customers will be directed to one of the areas providing seating upon making a purchase.**

**THIRD FLOOR MEZZANINE AND ROOF DECK (FIFTH BUILDING FLOOR)**

6) Patrons

101 Patrons x 5 gpd X 3 turnovers = **1,515 gpd**

**TOTAL OF ALL FLOORS = 5,727 gpd (14.32 EDUs)**

The daily water consumption totals for beer production and cleaning are computed as follows (please refer to architectural drawings for floor areas of respective uses):

**BREWERY/CLEANING PRODUCTION WATER CONSUMPTION**

Production of Beer: 7 BBL	1449 gpd	3 Breweries x 23 gal/BBL x 3 Batches/day
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**TOTAL = 1,449 gpd**

**Based on a comparison of previous and proposed flows, a PADEP Planning Module is anticipated to be required.**

**STORMWATER CONVEYANCE**

Storm water management is required on the site due to the City of Pittsburgh’s Stormwater Ordinance and applicable PADEP requirements indicating that post-development flows will not exceed pre-development flows. Additional stormwater runoff created by the development will be managed on site by a subsurface stormwater detention system beneath the parking lot. Stormwater will be routed to the subsurface stormwater detention system through a system of yard drains, trench drains, and roof leader connections. The proposed systems are designed to effectively manage the increase in stormwater runoff due to the development’s increase in impervious surfaces. Stormwater will be conveyed to the existing PWSA combined sewer per the approved Tap-in Plan Drawings.

## **MLCS PIPE FLOW MEASUREMENT/ SLOPE DETERMINATION DESCRIPTION**

PWSA Manhole MH056J006 and junction JCT56J002 were used as the up and downstream nodes for determining the most limited capacity sewer (MLCS; 57", brick) flow per direction provided by the PWSA in the Water and Sewer (W/S) Use Approval letter dated May 27, 2020.

### Depth of Flow Measurement Description

On September 24, 2020, at approximately 7:45 AM, a survey crew from KU Resources visited the project site and measured the depth of flow at manhole MH056J006 using a stadia rod. The depth of flow was measured at 5 inches or 0.40 feet.

### Pipe Slope Determination

The slope of the 57", brick PWSA sewer pipe was determined by calculating the differences in the up and downstream inverts of Manhole MH056J006 (738.90) and Junction JCT 56J002 (737.40) over the length (50.57') between MH056J006 and JCT56J002 as provided in the spreadsheet provided by the PWSA in the Water and Sewer (W/S) Use Approval letter dated May 27, 2020.

## **ALTERNATIVE SEWAGE FACILITIES ANALYSIS**

1. Describe the chosen disposal method, its location, the daily flow proposed and if the method is an interim method (to be replaced by the ultimate method in 5 years or less), or is an ultimate method (to serve the development in the long term, for 5 years or more). Provide a description of how the chosen method will provide compliance with effluent limitations. Also provide the number of lots or EDU's that will be served.

ALCOSAN Treatment Facility. Credit for previous flows is 40 gpd so net flows is 5,727 gpd – 40 gpd = 5,687 gpd or 14.2 new EDUs.

2. Describe the types of land uses adjacent to the project area (Agricultural, Residential, Commercial etc.) and the type of sewage disposal method serving each of those land uses. Properties adjacent to the project must be described by indicating present land uses and zoning designations. Describe the sewage disposal methods being used for each of those adjacent land uses (onlot, municipal treatment, etc.) and if those methods are intended for interim or ultimate use.

The adjacent land uses are a mix of residential and commercial. Sanitary flows from the existing location ultimately flow into the same interceptor.

3. Indicate if the sewage facilities described in (2) are in need of improvement due to noncompliance with effluent limitations, high rates of on-lot malfunction or overloaded public sewers. Is there a potential for a combined public/private project?

No potential for combined public/private project.

4. Determine and indicate what sewage disposal method is proposed for the development area in the municipality's Official Sewage Facilities Plan (such as: on-lot disposal systems, public sewers, etc.).

Public sewers (ALCOSAN).

5. Describe any existing sewage management program(s) in the area, and/or any sewage management program(s) that this project would be required to participate in, and that program's requirements.

ALCOSAN's Wet Weather Plan (WWP).

6. Describe any potential alternative sewage disposal methods that are available for the project. Consider all reasonable possibilities for sewage disposal, such as a stream discharge or an alternate method of land disposal. The municipality, delegated local agency or DEP may also require consideration of particular types of sewage disposal methods in the analysis. The chosen method must assure that applicable water quality standards are attained.

None.

7. Describe why the proposed method was chosen over any of the other methods described in the alternatives analysis. Environmental, administrative, and financial concerns may be addressed. Also indicate how the chosen method will guarantee adequate sewage disposal, including compliance with applicable water quality standards and effluent limitations, for the development in both the short-term (up to 5 years) and long-term (beyond 5 years) by describing the adequacy of the proposed facilities (organic and hydraulic loading) and the ability of the facility to accept additional flows or loads.

NA

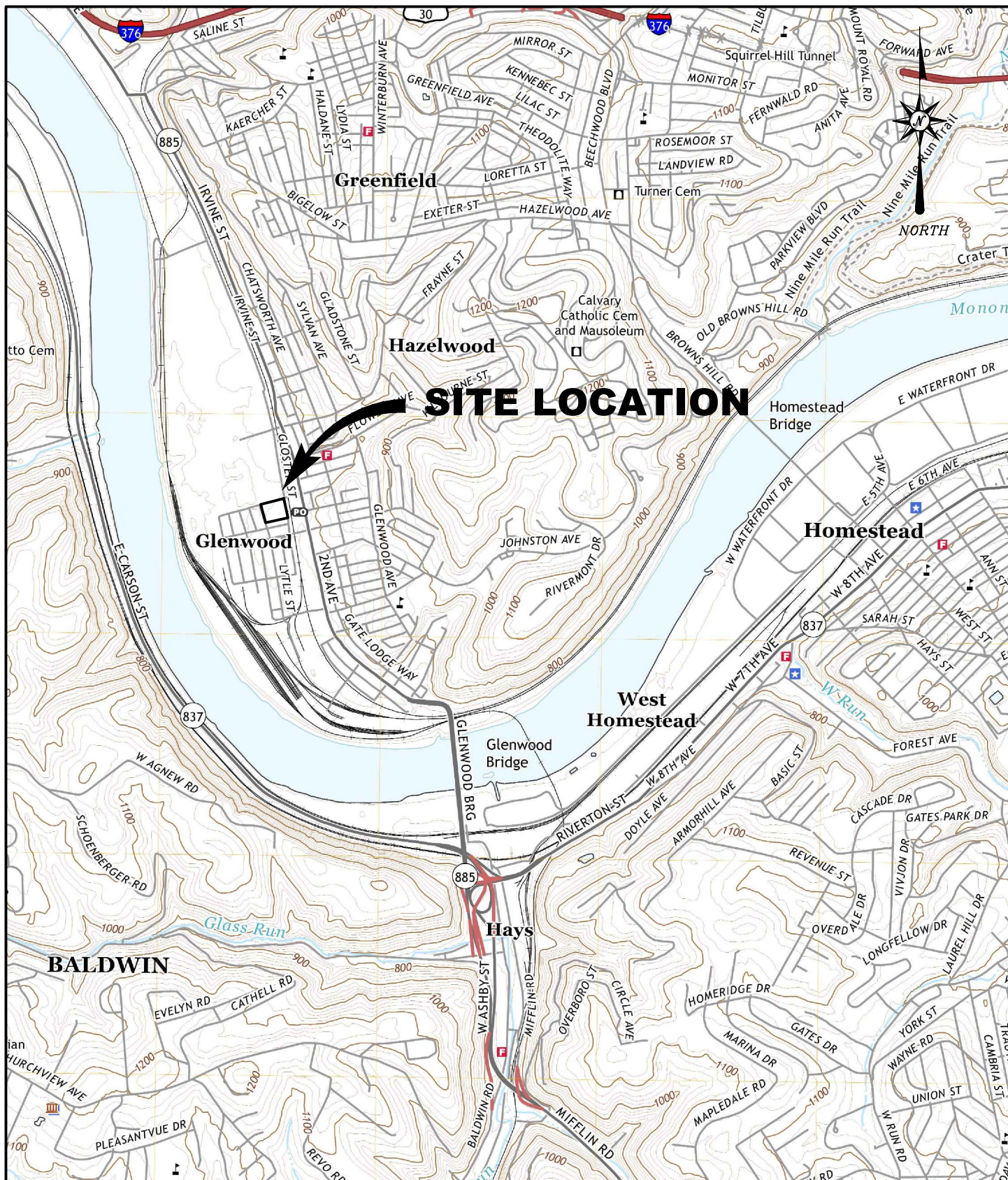
8. Indicate who will be the owner of the facility, and who will be responsible for operation and maintenance of the facility and ultimately compliance with applicable water quality standards and effluent limitations.

Public sewers (ALCOSAN).

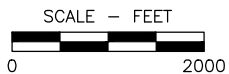
9. Finally, the applicant may use the narrative to describe any special considerations or provide any additional information that supports the choice of disposal method. The alternatives analysis must be attached to the planning module package for review by the municipality and approving agency.

NA





REFERENCE:  
 USGS 7.5-MIN TOPOGRAPHIC  
 QUADRANGLE PITTSBURGH EAST,  
 PENNSYLVANIA, DATED 2019.



**FIGURE 1**  
 SITE LOCATION MAP  
 HAZELWOOD BREWERY 5007 LYTLE STREET  
 LYTLE STREET  
 ALLEGHENY COUNTY, PENNSYLVANIA  
 PREPARED FOR  
 THE PROGRESS FUND  
 GREENSBURG, PENNSYLVANIA

APPROVED	TOM 01/22/2020
CHECKED	TOM 01/22/2020
DRAWN	APB 01/22/2020
CAD FILE NO.	19243A001
PROJECT NO.	TPF19243GSR



**KU Resources, Inc.**  
 22 South Linden Street  
 Duquesne, PA 15110  
 412.469.9331  
 412.469.9336 fax  
[www.kuresources.com](http://www.kuresources.com)





Network Trace

Input Output

Upstream

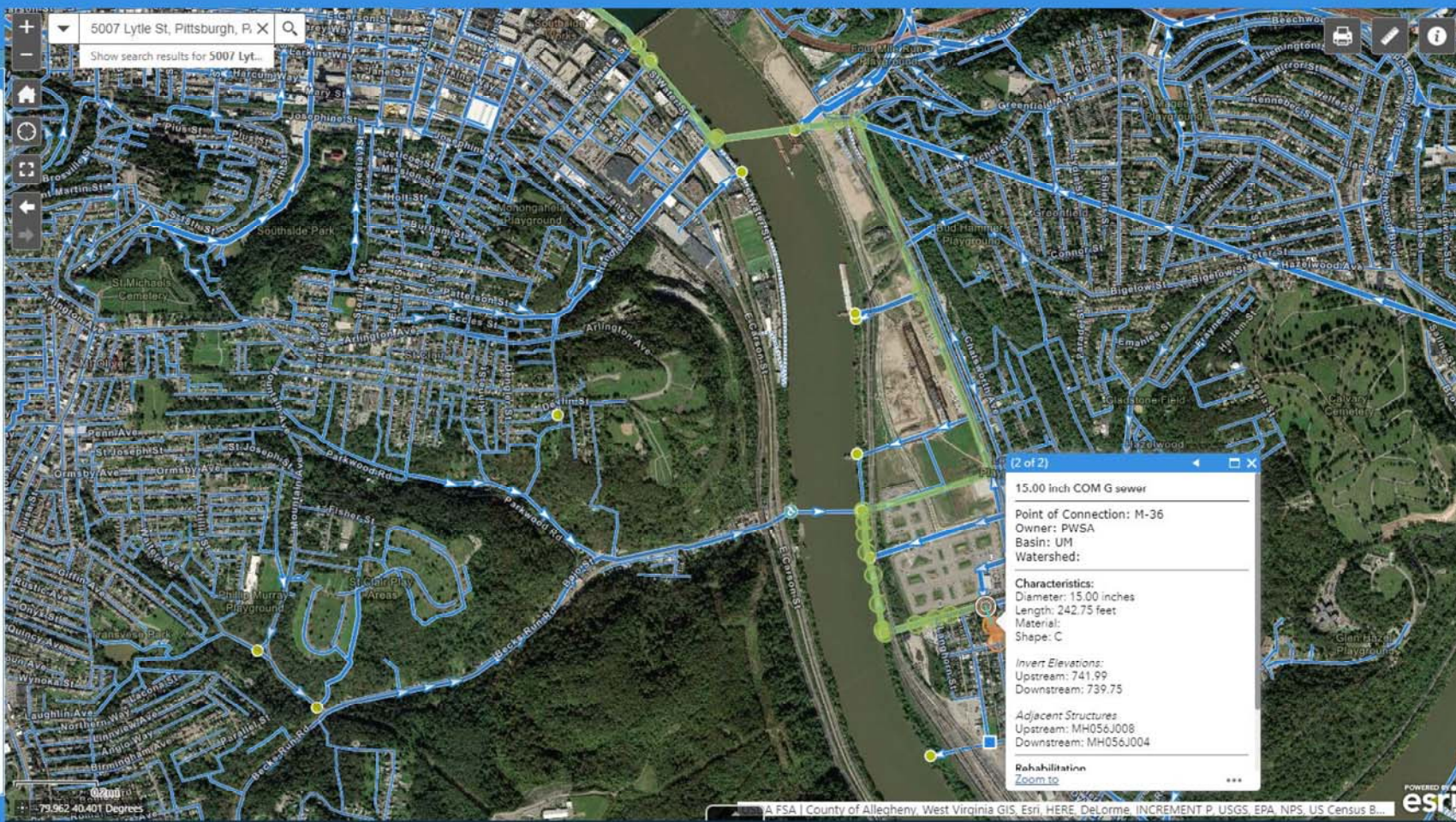
# of Structures: 4  
Total Length: 666.46 ft  
Inch-Miles: 1.89

Downstream

# of Structures: 79  
Total Length: 45853.12 ft  
Inch-Miles: 758.19

- Upstream Pipes (4) >
- Downstream Pipes (85) >
- Downstream Structures (79) >
- Upstream Structures (4) >

Export To CSV







5007 Lytle St, Pittsburgh, P. X

Show search results for 5007 Lytle...

Network Trace

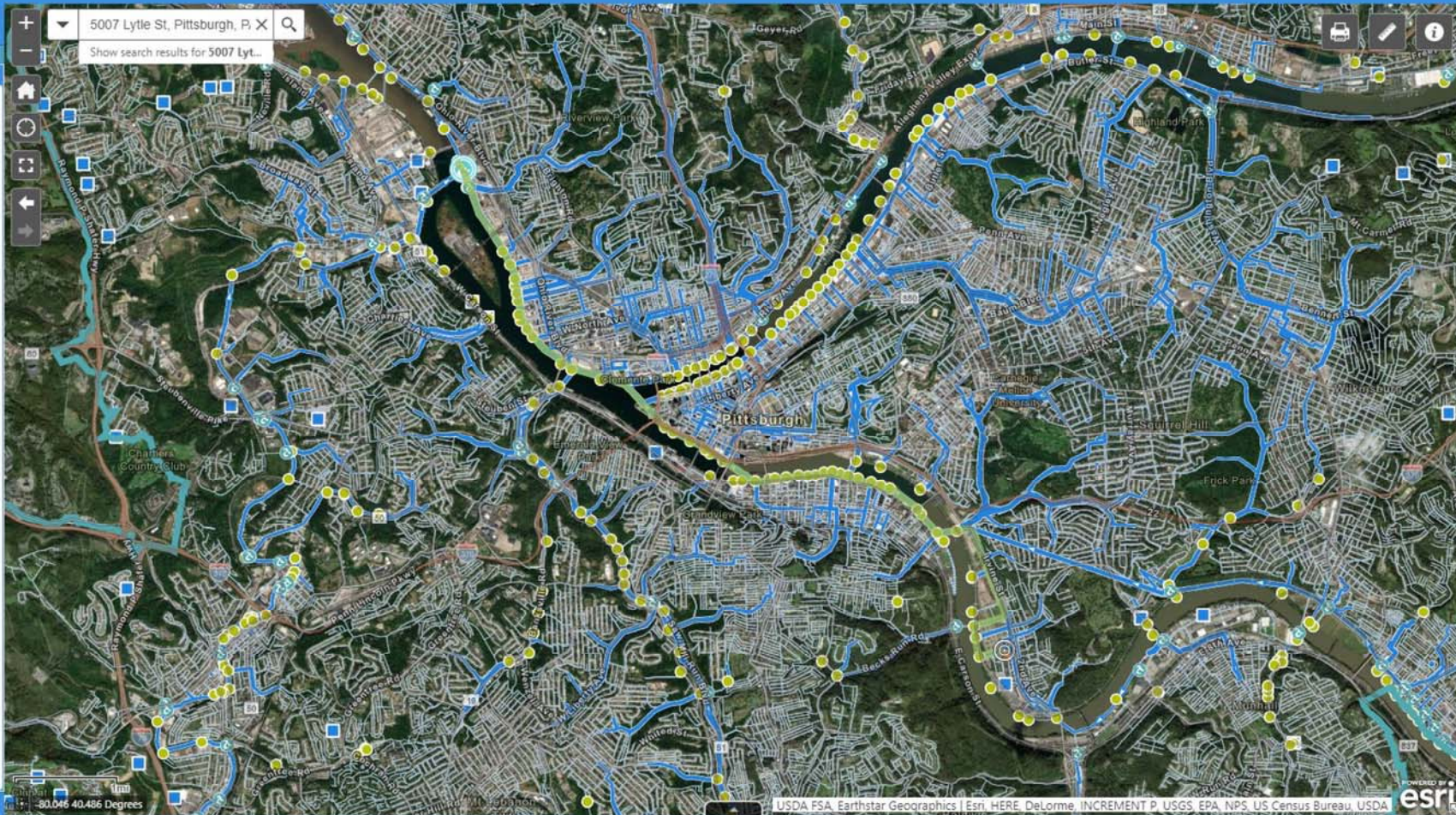
Input Output

Upstream  
# of Structures: 4  
Total Length: 666.46 ft  
Inch-Miles: 1.89

Downstream:  
# of Structures: 79  
Total Length: 45853.12 ft  
Inch-Miles: 758.19

- Upstream Pipes (4) >
- Downstream Pipes (85) >
- Downstream Structures (79) >
- Upstream Structures (4) >

Export To CSV



30.046 40.486 Degrees





Network Trace

Input Output

Upstream

# of Structures: 4  
Total Length: 666.46 ft  
Inch-Miles: 1.89

Downstream:

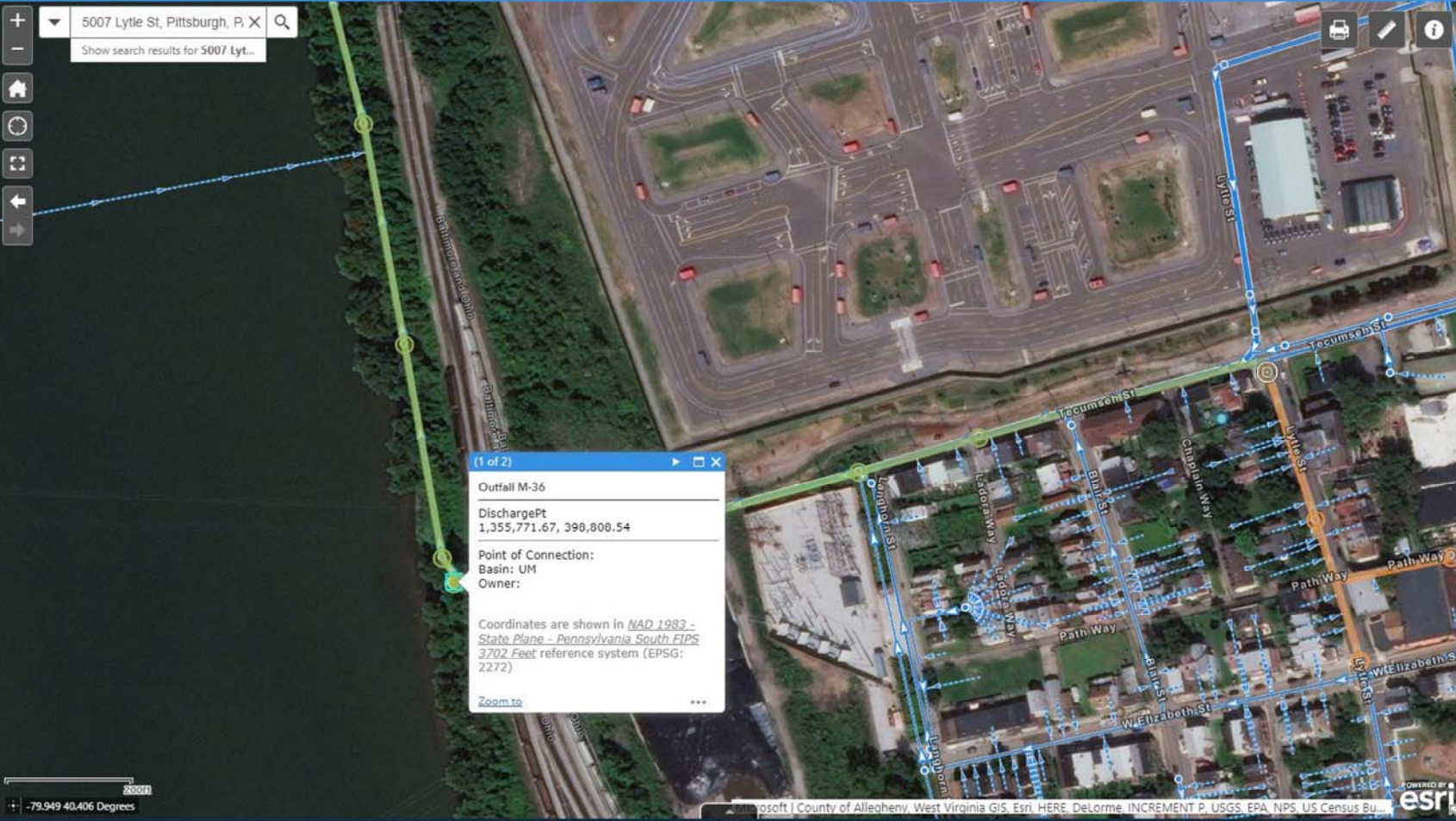
# of Structures: 79  
Total Length: 45853.12 ft  
Inch-Miles: 758.19

- Upstream Pipes (4) >
- Downstream Pipes (85) >
- Downstream Structures (79) >
- Upstream Structures (4) >

Export To CSV

5007 Lytle St, Pittsburgh, P. X

Show search results for 5007 Lyt...



(1 of 2)

**Outfall M-36**

DischargePt  
1,355,771.67, 398,808.54

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Point of Connection:  
Basin: UM  
Owner:

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Coordinates are shown in *NAD 1983 - State Plane - Pennsylvania South FIPS 3702 Feet* reference system (EPSG: 2272)

Zoom to ...

200ft  
-79.949 40.406 Degrees





COMMONWEALTH OF PENNSYLVANIA  
DEPARTMENT OF ENVIRONMENTAL PROTECTION  
BUREAU OF POINT AND NON-POINT SOURCE MANAGEMENT

Code No.

## SEWAGE FACILITIES PLANNING MODULE

### Component 3. Sewage Collection and Treatment Facilities

(Return completed module package to appropriate municipality)

#### DEP USE ONLY

DEP CODE #	CLIENT ID #	SITE ID #	APS ID #	AUTH ID #
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This planning module component is used to fulfill the planning requirements of Act 537 for the following types of projects: (1) a subdivision to be served by sewage collection, conveyance or treatment facilities, (2) a tap-in to an existing collection system with flows on a lot of 2 EDU's or more, or (3) the construction of, or modification to, wastewater collection, conveyance or treatment facilities that will require DEP to issue or modify a Clean Streams Law permit. Planning for any project that will require DEP to issue or modify a permit cannot be processed by a delegated agency. Delegated agencies must send their projects to DEP for final planning approval.

This component, along with any other documents specified in the cover letter, must be completed and submitted to the municipality with jurisdiction over the project site for review and approval. All required documentation must be attached for the Sewage Facilities Planning Module to be complete. Refer to the instructions for help in completing this component.

**REVIEW FEES:** Amendments to the Sewage Facilities Act established fees to be paid by the developer for review of planning modules for land development. These fees may vary depending on the approving agency for the project (DEP or delegated local agency). Please see section R and the instructions for more information on these fees.

**NOTE:** All projects must complete Sections A through I, and Sections O through R. Complete Sections J, K, L, M and/or N if applicable or marked .

#### A. PROJECT INFORMATION (See Section A of instructions)

1. Project Name Hazelwood Brewery (5007 Lytle Street)

2. Brief Project Description Renovation of existing building into brewery (81-A-44, 81-A-45, 81-A-46 & 81-A-47) in the Hazelwood neighborhood of the City of Pittsburgh (15<sup>th</sup> Ward) .

#### B. CLIENT (MUNICIPALITY) INFORMATION (See Section B of instructions)

Municipality Name	County	City	Boro	Twp
15 <sup>th</sup> Ward, City of Pittsburgh	Allegheny	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Municipality Contact Individual - Last Name	First Name	MI	Suffix	Title
Battistone	Martina			
Additional Individual Last Name	First Name	MI	Suffix	Title
Municipality Mailing Address Line 1	Mailing Address Line 2			
200 Ross Street	Suite 4			
Address Last Line -- City	State	ZIP+4		
Pittsburgh	PA	15219		
Area Code + Phone + Ext.	FAX (optional)	Email (optional)		
412-255-2516				

**C. SITE INFORMATION** (See Section C of instructions)

**Site (Land Development or Project) Name**

Hazelwood Brewery (5007) Lytle Street

Site Location Line 1

5007 Lytle Street

Site Location Line 2

Site Location Last Line -- City

Pittsburgh

State

PA

ZIP+4

15207

Latitude

40.407667

Longitude

-79.945597

Detailed Written Directions to Site

Description of Site Site is located near the intersection of Lytle and Tecumseh Street.

**Site Contact (Developer/Owner)**

Last Name

Kahley

First Name

David

MI Suffix

Phone

724-216-9160

Ext.

Site Contact Title

Site Contact Firm (if none, leave blank)

The Progress Fund

FAX

Email

dkahley@progressfund.com

Mailing Address Line 1

425 W Pittsburgh Street

Mailing Address Line 2

Mailing Address Last Line -- City

Greensburg

State

PA

ZIP+4

15601

**D. PROJECT CONSULTANT INFORMATION** (See Section D of instructions)

Last Name

Smith

First Name

Robert

MI

L

Suffix

Title

Consulting Firm Name

Project Manager

KU Resources, Inc.

Mailing Address Line 1

22 South Linden Street

Mailing Address Line 2

Address Last Line -- City

Duquesne

State

PA

ZIP+4

15110

Country

US

Email

bsmith@kuresources.com

Area Code + Phone

412-469-9331

Ext.

1019

Area Code + FAX

412-469-9336

**E. AVAILABILITY OF DRINKING WATER SUPPLY**

The project will be provided with drinking water from the following source: (Check appropriate box)

- Individual wells or cisterns.
- A proposed public water supply.
- An existing public water supply.

If existing public water supply is to be used, provide the name of the water company and attach documentation from the water company stating that it will serve the project.

Name of water company: Pittsburgh Water & Sewer Authority

**F. PROJECT NARRATIVE** (See Section F of instructions)

- A narrative has been prepared as described in Section F of the instructions and is attached.

The applicant may choose to include additional information beyond that required by Section F of the instructions.

**G. PROPOSED WASTEWATER DISPOSAL FACILITIES** (See Section G of instructions)

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter 93 (relating to wastewater treatment requirements).

**1. COLLECTION SYSTEM**

a. Check appropriate box concerning collection system

- New collection system     Pump Station     Force Main  
 Grinder pump(s)     Extension to existing collection system     Expansion of existing facility

Clean Streams Law Permit Number \_\_\_\_\_

b. Answer questions below on collection system

Number of EDU's and proposed connections to be served by collection system. EDU's 14.2 9.72

Connections 1

Name of:

existing collection or conveyance system Lytle Street - 15"

owner Pittsburgh Water & Sewer Authority

existing interceptor Monongahela River

owner ALCOSAN

**2. WASTEWATER TREATMENT FACILITY**

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter(s) 91 (relating to general provisions), 92 (relating to national Pollution Discharge Elimination System permitting, monitoring and compliance) and 93 (relating to water quality standards).

a. Check appropriate box and provide requested information concerning the treatment facility

- New facility     Existing facility     Upgrade of existing facility     Expansion of existing facility

Name of existing facility ALCOSAN Woods Run WWTP

NPDES Permit Number for existing facility ~~2596854~~ PA 0025984

Clean Streams Law Permit Number \_\_\_\_\_

Location of discharge point for a new facility. Latitude \_\_\_\_\_ Longitude \_\_\_\_\_

b. The following certification statement must be completed and signed by the wastewater treatment facility permittee or their representative.

As an authorized representative of the permittee, I confirm that the ALCOSAN  
(Name from above) sewage treatment facilities can accept sewage flows from this project without adversely affecting the facility's ability to achieve all applicable technology and water quality based effluent limits (see Section I) and conditions contained in the NPDES permit identified above.

Name of Permittee Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent W.D. Latta

Agent Signature [Signature] Date 2/23/2021

(Also see Section I. 4.)

**G. PROPOSED WASTEWATER DISPOSAL FACILITIES (Continued)**

**3. PLOT PLAN**

The following information is to be submitted on a plot plan of the proposed subdivision.

- a. Existing and proposed buildings.
- b. Lot lines and lot sizes.
- c. Adjacent lots.
- d. Remainder of tract.
- e. Existing and proposed sewerage facilities. Plot location of discharge point, land application field, spray field, COLDS, or LVCOLDS if a new facility is proposed.
- f. Show tap-in or extension to the point of connection to existing collection system (if applicable).
- g. Existing and proposed water supplies and surface water (wells, springs, ponds, streams, etc.)
- h. Existing and proposed rights-of-way.
- i. Existing and proposed buildings, streets, roadways, access roads, etc.
- j. Any designated recreational or open space area.
- k. Wetlands - from National Wetland Inventory Mapping and USGS Hydric Soils Mapping.
- l. Flood plains or Flood prone areas, floodways, (Federal Flood Insurance Mapping)
- m. Prime Agricultural Land.
- n. Any other facilities (pipelines, power lines, etc.)
- o. Orientation to north.
- p. Locations of all site testing activities (soil profile test pits, slope measurements, permeability test sites, background sampling, etc. (if applicable).
- q. Soils types and boundaries when a land based system is proposed.
- r. Topographic lines with elevations when a land based system is proposed

**4. WETLAND PROTECTION**

YES NO

- a.   Are there wetlands in the project area? If yes, ensure these areas appear on the plot plan as shown in the mapping or through on-site delineation.
- b.   Are there any construction activities (encroachments, or obstructions) proposed in, along, or through the wetlands? If yes, Identify any proposed encroachments on wetlands and identify whether a General Permit or a full encroachment permit will be required. If a full permit is required, address time and cost impacts on the project. Note that wetland encroachments should be avoided where feasible. Also note that a feasible alternative **MUST BE SELECTED** to an identified encroachment on an exceptional value wetland as defined in Chapter 105. Identify any project impacts on streams classified as HQ or EV and address impacts of the permitting requirements of said encroachments on the project.

**5. PRIME AGRICULTURAL LAND PROTECTION**

YES NO

- Will the project involve the disturbance of prime agricultural lands?  
If yes, coordinate with local officials to resolve any conflicts with the local prime agricultural land protection program. The project must be consistent with such municipal programs before the sewage facilities planning module package may be submitted to DEP.  
If no, prime agricultural land protection is not a factor to this project.
- Have prime agricultural land protection issues been settled?

**6. HISTORIC PRESERVATION ACT**

YES NO

- Sufficient documentation is attached to confirm that this project is consistent with DEP Technical Guidance 012-0700-001 *Implementation of the PA State History Code* (available online at the DEP website at [www.dep.state.pa.us](http://www.dep.state.pa.us), select "subject" then select "technical guidance"). As a minimum this includes copies of the completed Cultural Resources Notice

(CRN), a return receipt for its submission to the PHMC and the PHMC review letter.

**7. PROTECTION OF RARE, ENDANGERED OR THREATENED SPECIES**

Check one:

- The "Pennsylvania Natural Diversity Inventory (PNDI) Project Environmental Review Receipt" resulting from my search of the PNDI database and all supporting documentation from jurisdictional agencies (when necessary) is/are attached.
- A completed "Pennsylvania Natural Diversity Inventory (PNDI) Project Planning & Environmental Review Form," (PNDI Form) available at [www.naturalheritage.state.pa.us](http://www.naturalheritage.state.pa.us), and all required supporting documentation is attached. I request DEP staff to complete the required PNDI search for my project. I realize that my planning module will be considered incomplete upon submission to the Department and that the DEP review will not begin, and that processing of my planning module will be delayed, until a "PNDI Project Environmental Review Receipt" and all supporting documentation from jurisdictional agencies (when necessary) is/are received by DEP.

Applicant or Consultant Initials \_\_\_\_\_.

**H. ALTERNATIVE SEWAGE FACILITIES ANALYSIS** (See Section H of instructions)

- An alternative sewage facilities analysis has been prepared as described in Section H of the attached instructions and is attached to this component.  
The applicant may choose to include additional information beyond that required by Section H of the attached instructions.

**I. COMPLIANCE WITH WATER QUALITY STANDARDS AND EFFLUENT LIMITATIONS** (See Section I of instructions) (Check and complete all that apply.)

**1. Waters designated for Special Protection**

- The proposed project will result in a new or increased discharge into special protection waters as identified in Title 25, Pennsylvania Code, Chapter 93. The Social or Economic Justification (SEJ) required by Section 93.4c. is attached.

**2. Pennsylvania Waters Designated As Impaired**

- The proposed project will result in a new or increased discharge of a pollutant into waters that DEP has identified as being impaired by that pollutant. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss water quality based discharge limitations.

**3. Interstate and International Waters**

- The proposed project will result in a new or increased discharge into interstate or international waters. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss effluent limitations necessary to meet the requirements of the interstate or international compact.

**4. Tributaries To The Chesapeake Bay**

- The proposed project result in a new or increased discharge of sewage into a tributary to the Chesapeake Bay. This proposal for a new sewage treatment facility or new flows to an existing facility includes total nitrogen and total phosphorus in the following amounts: \_\_\_\_\_ pounds of TN per year, and \_\_\_\_\_ pounds of TP per year. Based on the process design and effluent limits, the total nitrogen treatment capacity of the wastewater treatment facility is \_\_\_\_\_ pounds per year and the total phosphorus capacity is \_\_\_\_\_ pounds per year as determined by the wastewater treatment facility permittee. The permittee has determined that the additional TN and TP to be contributed by this project (as modified by credits and/or offsets to be provided) will not cause the discharge to exceed the annual total mass limits for these parameters. Documentation of compliance with nutrient allocations is attached.

Name of Permittee Agency, Authority, Municipality \_\_\_\_\_

Initials of Responsible Agent (See Section G 2.b) \_\_\_\_\_

See *Special Instructions* (Form 3800-FM-BPNPSM0353-1) for additional information on Chesapeake Bay watershed requirements.



**J. CHAPTER 94 CONSISTENCY DETERMINATION** (See Section J of instructions)

Projects that propose the use of existing municipal collection, conveyance or wastewater treatment facilities, or the construction of collection and conveyance facilities to be served by existing municipal wastewater treatment facilities must be consistent with the requirements of Title 25, Chapter 94 (relating to Municipal Wasteload Management). If not previously included in Section F, include a general map showing the path of the sewage to the treatment facility. If more than one municipality or authority will be affected by the project, please obtain the information required in this section for each. Additional sheets may be attached for this purpose.

1. Project Flows 3887 gpd
2. Total Sewage Flows to Facilities (pathway from point of origin through treatment plant)

When providing "treatment facilities" sewage flows, use Annual Average Daily Flow for "average" and Maximum Monthly Average Daily Flow for "peak" in all cases. For "peak flows" in "collection" and "conveyance" facilities, indicate whether these flows are "peak hourly flow" or "peak instantaneous flow" and how this figure was derived (i.e., metered, measured, estimated, etc.).

- a. Enter average and peak sewage flows for each proposed or existing facility as designed or permitted.
- b. Enter the average and peak sewage flows for the most restrictive sections of the existing sewage facilities.
- c. Enter the average and peak sewage flows, projected for 5 years (2 years for pump stations) through the most restrictive sections of the existing sewage facilities. Include existing, proposed (this project) and future project (other approved projects) flows.

To complete the table, refer to the instructions, Section J.

	a. Design and/or Permitted Capacity (gpd)		b. Present Flows (gpd)		c. Projected Flows in 5 years (gpd) (2 years for P.S.)	
	Average	Peak	Average	Peak	Average	Peak
Collection	58,891,798	206,121,293	4,792,616	16,774,157	5,033,413	17,616,947
Conveyance		<u>2.36 mgd</u>	<u>0.76</u>	<u>0.82</u>	<u>0.76</u>	<u>0.82</u>
Treatment	<u>209.3</u>	<u>250 mgd</u>	<u>209.3</u>	<u>250 mgd</u>	<u>219.7 mgd</u>	<u>295 mgd</u>

3. Collection and Conveyance Facilities

The questions below are to be answered by the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities. These questions should be answered in coordination with the latest Chapter 94 annual report and the above table. The individual(s) signing below must be legally authorized to make representation for the organization.

YES  NO

- a.   This project proposes sewer extensions or tap-ins. Will these actions create a hydraulic overload within five years on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until all inconsistencies with Chapter 94 are resolved or unless there is an approved Corrective Action Plan (CAP) granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the module package.

If no, a representative of the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not affect that status.

b. Collection System

Name of Agency, Authority, Municipality Pittsburgh Water & Sewer Authority

Name of Responsible Agent Barry King, PE, PMP

Agent Signature  Date 1/27/2021

**J. CHAPTER 94 CONSISTENCY DETERMINATION** (See Section J of instructions)

c. Conveyance System

Name of Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent \_\_\_\_\_

Agent Signature \_\_\_\_\_

Date 2/23/2021

4. Treatment Facility

The questions below are to be answered by a representative of the facility permittee in coordination with the information in the table and the latest Chapter 94 report. The individual signing below must be legally authorized to make representation for the organization.

YES NO

- a.  YES  NO This project proposes the use of an existing wastewater treatment plant for the disposal of sewage. Will this action create a hydraulic or organic overload within 5 years at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this inconsistency with Chapter 94 is resolved or unless there is an approved CAP granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the planning module.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not impact that status.

b. Name of Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent \_\_\_\_\_

Agent Signature \_\_\_\_\_

Date 2/23/2021

**K. TREATMENT AND DISPOSAL OPTIONS** (See Section K of instructions)

This section is for land development projects that propose construction of wastewater treatment facilities. Please note that, since these projects require permits issued by DEP, these projects may **NOT** receive final planning approval from a delegated local agency. Delegated local agencies must send these projects to DEP for final planning approval.

Check the appropriate box indicating the selected treatment and disposal option.

1. Spray irrigation (other than individual residential spray systems (IRSIS)) or other land application is proposed, and the information requested in Section K.1. of the planning module instructions are attached.
2. Recycle and reuse is proposed and the information requested in Section K-2 of the planning module instructions is attached.
3. A discharge to a dry stream channel is proposed, and the information requested in Section K.3. of the planning module instructions are attached.
4. A discharge to a perennial surface water body is proposed, and the information requested in Section K.4. of the planning module instructions are attached.

**L. PERMEABILITY TESTING** (See Section L of instructions)

- The information required in Section L of the instructions is attached.

**M. PRELIMINARY HYDROGEOLOGIC STUDY** (See Section M of instructions)

**N. DETAILED HYDROGEOLOGIC STUDY** (See Section N of instructions)

The detailed hydrogeologic information required in Section N. of the instructions is attached.

**O. SEWAGE MANAGEMENT** (See Section O of instructions)

**(1-3 for completion by the developer(project sponser), 4-5 for completion by the non-municipal facility agent and 6 for completion by the municipality)**

Yes No

1.   Is connection to, or construction of, a DEP permitted, non-municipal sewage facility or a local agency permitted, community onlot sewage facility proposed.

If Yes, respond to the following questions, attach the supporting analysis, and an evaluation of the options available to assure long-term proper operation and maintenance of the proposed non-municipal facilities. If No, skip the remainder of Section O.

2. Project Flows \_\_\_\_\_ gpd

Yes No

3.   Is the use of nutrient credits or offsets a part of this project?

If yes, attach a letter of intent to purchase the necessary credits and describe the assurance that these credits and offsets will be available for the remaining design life of the non-municipal sewage facility;

**(For completion by non-municipal facility agent)**

4. Collection and Conveyance Facilities

The questions below are to be answered by the organization/individual responsible for the non-municipal collection and conveyance facilities. The individual(s) signing below must be legally authorized to make representation for the organization.

Yes No

a.   If this project proposes sewer extensions or tap-ins, will these actions create a hydraulic overload on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, a representative of the organization responsible for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with Chapter 71 §71.53(d)(3) and that this proposal will not affect that status.

b. Collection System

Name of Responsible Organization \_\_\_\_\_

Name of Responsible Agent \_\_\_\_\_

Agent Signature \_\_\_\_\_

Date \_\_\_\_\_

c. Conveyance System

Name of Responsible Organization \_\_\_\_\_

Name of Responsible Agent \_\_\_\_\_

Agent Signature \_\_\_\_\_

Date \_\_\_\_\_



5. Treatment Facility

The questions below are to be answered by a representative of the facility permittee. The individual signing below must be legally authorized to make representation for the organization.

Yes No

- a.   If this project proposes the use of an existing non-municipal wastewater treatment plant for the disposal of sewage, will this action create a hydraulic or organic overload at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with §71.53(d)(3) and that this proposal will not impact that status.

- b. Name of Facility \_\_\_\_\_  
Name of Responsible Agent \_\_\_\_\_  
Agent Signature \_\_\_\_\_  
Date \_\_\_\_\_

**(For completion by the municipality)**

6.  The **SELECTED OPTION** necessary to assure long-term proper operation and maintenance of the proposed non-municipal facilities is clearly identified with documentation attached in the planning module package.

**P. PUBLIC NOTIFICATION REQUIREMENT** (See Section P of instructions)

This section must be completed to determine if the applicant will be required to publish facts about the project in a newspaper of general circulation to provide a chance for the general public to comment on proposed new land development projects. This notice may be provided by the applicant or the applicant's agent, the municipality or the local agency by publication in a newspaper of general circulation within the municipality affected. Where an applicant or an applicant's agent provides the required notice for publication, the applicant or applicant's agent shall notify the municipality or local agency and the municipality and local agency will be relieved of the obligation to publish. The required content of the publication notice is found in Section P of the instructions.

To complete this section, each of the following questions must be answered with a "yes" or "no". Newspaper publication is required if any of the following are answered "yes".

**Yes No**

1.   Does the project propose the construction of a sewage treatment facility ?  
2.   Will the project change the flow at an existing sewage treatment facility by more than 50,000 gallons per day?  
3.   Will the project result in a public expenditure for the sewage facilities portion of the project in excess of \$100,000?  
4.   Will the project lead to a major modification of the existing municipal administrative organizations within the municipal government?  
5.   Will the project require the establishment of *new* municipal administrative organizations within the municipal government?  
6.   Will the project result in a subdivision of 50 lots or more? (onlot sewage disposal only)  
7.   Does the project involve a major change in established growth projections?  
8.   Does the project involve a different land use pattern than that established in the municipality's Official Sewage Plan?

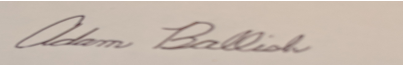
**P. PUBLIC NOTIFICATION REQUIREMENT cont'd.** (See Section P of instructions)

- 9.   Does the project involve the use of large volume onlot sewage disposal systems (Flow > 10,000 gpd)?
- 10.   Does the project require resolution of a conflict between the proposed alternative and consistency requirements contained in §71.21(a)(5)(i), (ii), (iii)?
- 11.   Will sewage facilities discharge into high quality or exceptional value waters?
- Attached is a copy of:
  - the public notice,
  - all comments received as a result of the notice,
  - the municipal response to these comments.
- No comments were received. A copy of the public notice is attached.

**Q. FALSE SWEARING STATEMENT** (See Section Q of instructions)

I verify that the statements made in this component are true and correct to the best of my knowledge, information and belief. I understand that false statements in this component are made subject to the penalties of 18 PA C.S.A. §4904 relating to unsworn falsification to authorities.

Adam Ballish



Name (Print)

Signature

Engineer

07/22/20

Title

Date

22 South Linden Street, Duquesne, PA 15110

4124699331

Address

Telephone Number

**R. REVIEW FEE** (See Section R of instructions)

The Sewage Facilities Act establishes a fee for the DEP planning module review. DEP will calculate the review fee for the project and invoice the project sponsor **OR** the project sponsor may attach a self-calculated fee payment to the planning module prior to submission of the planning package to DEP. (Since the fee and fee collection procedures may vary if a "delegated local agency" is conducting the review, the project sponsor should contact the "delegated local agency" to determine these details.) Check the appropriate box.

- I request DEP calculate the review fee for my project and send me an invoice for the correct amount. I understand DEP's review of my project will not begin until DEP receives the correct review fee from me for the project.
- I have calculated the review fee for my project using the formula found below and the review fee guidance in the instructions. I have attached a check or money order in the amount of \$750.00 payable to "Commonwealth of PA, DEP". Include DEP code number on check. I understand DEP will not begin review of my project unless it receives the fee and determines the fee is correct. If the fee is incorrect, DEP will return my check or money order, send me an invoice for the correct amount. I understand DEP review will NOT begin until I have submitted the correct fee.
- I request to be exempt from the DEP planning module review fee because this planning module creates **only** one new lot and is the **only** lot subdivided from a parcel of land as that land existed on December 14, 1995. I realize that subdivision of a second lot from this parcel of land shall disqualify me from this review fee exemption. I am furnishing the following deed reference information in support of my fee exemption.

County Recorder of Deeds for \_\_\_\_\_ County, Pennsylvania

Deed Volume \_\_\_\_\_ Book Number \_\_\_\_\_

Page Number \_\_\_\_\_ Date Recorded \_\_\_\_\_

**R. REVIEW FEE** (continued)

Formula:

1. For a new collection system (with or without a Clean Streams Law Permit), a collection system extension, or individual tap-ins to an existing collection system use this formula.

$$\#10 \underline{\hspace{2cm}} \text{ Lots (or EDUs) X } \$50.00 = \$ \underline{500.00}$$

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
  - For community sewer system projects, one EDU is equal to a sewage flow of 400 gallons per day.
2. For a surface or subsurface discharge system, use the appropriate one of these formulae.

- A. A new surface discharge greater than 2000 gpd will use a flat fee:

\$ 1,500 per submittal (non-municipal)  
\$ 500 per submittal (municipal)

- B. An increase in an existing surface discharge will use:

$$\# \underline{\hspace{2cm}} \text{ Lots (or EDUs) X } \$35.00 = \$ \underline{\hspace{2cm}}$$

to a maximum of \$ 1,500 per submittal (non-municipal) or \$ 500 per submittal (municipal)

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
- For community sewage system projects one EDU is equal to a sewage flow of 400 gallons per day.
- For non-single family residential projects, EDUs are calculated using projected population figures

- C. A sub-surface discharge system that requires a permit under The Clean Streams Law will use a flat fee:

\$ 1,500 per submittal (non-municipal)  
\$ 500 per submittal (municipal)



DEP Code #: \_\_\_\_\_

**SEWAGE FACILITIES PLANNING MODULE  
COMPONENT 4A - MUNICIPAL PLANNING AGENCY REVIEW**

**Note to Project Sponsor:** To expedite the review of your proposal, one copy of your completed planning module package and one copy of this *Planning Agency Review Component* should be sent to the local municipal planning agency for their comments.

**SECTION A. PROJECT NAME** (See Section A of instructions)

Project Name  
Hazelwood Brewery (5007 Lytle Street)

**SECTION B. REVIEW SCHEDULE** (See Section B of instructions)

1. Date plan received by municipal planning agency June 1, 2020
2. Date review completed by agency June 9, 2020

**SECTION C. AGENCY REVIEW** (See Section C of instructions)

Yes	No	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	1. Is there a municipal comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101, <i>et seq.</i> )?
<input type="checkbox"/> N/A	<input type="checkbox"/>	2. Is this proposal consistent with the comprehensive plan for land use? If no, describe the inconsistencies _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	3. Is this proposal consistent with the use, development, and protection of water resources? If no, describe the inconsistencies _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	4. Is this proposal consistent with municipal land use planning relative to Prime Agricultural Land Preservation?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	5. Does this project propose encroachments, obstructions, or dams that will affect wetlands? If yes, describe impacts _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	6. Will any known historical or archaeological resources be impacted by this project? If yes, describe impacts _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7. Will any known endangered or threatened species of plant or animal be impacted by this project? If yes, describe impacts _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	8. Is there a municipal zoning ordinance?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	9. Is this proposal consistent with the ordinance? If no, describe the inconsistencies _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	10. Does the proposal require a change or variance to an existing comprehensive plan or zoning ordinance?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	11. Have all applicable zoning approvals been obtained?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	12. Is there a municipal subdivision and land development ordinance?

**SECTION C. AGENCY REVIEW (continued)**

Yes	No	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	13. Is this proposal consistent with the ordinance? If no, describe the inconsistencies _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	14. Is this plan consistent with the municipal Official Sewage Facilities Plan? If no, describe the inconsistencies _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	15. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality? If yes, describe _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	16. Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision?
<input type="checkbox"/>	<input type="checkbox"/>	If yes, is the proposed waiver consistent with applicable ordinances? If no, describe the inconsistencies _____
17. Name, title and signature of planning agency staff member completing this section: Name: <u>Martina Battistone</u> Title: <u>Senior Environmental Planner</u> Signature: <u>Martina Battistone</u> Date: <u>June 9, 2020</u> Name of Municipal Planning Agency: <u>City of Pittsburgh Dept. of City Planning</u> Address <u>200 Ross Street 4th Floor Pittsburgh, PA 15219</u> Telephone Number: <u>(412) 255-2516</u>		

**SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)**

This component does not limit municipal planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The planning agency must complete this component within 60 days.

This component and any additional comments are to be returned to the applicant.

COUNTY OF



ALLEGHENY

**RICH FITZGERALD**  
COUNTY EXECUTIVE

February 26, 2021

Bob Smith, P.E.  
KU Resources, Inc  
22 South Linden Street  
Duquesne, PA 15110

**RE: SEWAGE FACILITIES PLANNING MODULE; ALLEGHENY COUNTY  
Hazelwood Brewery (5007 Lytle Street), City of Pittsburgh**

Dear Mr. Smith:

Enclosed is a signed copy of Component 4C, County or Joint County Health Department Review, for the above-referenced development. This Planning Module Component was received on February 25, 2021. The project proposes the following:

Project Description:	Hazelwood Brewery (5007 Lytle Street). Proposing the development of a lot at parcel number 56-K-35 to include the renovation of the existing building into a brewery with Production Areas, Office, Restroom Facilities, Food Service/Preparation Area, Tap Rooms/Gift Shop, Tasting Room, Mezzanine Seating Area and Rooftop Seating Area located in the City of Pittsburgh, Allegheny County.
Sewage Flow:	3,887 GPD
Conveyance:	The flow from this site will be conveyed to the Pittsburgh Water and Sewer Authority (PWSA) collection system to ALCOSAN POC M-36 to the Monongahela interceptor and then to the ALCOSAN Treatment Plant at Woods Run.
Sewer's Owner:	PWSA (collection) and ALCOSAN (interceptor)
Name of Sewage Treatment Plant:	ALCOSAN

Please be advised that a permit must be obtained from the Allegheny County Health Department's (ACHD) Plumbing Section prior to commencing any plumbing work for the proposed project. Plumbing work for which an ACHD Plumbing Permit must be obtained includes any plumbing work done on the site and any sewers, which will not be owned and operated by a municipality or a sewer authority.



DEBRA BOGEN, MD, DIRECTOR  
**ALLEGHENY COUNTY HEALTH DEPARTMENT**  
542 FOURTH AVENUE • PITTSBURGH, PA 15219  
PHONE (412) 687-ACHD (2243) • FAX (412) 578-8325  
[WWW.ALLEGHENYCOUNTY.US/HEALTHDEPARTMENT](http://WWW.ALLEGHENYCOUNTY.US/HEALTHDEPARTMENT)



Mr. Bob Smith, P.E.  
February 26, 2021  
Page 2

In addition, it should be noted that the approval of this sewage facilities planning module does not include approval of pipe size and/or type. Approval for pipe size and/or type must be obtained by filing a specific plumbing plan with the ACHD's Plumbing Section. If you should have any questions relative to ACHD's plumbing requirements, you can contact Ivo Miller, Plumbing Program Manager at 412-578-8393.

The ACHD has no objection to the approval of this project. If you have any questions, please call me at 412-578-8046.

Sincerely,

A handwritten signature in blue ink that reads "Freddie Fields". The signature is written in a cursive style with a large, prominent "F" and "D".

Freddie Fields, M.B.A.  
Environmental Health Engineer III  
Water Pollution Control & Solid Waste Management

FF/cb  
Enclosure

cc: Thomas Flanagan, PA Department of Environmental Protection w/attachment (electronically)  
Ivo Miller, ACHD w/attachment (electronically)





## INSTRUCTIONS FOR COMPLETING COMPONENT 4C COUNTY OR JOINT HEALTH DEPARTMENT REVIEW

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*Remove and recycle these instructions prior to mailing component to the approving agency.*

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### **Background**

This component, Component 4, is used to obtain the comments of planning agencies and/or health departments having jurisdiction over the project area. It is used in conjunction with other planning module components appropriate to the characteristics of the project proposed.

### **Who Should Complete the Component?**

The component should be completed by any existing municipal planning agency, county planning agency, planning agency with areawide jurisdiction, and/or health department having jurisdiction over the project site. It is divided into sections to allow for convenient use by the appropriate agencies.

The project sponsor must forward copies of this component, along with supporting components and data, to the appropriate planning agency(ies) and health department(s) (if any) having jurisdiction over the development site. These agencies are responsible for responding to the questions in their respective sections of Component 4, as well as providing whatever additional comments they may wish to provide on the project plan. After the agencies have completed their review, the component will be returned to the applicant. The agencies have 60 days in which to provide comments to the applicant. If the agencies fail to comment within this 60 day period, the applicant may proceed to the next stage of the review without the comments. The use of registered mail or certified mail (return receipt requested) by the applicant when forwarding the module package to the agencies will document a date of receipt.

After receipt of the completed Component 4 from the planning agencies, or following expiration of the 60 day period without comments, the applicant must submit the entire component package to the municipality having jurisdiction over the project area for review and action. If approved by the municipality, the proposed plan, along with the municipal action, will be forwarded to the approving agency (Department of Environmental Protection or delegated local agency). The approving agency, in turn, will either approve the proposed plan, return it as incomplete, or disapprove the plan, based upon the information provided.

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### ***Instructions for Completing Planning Agency and/or Health Department Review Component***

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#### **Section A. Project Name**

Enter the project name as it appears on the accompanying sewage facilities planning module component (Component 2, 2m, 3, 3s or 3m).

#### **Section B. Review Schedule**

Enter the date the package was received by the reviewing agency, and the date that the review was completed.

#### **Section C. Agency Review**

1. Answer the yes/no questions and provide any descriptive information necessary on the lines provided. Attach additional sheets, if necessary.
2. Complete the name, title, and signature block.

#### **Section D. Additional Comments**

The Agency may provide whatever additional comment(s) it deems necessary, as described in the form. Attach additional sheets, if necessary.



## SEWAGE FACILITIES PLANNING MODULE

### COMPONENT 4C - COUNTY OR JOINT HEALTH DEPARTMENT REVIEW

**Note to Project Sponsor:** To expedite the review of your proposal, one copy of your completed planning module package and one copy of this *Planning Agency Review Component* should be sent to the county or joint county health department for their comments.

#### SECTION A. PROJECT NAME (See Section A of instructions)

Project Name


Hazelwood Brewery (5007 Lytle Street)

#### SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by county or joint county health department February 25 2021Agency name Allegheny County Health Department (ACHD)2. Date review completed by agency February 26, 2021

#### SECTION C. AGENCY REVIEW (See Section C of instructions)

Yes No

1. Is the proposed plan consistent with the municipality's Official Sewage Facilities Plan?  
If no, what are the inconsistencies? \_\_\_\_\_
2. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality?  
If yes, describe \_\_\_\_\_
3. Is there any known groundwater degradation in the area of this proposal?  
If yes, describe \_\_\_\_\_
4. The county or joint county health department recommendation concerning this proposed plan is as follows: ACHD recommends approval. See attached letter.
5. Name, title and signature of person completing this section:  
Name: Freddie Fields  
Title: Environmental Health Engineer III  
Signature:   
Date: February 26, 2021  
Name of County Health Department: ACHD  
Address: 3901 Penn Avenue, Building #5, Pittsburgh, PA 15224-1318  
Telephone Number: 412-578-8046

#### SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)

This component does not limit county planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The county planning agency must complete this component within 60 days.

This component and any additional comments are to be returned to the applicant.

## 1. PROJECT INFORMATION

Project Name: **5006 Gloster Street Redevelopment**  
Date of Review: **3/2/2020 03:55:27 PM**  
Project Category: **Development, Other**  
Project Area: **0.99 acres**  
County(s): **Allegheny**  
Township/Municipality(s): **PITTSBURGH**  
ZIP Code: **15207**  
Quadrangle Name(s): **PITTSBURGH EAST**  
Watersheds HUC 8: **Lower Monongahela**  
Watersheds HUC 12: **Streets Run-Monongahela River**  
Decimal Degrees: **40.407825, -79.945385**  
Degrees Minutes Seconds: **40° 24' 28.1687" N, 79° 56' 43.3859" W**

## 2. SEARCH RESULTS

Agency	Results	Response
PA Game Commission	No Known Impact	No Further Review Required
PA Department of Conservation and Natural Resources	No Known Impact	No Further Review Required
PA Fish and Boat Commission	No Known Impact	No Further Review Required
U.S. Fish and Wildlife Service	No Known Impact	No Further Review Required

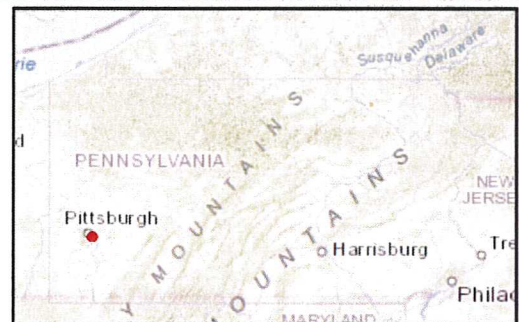
As summarized above, Pennsylvania Natural Diversity Inventory (PNDI) records indicate no known impacts to threatened and endangered species and/or special concern species and resources within the project area. Therefore, based on the information you provided, no further coordination is required with the jurisdictional agencies. This response does not reflect potential agency concerns regarding impacts to other ecological resources, such as wetlands.



### 5006 Gloster Street Redevelopment



- Project Boundary
- Buffered Project Boundary



Service Layer Credits: Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community  
Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community

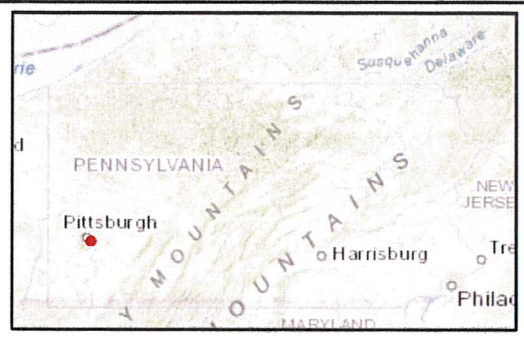


### 5006 Gloster Street Redevelopment



- Project Boundary
- Buffered Project Boundary

Service Layer Credits: Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community  
 Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS,



## RESPONSE TO QUESTION(S) ASKED

**Q1:** The proposed project is in the range of the Indiana bat. Describe how the project will affect bat habitat (forests, woodlots and trees) and indicate what measures will be taken in consideration of this. Round acreages up to the nearest acre (e.g., 0.2 acres = 1 acre).

**Your answer is:** No forests, woodlots or trees will be affected by the project.

**Q2:** Is tree removal, tree cutting or forest clearing of 40 acres or more necessary to implement all aspects of this project?

**Your answer is:** No

### 3. AGENCY COMMENTS

Regardless of whether a DEP permit is necessary for this proposed project, any potential impacts to threatened and endangered species and/or special concern species and resources must be resolved with the appropriate jurisdictional agency. In some cases, a permit or authorization from the jurisdictional agency may be needed if adverse impacts to these species and habitats cannot be avoided.

These agency determinations and responses are **valid for two years** (from the date of the review), and are based on the project information that was provided, including the exact project location; the project type, description, and features; and any responses to questions that were generated during this search. If any of the following change: 1) project location, 2) project size or configuration, 3) project type, or 4) responses to the questions that were asked during the online review, the results of this review are not valid, and the review must be searched again via the PNDI Environmental Review Tool and resubmitted to the jurisdictional agencies. The PNDI tool is a primary screening tool, and a desktop review may reveal more or fewer impacts than what is listed on this PNDI receipt. The jurisdictional agencies **strongly advise against** conducting surveys for the species listed on the receipt prior to consultation with the agencies.

#### PA Game Commission

##### RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

#### PA Department of Conservation and Natural Resources

##### RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

#### PA Fish and Boat Commission

##### RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

#### U.S. Fish and Wildlife Service

##### RESPONSE:

No impacts to **federally** listed or proposed species are anticipated. Therefore, no further consultation/coordination under the Endangered Species Act (87 Stat. 884, as amended; 16 U.S.C. 1531 et seq. is required. Because no take of federally listed species is anticipated, none is authorized. This response does not reflect potential Fish and Wildlife Service concerns under the Fish and Wildlife Coordination Act or other authorities.

#### 4. DEP INFORMATION

The Pa Department of Environmental Protection (DEP) requires that a signed copy of this receipt, along with any required documentation from jurisdictional agencies concerning resolution of potential impacts, be submitted with applications for permits requiring PNDI review. Two review options are available to permit applicants for handling PNDI coordination in conjunction with DEP's permit review process involving either T&E Species or species of special concern. Under sequential review, the permit applicant performs a PNDI screening and completes all coordination with the appropriate jurisdictional agencies prior to submitting the permit application. The applicant will include with its application, both a PNDI receipt and/or a clearance letter from the jurisdictional agency if the PNDI Receipt shows a Potential Impact to a species or the applicant chooses to obtain letters directly from the jurisdictional agencies. Under concurrent review, DEP, where feasible, will allow technical review of the permit to occur concurrently with the T&E species consultation with the jurisdictional agency. The applicant must still supply a copy of the PNDI Receipt with its permit application. The PNDI Receipt should also be submitted to the appropriate agency according to directions on the PNDI Receipt. The applicant and the jurisdictional agency will work together to resolve the potential impact(s). See the DEP PNDI policy at <https://conservationexplorer.dcnr.pa.gov/content/resources>.



## 5. ADDITIONAL INFORMATION

The PNDI environmental review website is a preliminary screening tool. There are often delays in updating species status classifications. Because the proposed status represents the best available information regarding the conservation status of the species, state jurisdictional agency staff give the proposed statuses at least the same consideration as the current legal status. If surveys or further information reveal that a threatened and endangered and/or special concern species and resources exist in your project area, contact the appropriate jurisdictional agency/agencies immediately to identify and resolve any impacts.

For a list of species known to occur in the county where your project is located, please see the species lists by county found on the PA Natural Heritage Program (PNHP) home page ([www.naturalheritage.state.pa.us](http://www.naturalheritage.state.pa.us)). Also note that the PNDI Environmental Review Tool only contains information about species occurrences that have actually been reported to the PNHP.

## 6. AGENCY CONTACT INFORMATION

### PA Department of Conservation and Natural Resources

Bureau of Forestry, Ecological Services Section  
400 Market Street, PO Box 8552  
Harrisburg, PA 17105-8552  
Email: [RA-HeritageReview@pa.gov](mailto:RA-HeritageReview@pa.gov)

### U.S. Fish and Wildlife Service

Pennsylvania Field Office  
Endangered Species Section  
110 Radnor Rd; Suite 101  
State College, PA 16801  
NO Faxes Please

### PA Fish and Boat Commission

Division of Environmental Services  
595 E. Rolling Ridge Dr., Bellefonte, PA 16823  
Email: [RA-FBPACENOTIFY@pa.gov](mailto:RA-FBPACENOTIFY@pa.gov)

### PA Game Commission

Bureau of Wildlife Habitat Management  
Division of Environmental Planning and Habitat Protection  
2001 Elmerton Avenue, Harrisburg, PA 17110-9797  
Email: [RA-PGC\\_PNDI@pa.gov](mailto:RA-PGC_PNDI@pa.gov)  
NO Faxes Please

## 7. PROJECT CONTACT INFORMATION

Name: Adam Ballish  
Company/Business Name: KV Resources, Inc.  
Address: 22 South Linden Street  
City, State, Zip: Duquesne, PA 15110  
Phone: ( 412 ) 469-9331 Fax: ( 412 ) 469-9336  
Email: aballish@kvresources.com

## 8. CERTIFICATION

I certify that ALL of the project information contained in this receipt (including project location, project size/configuration, project type, answers to questions) is true, accurate and complete. In addition, if the project type, location, size or configuration changes, or if the answers to any questions that were asked during this online review change, I agree to re-do the online environmental review.

Adam Ballish  
applicant/project proponent signature

03/02/2020  
date

3/1/2021 12:13:16 PM

[Contact Real Estate](#)[New Search](#)[Help](#)[Subscription Login](#)**GENERAL INFORMATION**

BUILDING INFORMATION

TAX INFO e-BILL / e-PAY

OWNER HISTORY

IMAGE

COMPARABLES

APPEAL STATUS

MAPS

Parcel ID : 0056-K-00035-0000-00  
 Property Address : 5005 -5013 LYTLE ST  
 PITTSBURGH, PA 15207

Municipality : 115 15th Ward - PITTSBURGH  
 Owner Name : THE PROGRESS FUND

School District :	Pittsburgh	Neighborhood Code :	51C88B
Tax Code :	Taxable	Owner Code :	Corporation
Class :	Industrial	Recording Date :	5/3/2018
Use Code :	WAREHOUSE	Sale Date :	4/30/2018
Homestead :	No	Sale Price :	\$175,000
Farmstead :	No	Deed Book :	17196
Clean And Green :	No	Deed Page :	124
Other Abatement :	No	Lot Area :	23,977 SQFT

## 2021 Full Base Year Market Value

## 2021 County Assessed Value

Land Value	\$42,500	Land Value	\$42,500
Building Value	\$95,700	Building Value	\$95,700
Total Value	\$138,200	Total Value	\$138,200

## 2020 Full Base Year Market Value

## 2020 County Assessed Value

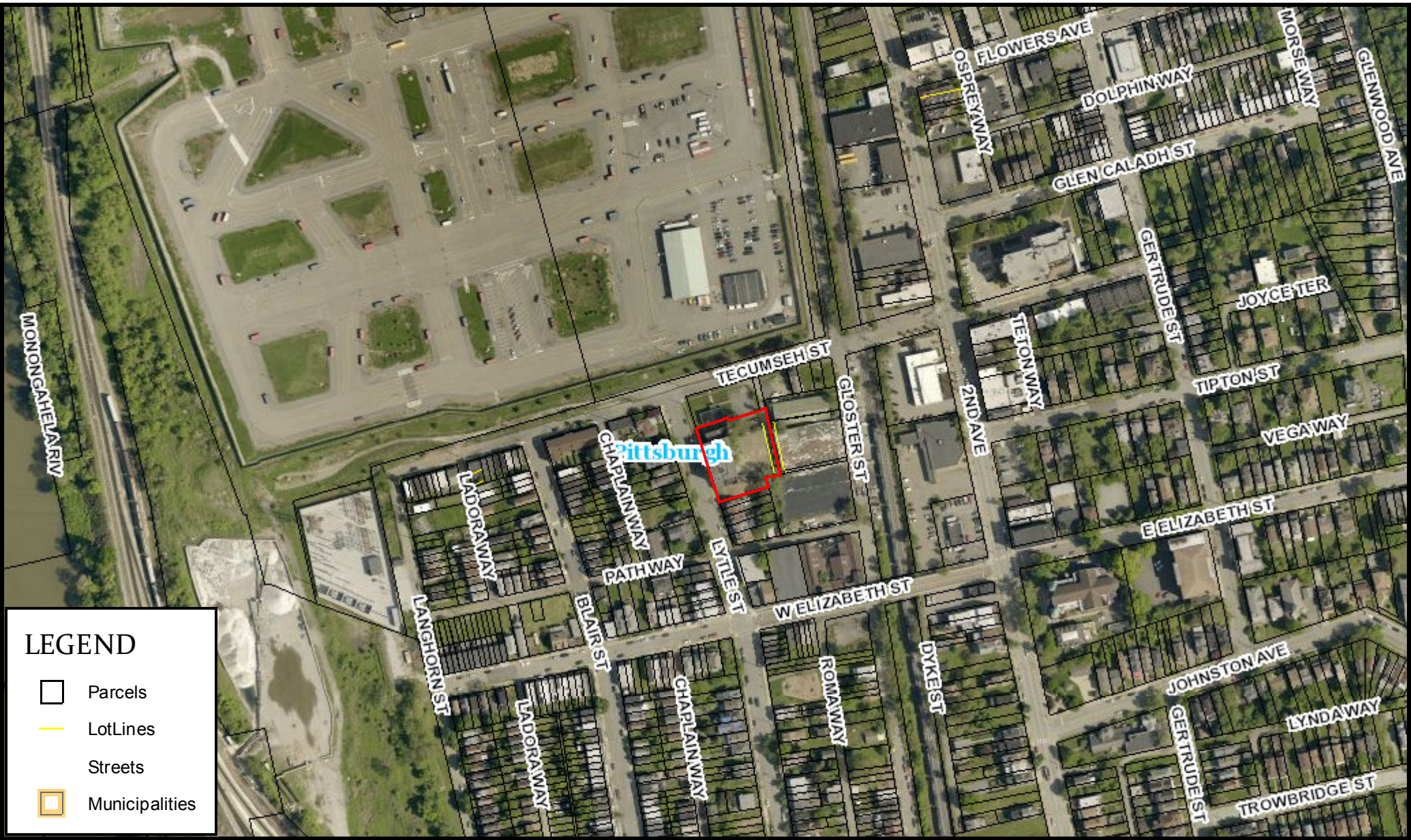
Land Value	\$27,600	Land Value	\$27,600
Building Value	\$95,700	Building Value	\$95,700
Total Value	\$123,300	Total Value	\$123,300

## Address Information

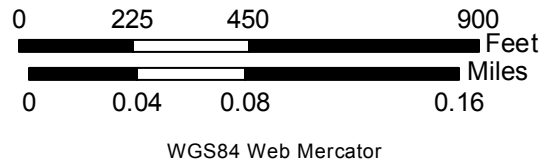
Owner Mailing : 425 W PITTSBURGH ST  
 GREENSBURG , PA 15601-2211

[Report Data Errors](#)[Property Assessments Home Page](#)[Legal Disclaimer](#)

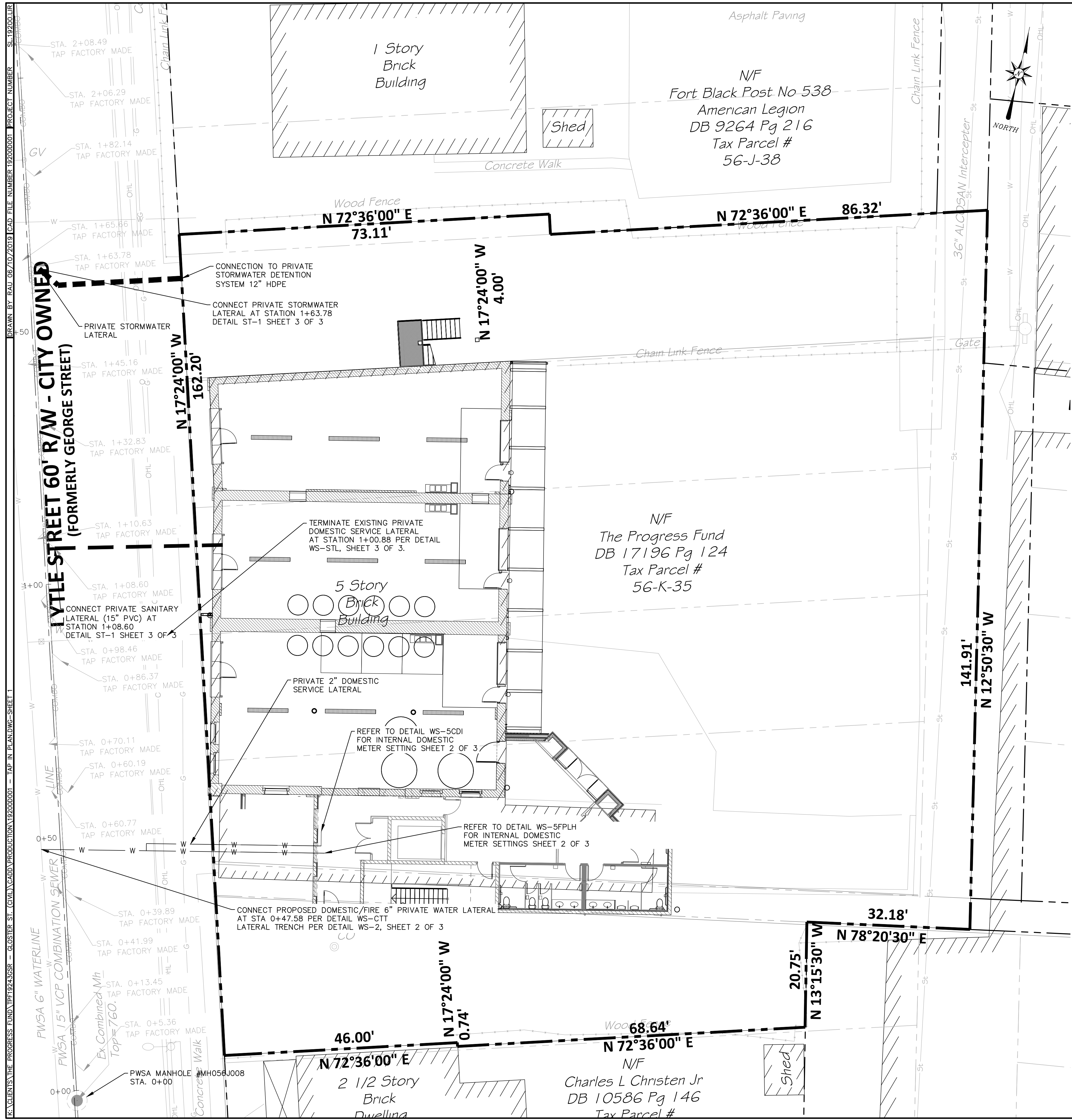




This map is for informational purposes only. Parcel information is provided from the Office of Property Assessments in Allegheny County. Content and availability are subject to change. Property characteristics and values change due to a variety of factors such as court rulings, municipality permit processing and subdivision plans. Excludes name and contact information for property owners, as required by Ordinance 3478-07. For additional information, call the Allegheny County GIS Help Desk at (412) 350-4774 or email at GISHelp@AlleghenyCounty.US.







**HYDRANT FLOW TEST RESULTS**  
To be completed by the Applicant:

DATE OF TEST 10-13-20  
HYDRANT PERMIT NUMBER 20-0280  
PERFORMED BY UPRIGHT SPRINKLER DESIGN CO.

**FLOW HYDRANT**  
HYDRANT NUMBER C-510  
LOCATION JECUMSEH & BLAIR ST.  
FLOW OBSERVED, GPM 314

**PRESSURE HYDRANT**  
HYDRANT NUMBER C-509  
LOCATION LYTLE ST.  
STATIC PRESSURE, PSI 124 PSI  
RESIDUAL PRESSURE, PSI 95 PSI

**CALCULATIONS**  
PROJECTED FLOW AT 20 PSI, GPM 1,823

**PEAK DAILY FLOW DEMANDS**  
To be completed by the Applicant:

TYPE OF FLOW	SANITARY, GPD	WATER, GPD	STORM, CFS
PROJECT FLOW	3,927	3,384	4,186
EXISTING FLOW	40	40	4,354
NET FLOW	3,887	3,344	NOT REQUIRED

PWSA W&S USE APPROVAL DATE (if required) 12/30/2021  
DEP SFPM APPROVAL DATE (if required)

**PEAK OPERATING WATER DEMANDS**  
To be completed by the Applicant:

I.D.	QUANTITY	SIZE	TYPE	USE	DOMESTIC SYSTEM		FIRE SYSTEM	
					FLOW, GPM	PRESSURE, PSI	FLOW, GPM	PRESSURE, PSI
A	1	1.5"	POSITIVE DISPLACEMENT	DOMESTIC	90	>40		
B	1	5/8"x3/4"	POSITIVE DISPLACEMENT	FIRE			323"	73
C								
D								
E								

METER SIZE: 1/2", 3/4", 1", 2", 3", 4", 6", 8", 10", 12", 16"  
METER TYPE: POSITIVE DISPLACEMENT, COMPOUND, ELECTROMAGNETIC, ULTRASONIC, TURBINE  
METER USE: DOMESTIC, FIRE, COMBINATION  
\*\*500 GPM IS STANDPIPE REQUIREMENT. PRESSURE NOT REQUIRED TO BE SUPPLIED BY PUBLIC WATER SUPPLY.

**SPRINKLER SYSTEM DESIGN INFORMATION**  
To be completed by the Applicant:

LOCATION(S): THROUGHOUT BUILDING

**TYPE OF SYSTEM** (Check one)  
 13D  
 13R  
 13  
 OTHER: \_\_\_\_\_

**SYSTEM CONFIGURATION** (Check one)  
 STAND-ALONE SPRINKLER SYSTEM  
 MULTI-PURPOSE SPRINKLER SYSTEM

**HOSE DEMANDS** (N/A for 13D systems)  
 INSIDE HOSE DEMAND, GPM 100  
 OUTSIDE HOSE DEMAND, GPM 150

**THE PITTSBURGH WATER & SEWER AUTHORITY APPROVAL BLOCK**  
To be completed by the Applicant:

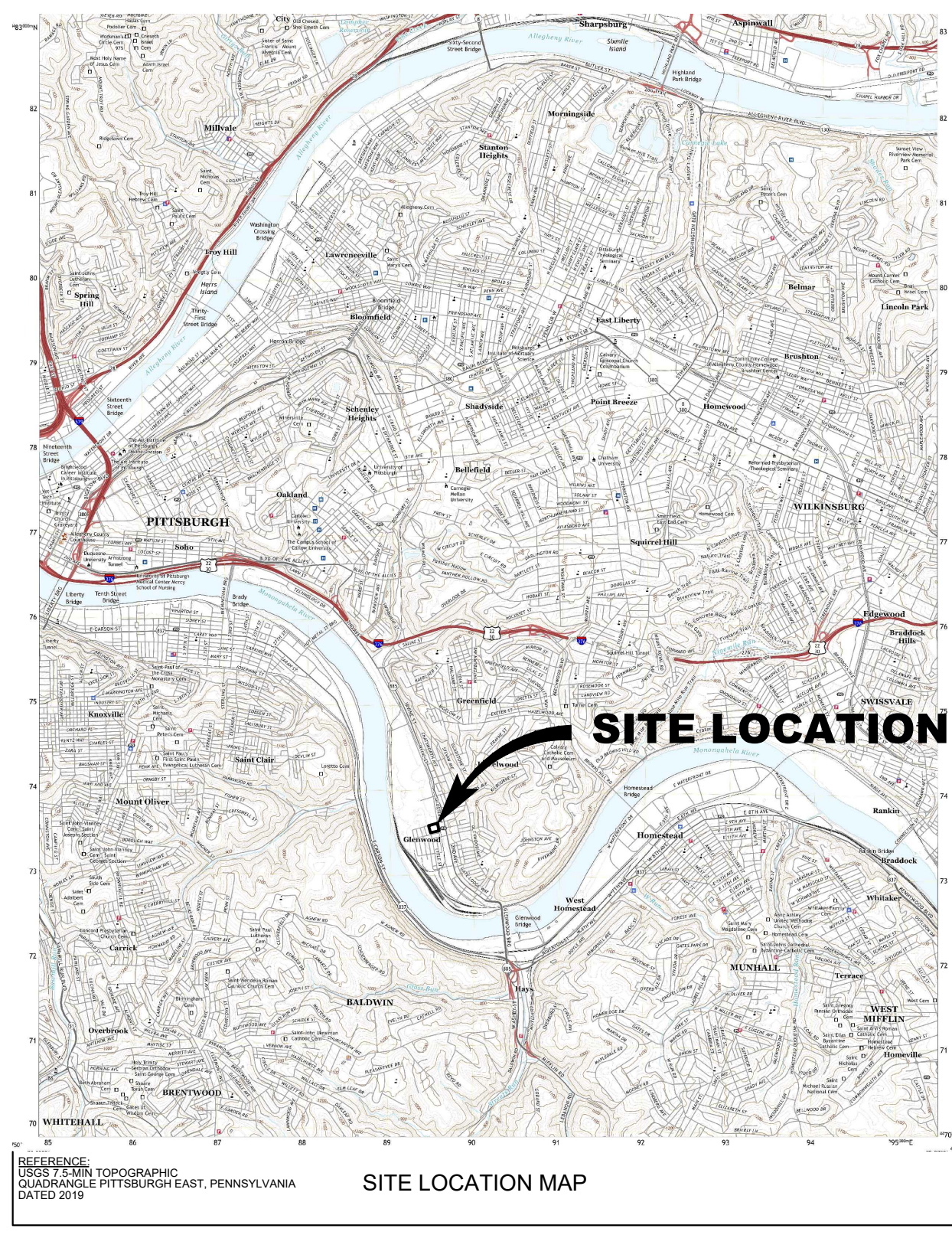
(Check all that apply)

NEW WATER CONNECTION(S)  
 NEW SEWER CONNECTION(S)  
 REUSE EXISTING WATER CONNECTION(S)  
 REUSE EXISTING SEWER CONNECTION(S)  
 TERMINATE EXISTING WATER CONNECTION(S)  
 TERMINATE EXISTING SEWER CONNECTION(S)  
 PRIVATE CONSTRUCTION OF PUBLIC FACILITIES

To be completed by the PWSA:  
(Required for ALL approvals)

REVIEWER \_\_\_\_\_  
 CHIEF OF OPERATIONS \_\_\_\_\_  
 (Required for "Private Construction of Public Facilities" ONLY)  
 DIRECTOR OF ENGINEERING AND CONSTRUCTION \_\_\_\_\_  
 PWSA PROJECT NUMBER \_\_\_\_\_  
 TAP C RECORD NUMBER \_\_\_\_\_

Signatures / Approval by PWSA are for the physical connection(s) to the water and/or sewer system only. Responsibility for the design and work depicted by the drawings, including the flow design for the facilities, is by the Professional Engineer shown by the seal and signature affixed to the drawing. The PWSA does not represent or warrant that the water supply to the facilities is sufficient to support the design.



**LEGEND**

- EXISTING SURVEYED PARCEL BOUNDARY
- ALLEGHENY COUNTY GIS PARCEL BOUNDARY
- EXISTING STORM INLET
- EXISTING WATERLINE
- EXISTING WATERLINE VALVE
- EXISTING GASLINE
- EXISTING UNDERGROUND ELECTRIC
- PROPOSED SANITARY LATERAL
- PROPOSED STORM LATERAL
- PROPOSED WATER LATERAL

SCALE - FEET  
0 10 20 30

CALL BEFORE YOU DIG! ONECALL # 20191071958  
 PENNSYLVANIA LAW REQUIRES 3 WORKING NOTICE CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL PENNSYLVANIA ONE CALL SYSTEM, INC.  
 PENNSYLVANIA ACT 187 (FORM NOTIFICATION OF EXCAVATIONS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH SHALL FIRST NOTIFY PWSA ONE CALL SYSTEM, INC. AT 400-341-1718 BEFORE ANY DISTURBANCE.

EXISTING PWSA ACCOUNT NUMBER:  
 EXISTING PWSA METER NUMBER:



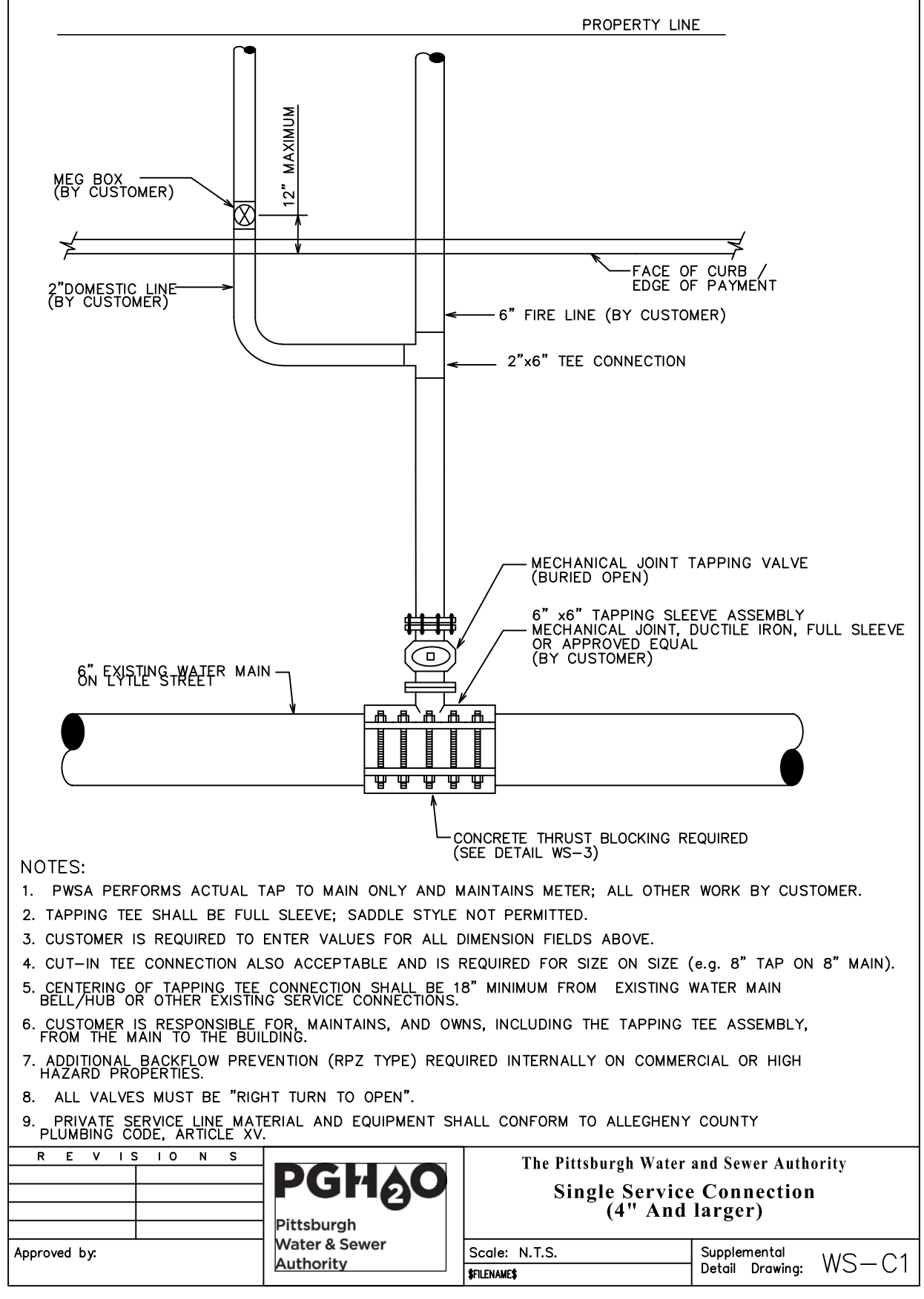
PREPARED BY: **KU Resources, Inc.**  
 22 South Linden Street  
 Duquesne, PA 15110  
 412.469.9331  
 412.469.9336 fax  
 www.kuresources.com

THE PROGRESS FUND  
 425 WEST PITTSBURGH STREET  
 GREENSBURG, PA 15601  
 WATER & SEWER SERVICE TAP-IN

HAZELWOOD BREWERY 5007 LYTLE  
 5007 LYTLE STREET  
 PITTSBURGH, PENNSYLVANIA 15207

PLAN SCALE: 1" = 10'  
 DATE: DECEMBER 17, 2020 SHEET ACCESSION NO. \_\_\_\_\_  
 REV 1: ISSUED FOR CONSTRUCTION 3-01-2021 1 OF 3 CASE NO. \_\_\_\_\_





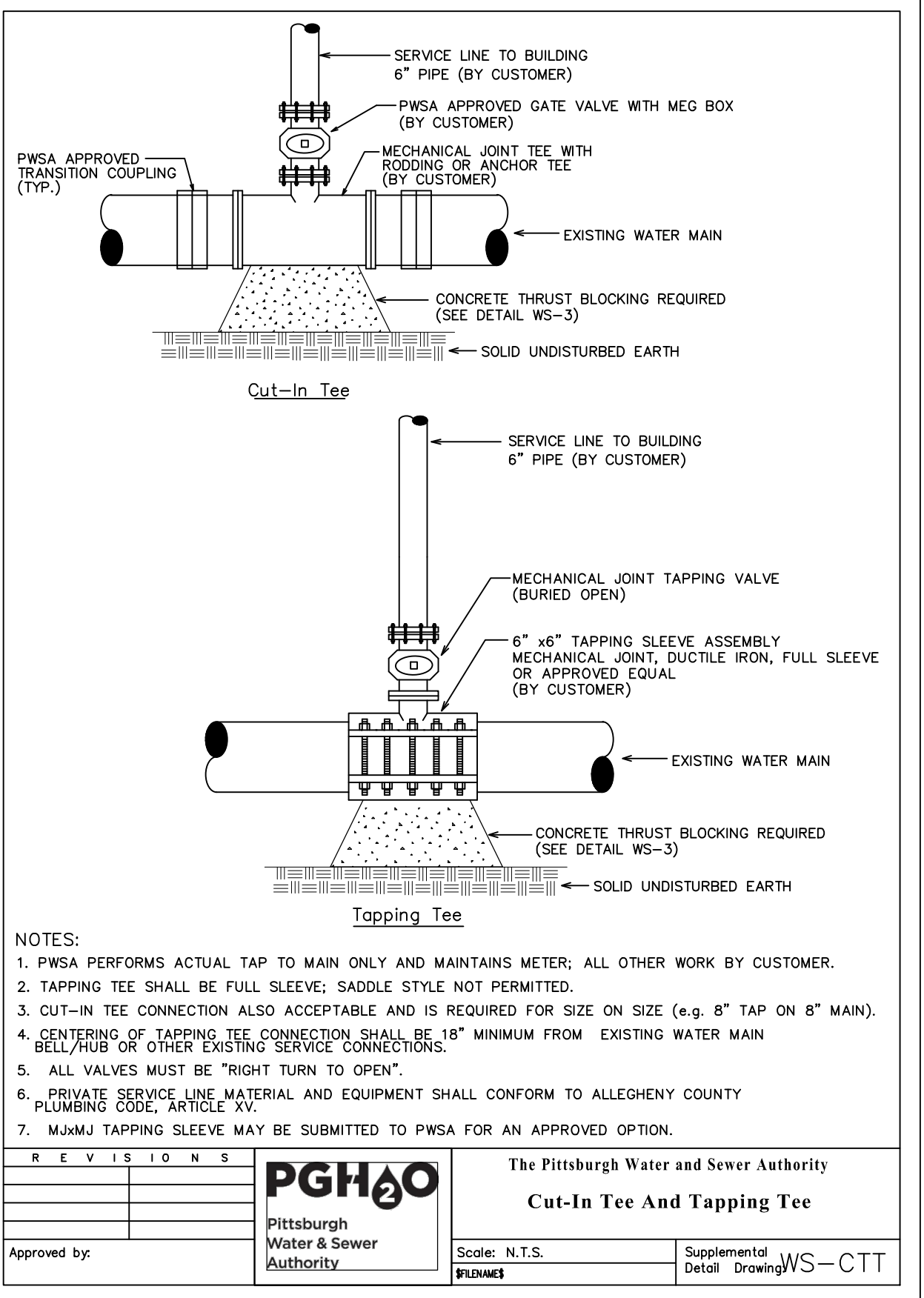
- NOTES:
- PWSA PERFORMS ACTUAL TAP TO MAIN ONLY AND MAINTAINS METER; ALL OTHER WORK BY CUSTOMER.
  - TAPPING TEE SHALL BE FULL SLEEVE; SADDLE STYLE NOT PERMITTED.
  - CUSTOMER IS REQUIRED TO ENTER VALUES FOR ALL DIMENSION FIELDS ABOVE.
  - CUT-IN TEE CONNECTION ALSO ACCEPTABLE AND IS REQUIRED FOR SIZE ON SIZE (E.G. 8" TAP ON 8" MAIN).
  - CENTERING OF TAPPING TEE CONNECTION SHALL BE 18" MINIMUM FROM EXISTING WATER MAIN BELL/HUB OR OTHER EXISTING SERVICE CONNECTIONS.
  - CUSTOMER IS RESPONSIBLE FOR MAINTAINING, AND OWNS, INCLUDING THE TAPPING TEE ASSEMBLY, FROM THE MAIN TO THE BUILDING.
  - ADDITIONAL BACKFLOW PREVENTION (RP2 TYPE) REQUIRED INTERNALLY ON COMMERCIAL OR HIGH HAZARD PROPERTIES.
  - ALL VALVES MUST BE "RIGHT TURN TO OPEN".
  - PRIVATE SERVICE LINE MATERIAL AND EQUIPMENT SHALL CONFORM TO ALLEGHENY COUNTY PLUMBING CODE, ARTICLE XV.

REVISIONS

**PGH2O** The Pittsburgh Water and Sewer Authority  
Pittsburgh Water & Sewer Authority

Approved by: \_\_\_\_\_

Scale: N.T.S. Supplemental Detail Drawing: **WS-C1**



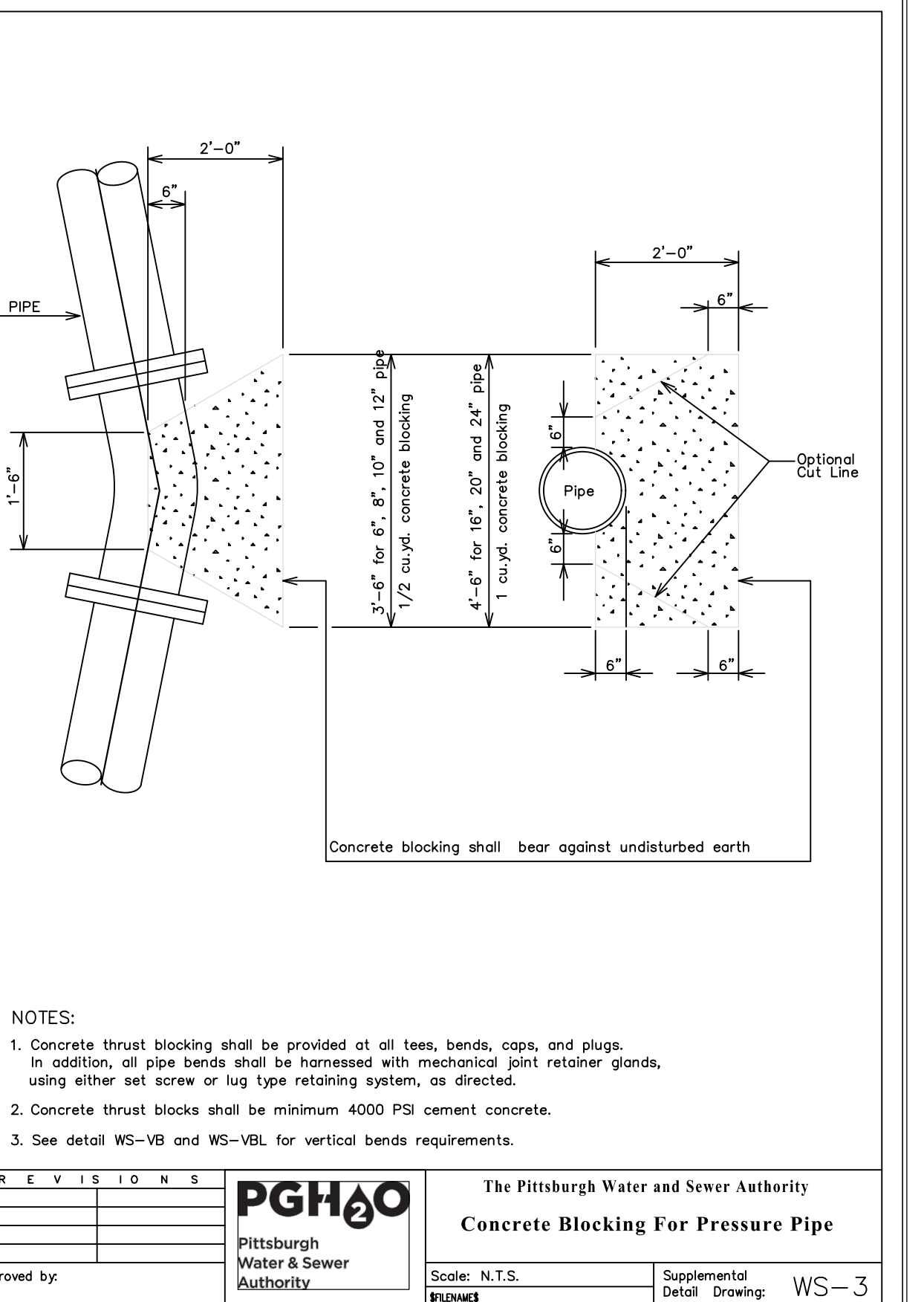
- NOTES:
- PWSA PERFORMS ACTUAL TAP TO MAIN ONLY AND MAINTAINS METER; ALL OTHER WORK BY CUSTOMER.
  - TAPPING TEE SHALL BE FULL SLEEVE; SADDLE STYLE NOT PERMITTED.
  - CUT-IN TEE CONNECTION ALSO ACCEPTABLE AND IS REQUIRED FOR SIZE ON SIZE (E.G. 8" TAP ON 8" MAIN).
  - CENTERING OF TAPPING TEE CONNECTION SHALL BE 18" MINIMUM FROM EXISTING WATER MAIN BELL/HUB OR OTHER EXISTING SERVICE CONNECTIONS.
  - ALL VALVES MUST BE "RIGHT TURN TO OPEN".
  - PRIVATE SERVICE LINE MATERIAL AND EQUIPMENT SHALL CONFORM TO ALLEGHENY COUNTY PLUMBING CODE, ARTICLE XV.
  - MUMU TAPPING SLEEVE MAY BE SUBMITTED TO PWSA FOR AN APPROVED OPTION.

REVISIONS

**PGH2O** The Pittsburgh Water and Sewer Authority  
Pittsburgh Water & Sewer Authority

Approved by: \_\_\_\_\_

Scale: N.T.S. Supplemental Detail Drawing: **WS-CTT**



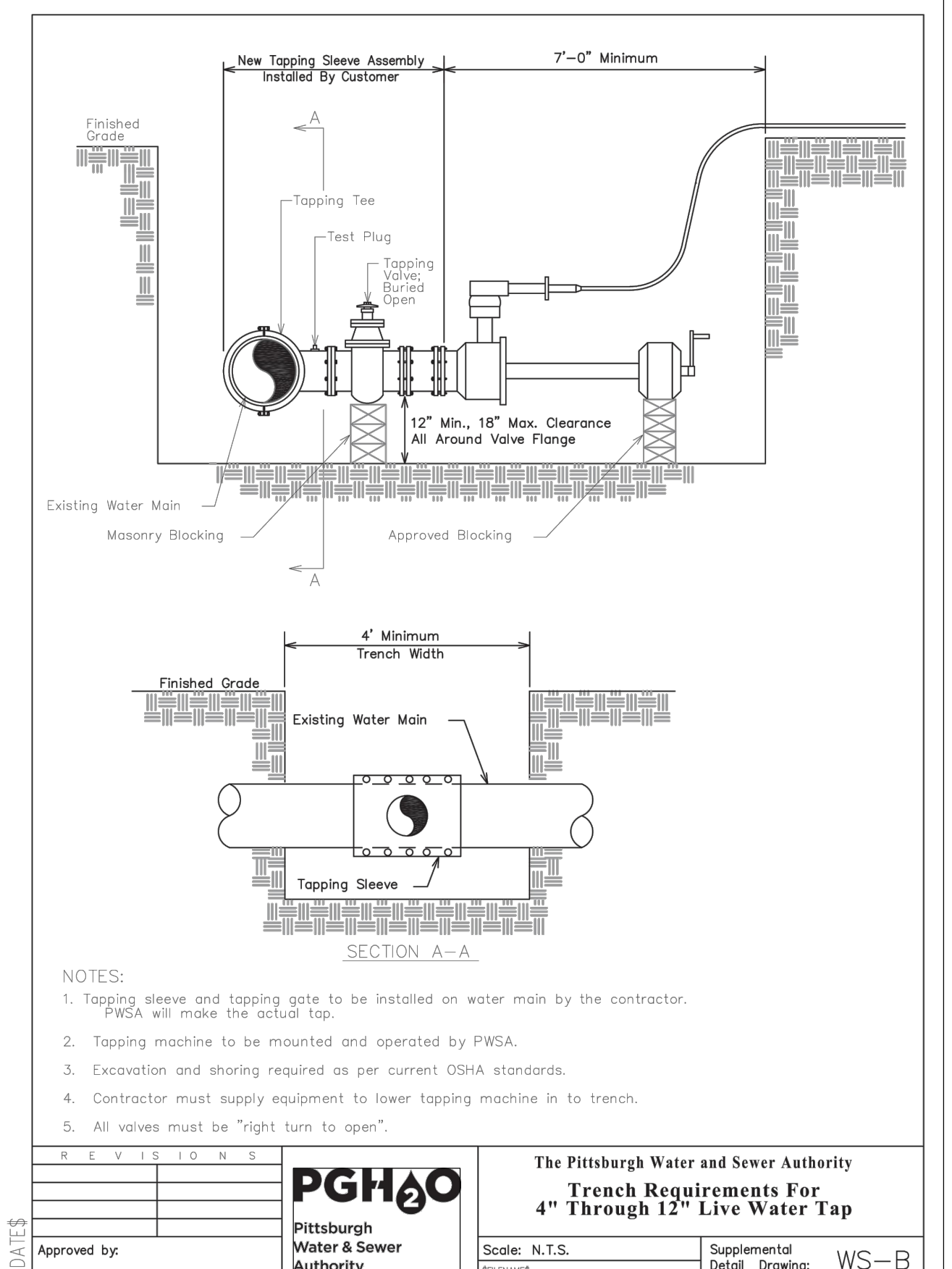
- NOTES:
- Concrete thrust blocking shall be provided at all tees, bends, caps, and plugs. In addition, all pipe bends shall be harnessed with mechanical joint retaining glands, using either set screw or lug type retaining system, as directed.
  - Concrete thrust blocks shall be minimum 4000 PSI cement concrete.
  - See detail WS-VB and WS-VBL for vertical bends requirements.

REVISIONS

**PGH2O** The Pittsburgh Water and Sewer Authority  
Pittsburgh Water & Sewer Authority

Approved by: \_\_\_\_\_

Scale: N.T.S. Supplemental Detail Drawing: **WS-3**



- NOTES:
- Tapping sleeve and tapping gate to be installed on water main by the contractor. PWSA will make the actual tap.
  - Tapping machine to be mounted and operated by PWSA.
  - Excavation and shoring required as per current OSHA standards.
  - Contractor must supply equipment to lower tapping machine in to trench.
  - All valves must be "right turn to open".

REVISIONS

**PGH2O** The Pittsburgh Water and Sewer Authority  
Pittsburgh Water & Sewer Authority

Approved by: \_\_\_\_\_

Scale: N.T.S. Supplemental Detail Drawing: **WS-B**

**THE PITTSBURGH WATER & SEWER AUTHORITY APPROVAL BLOCK**

To be completed by the Applicant:

(Check all that apply)

NEW WATER CONNECTION(S)

NEW SEWER CONNECTION(S)

REUSE EXISTING WATER CONNECTION(S)

REUSE EXISTING SEWER CONNECTION(S)

TERMINATE EXISTING WATER CONNECTION(S)

TERMINATE EXISTING SEWER CONNECTION(S)

PRIVATE CONSTRUCTION OF PUBLIC FACILITIES

To be completed by the PWSA:  
(Required for ALL approvals)

REVIEWER \_\_\_\_\_

CHIEF OF OPERATIONS \_\_\_\_\_

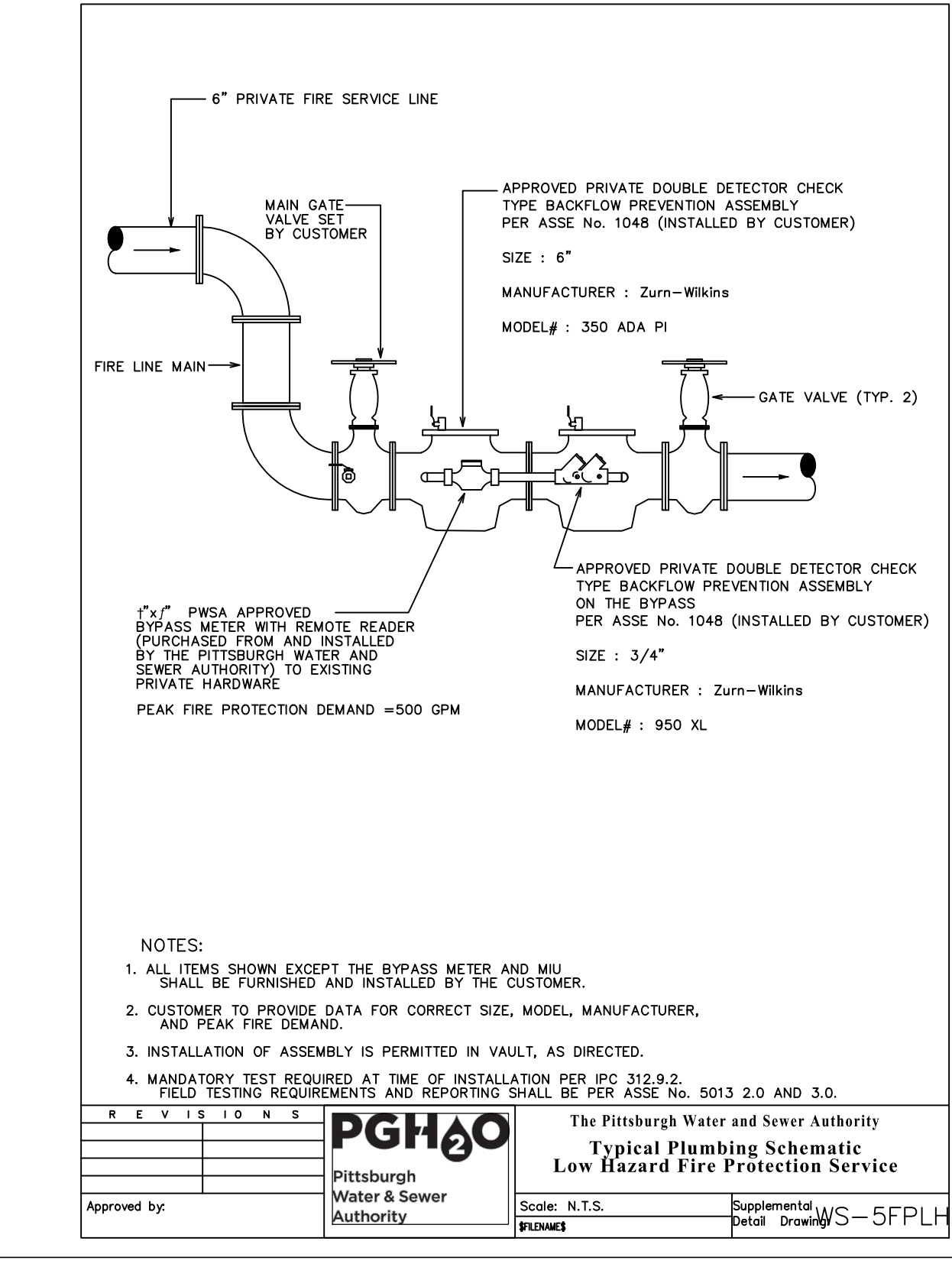
(Required for "Private Construction of Public Facilities" ONLY)

DIRECTOR OF ENGINEERING AND CONSTRUCTION \_\_\_\_\_

PWSA PROJECT NUMBER \_\_\_\_\_

TAP C RECORD NUMBER \_\_\_\_\_

Signatures / Approval by PWSA are for the physical connection(s) to the water and/or sewer system only. Responsibility for the design and work depicted by the drawings, including the flow design for the facilities, is by the Professional Engineer shown by the seal and signature affixed to the drawing. The PWSA does not represent or warrant that the water supply to the facilities is sufficient to support the design.



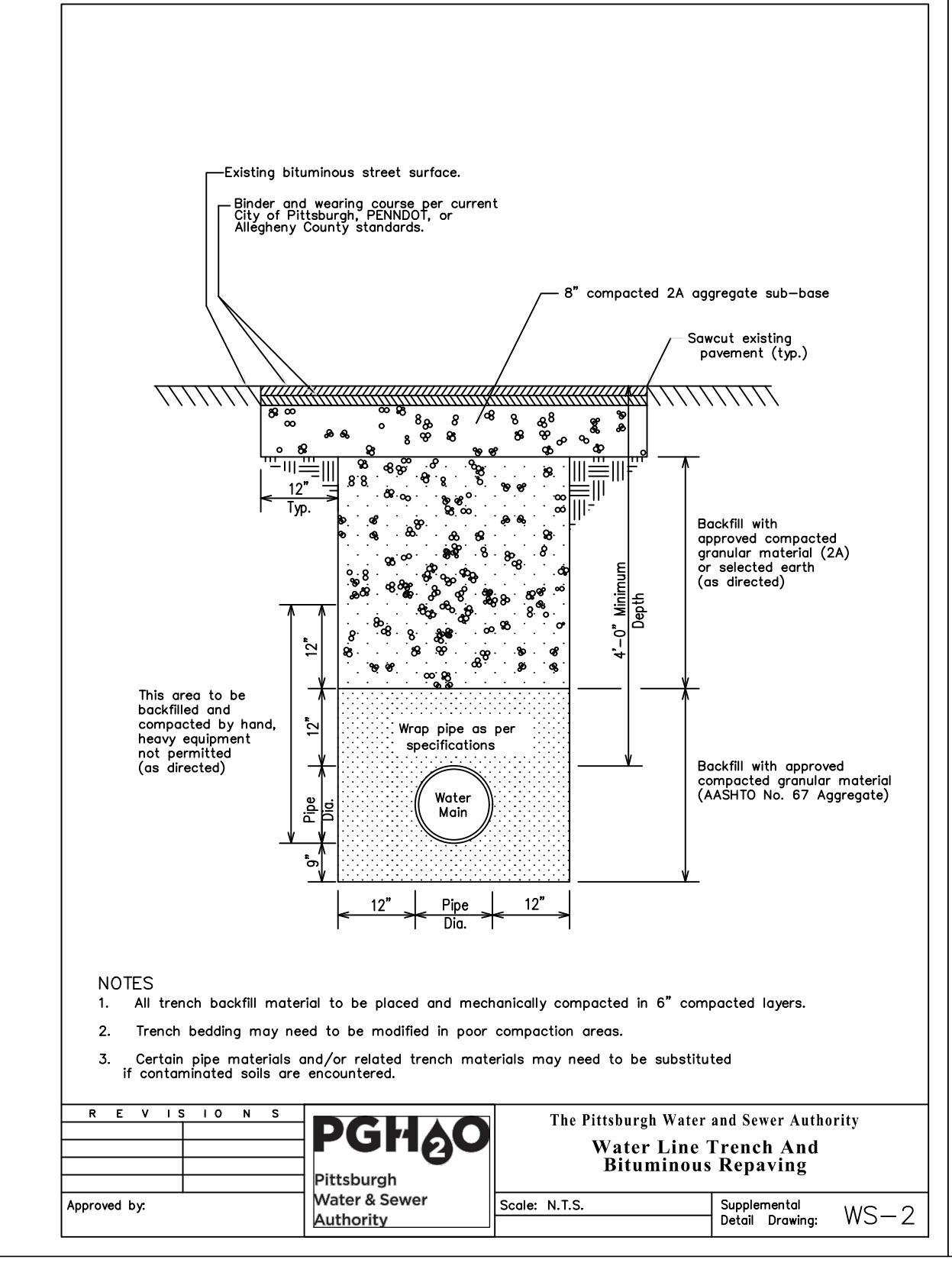
- NOTES:
- ALL ITEMS SHOWN EXCEPT THE BYPASS METER AND MUI SHALL BE FURNISHED AND INSTALLED BY THE CUSTOMER.
  - CUSTOMER TO PROVIDE DATA FOR CORRECT SIZE, MODEL, MANUFACTURER, AND PEAK FIRE DEMAND.
  - INSTALLATION OF ASSEMBLY IS PERMITTED IN VAULT, AS DIRECTED.
  - MANDATORY TEST REQUIRED AT TIME OF INSTALLATION PER IPC 312.9.2. FIELD TESTING REQUIREMENTS AND REPORTING SHALL BE PER ASSE No. 5013.2.0 AND 3.0.

REVISIONS

**PGH2O** The Pittsburgh Water and Sewer Authority  
Pittsburgh Water & Sewer Authority

Approved by: \_\_\_\_\_

Scale: N.T.S. Supplemental Detail Drawing: **WS-5FPLH**



- NOTES:
- All trench backfill material to be placed and mechanically compacted in 6" compacted layers.
  - Trench bedding may need to be modified in poor compaction areas.
  - Certain pipe materials and/or related trench materials may need to be substituted if contaminated soils are encountered.

REVISIONS

**PGH2O** The Pittsburgh Water and Sewer Authority  
Pittsburgh Water & Sewer Authority

Approved by: \_\_\_\_\_

Scale: N.T.S. Supplemental Detail Drawing: **WS-2**

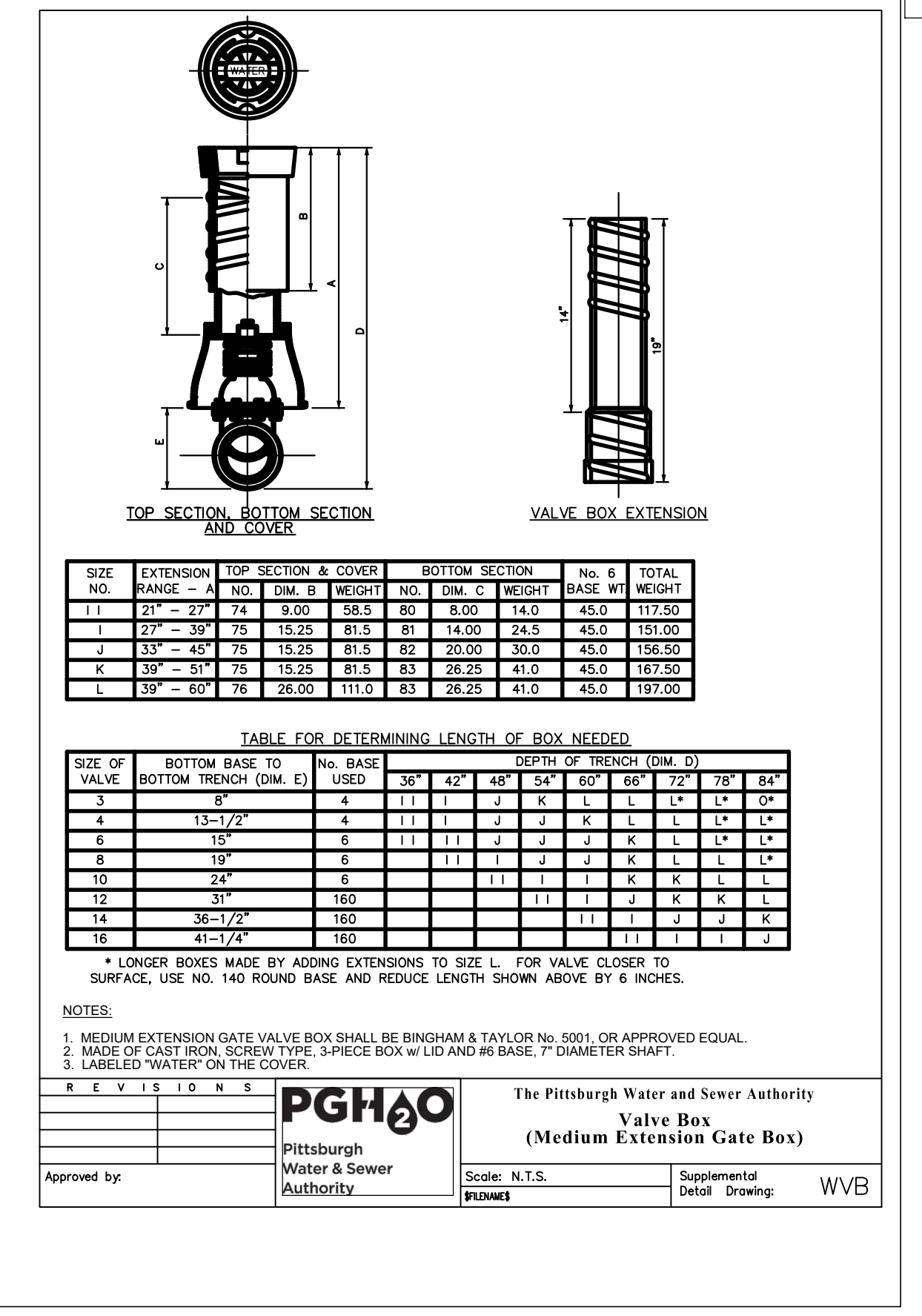


TABLE FOR DETERMINING LENGTH OF BOX NEEDED

SIZE OF VALVE	BOTTOM BASE TO BOTTOM TRENCH (DIM. E)	No. BASE USED	36"	42"	48"	54"	60"	66"	72"	78"	84"
3	6"	4	J	J	J	J	J	J	J	J	J
4	13-1/2"	4	J	J	J	J	J	J	J	J	J
6	15"	6	J	J	J	J	J	J	J	J	J
8	18"	6	J	J	J	J	J	J	J	J	J
10	24"	6	J	J	J	J	J	J	J	J	J
12	31"	160	J	J	J	J	J	J	J	J	J
14	36-7/2"	160	J	J	J	J	J	J	J	J	J
16	41-7/4"	160	J	J	J	J	J	J	J	J	J

\* LOWER BOXES MADE BY ADDING EXTENSIONS TO SIZE L. FOR VALVE CLOSER TO SURFACE, USE NO. 140 ROUND BASE AND REDUCE LENGTH SHOWN ABOVE BY 6 INCHES.

REVISIONS

**PGH2O** The Pittsburgh Water and Sewer Authority  
Pittsburgh Water & Sewer Authority

Approved by: \_\_\_\_\_

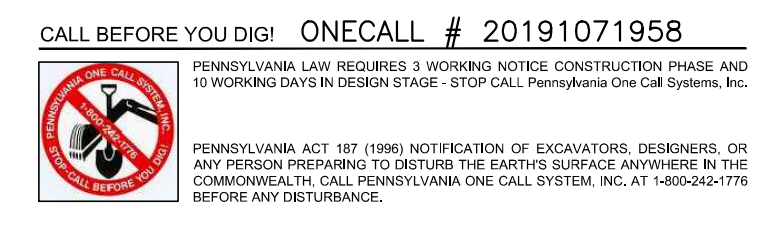
Scale: N.T.S. Supplemental Detail Drawing: **WVB**

PREPARED BY: **KU Resources, Inc.**  
22 South Linden Street  
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412.469.9331  
412.469.9336 fax  
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HAZELWOOD BREWERY 5007 LYTLE  
5007 LYTLE STREET  
PITTSBURGH, PENNSYLVANIA 15207

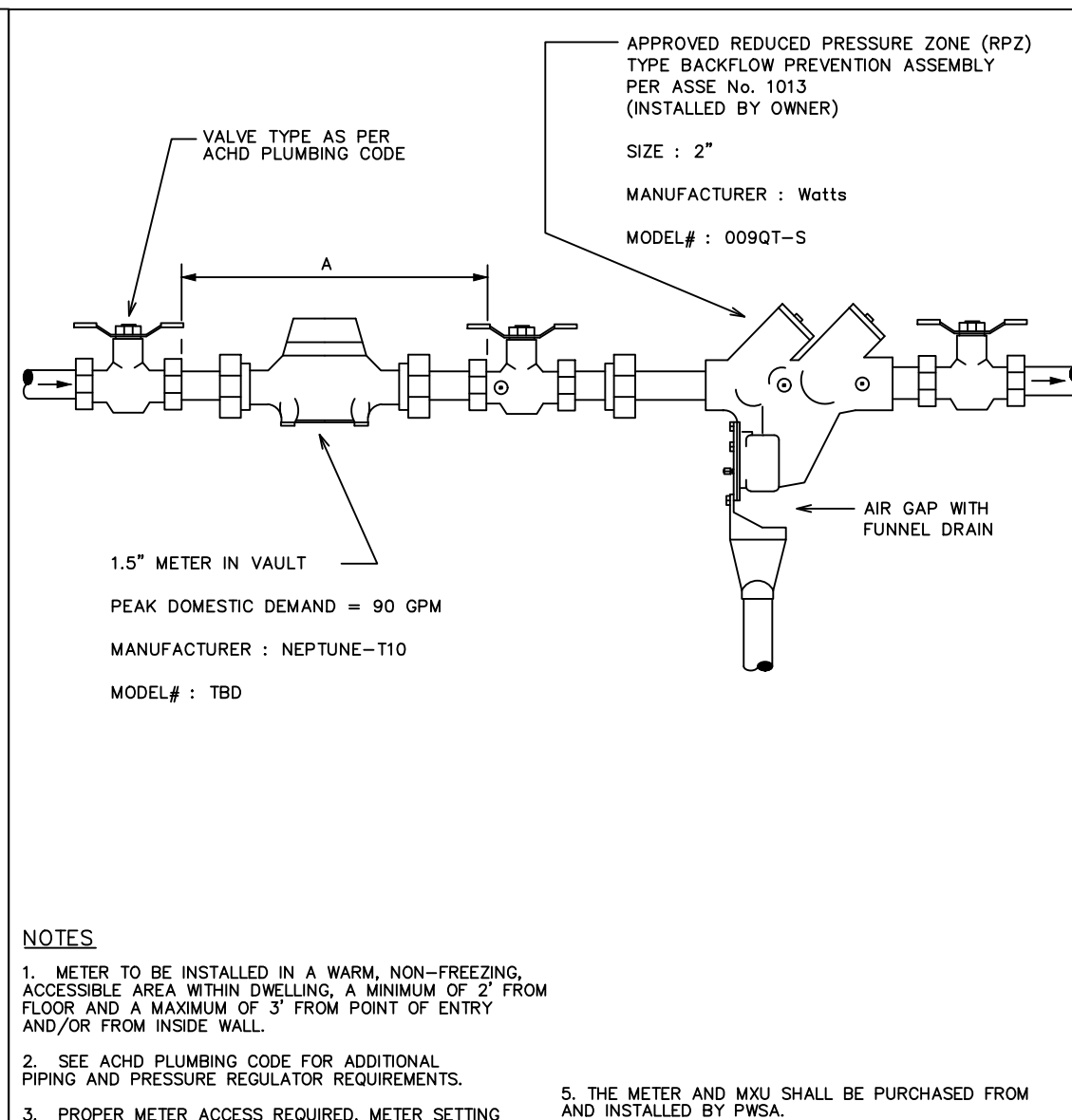
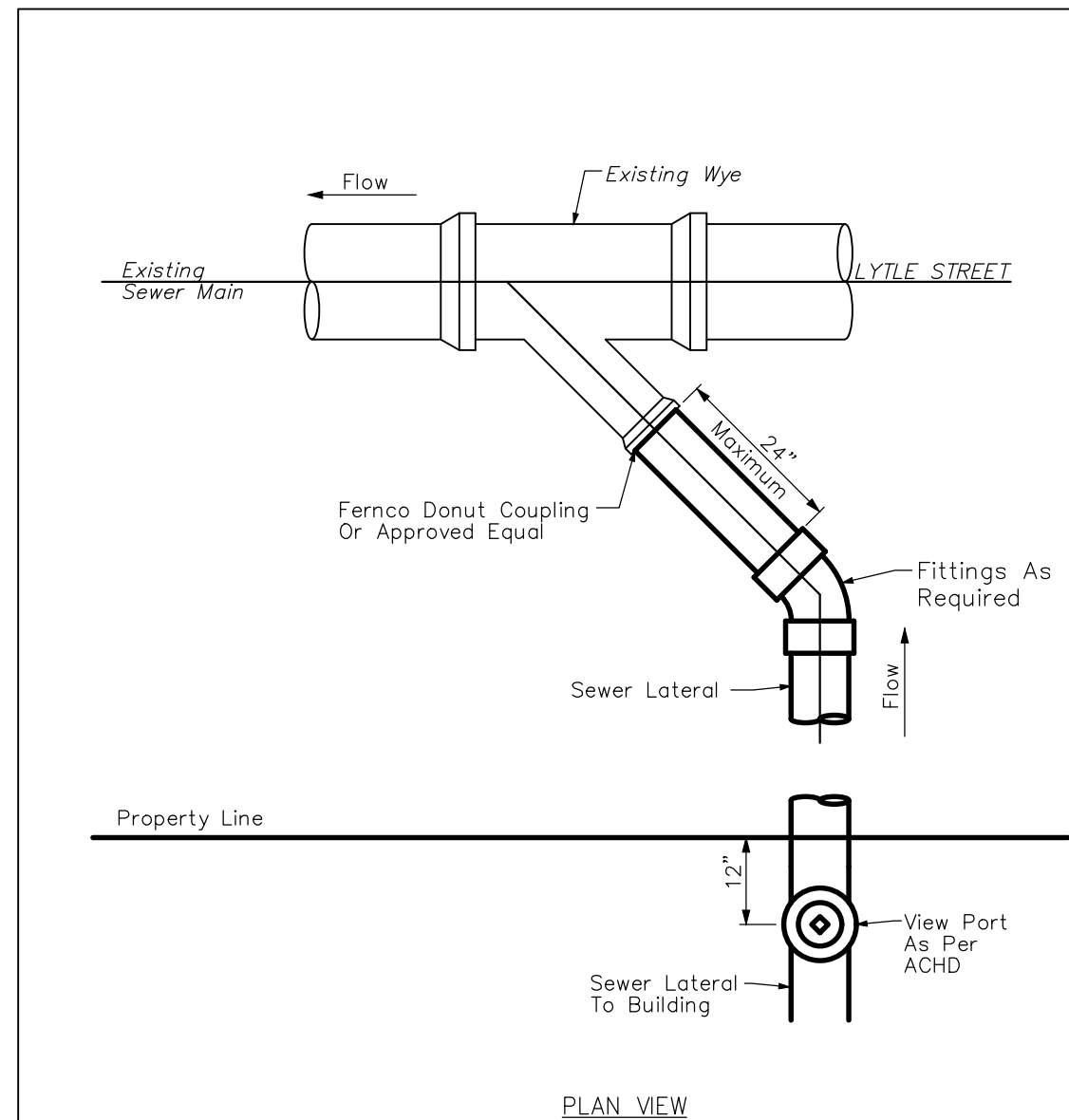
PLAN SCALE: 1" = 10'  
DATE: DECEMBER 17, 2020 SHEET \_\_\_\_\_ ACCESSION NO. \_\_\_\_\_  
REV 1: ISSUED FOR CONSTRUCTION 2-01-2021 2 OF 3 CASE NO. \_\_\_\_\_



K:\CLIENTS\THE PROGRESS FUND\192436SR - CLUSTER ST - CIVIL\CADD\PRODUCTION\192000002 - TAP IN DETAILS.DWG-SHEET 2



DRAWN BY: RAU\_09\_20/2019 CAD FILE NUMBER: 192000002 PROJECT NUMBER: 192000002 SHEET: 3



**NOTES**

- METER TO BE INSTALLED IN A WARM, NON-FREEZING, ACCESSIBLE AREA WITHIN DWELLING, A MINIMUM OF 2' FROM FLOOR AND A MAXIMUM OF 3' FROM POINT OF ENTRY AND/OR FROM INSIDE WALL.
- SEE ACHD PLUMBING CODE FOR ADDITIONAL PIPING AND PRESSURE REGULATOR REQUIREMENTS.
- PROPER METER ACCESS REQUIRED. METER SETTING CAN NOT BE IN A RESTRICTED AREA (i.e. UNDER STEPS, BEHIND FURNACE OR HOT WATER TANK), OR IN OTHER OBSTRUCTED AREAS IN ANY WAY.
- METER SETTING VALUES:

SIZE	COUPLING SPACE	METER TAIL-PIECE	FLOW (GPM)
5/8"	12.5"	1/2"	20
1/2"	12.5"	3/4"	20
3/4"	14.25"	3/4"	30
1"	16.5"	1"	50

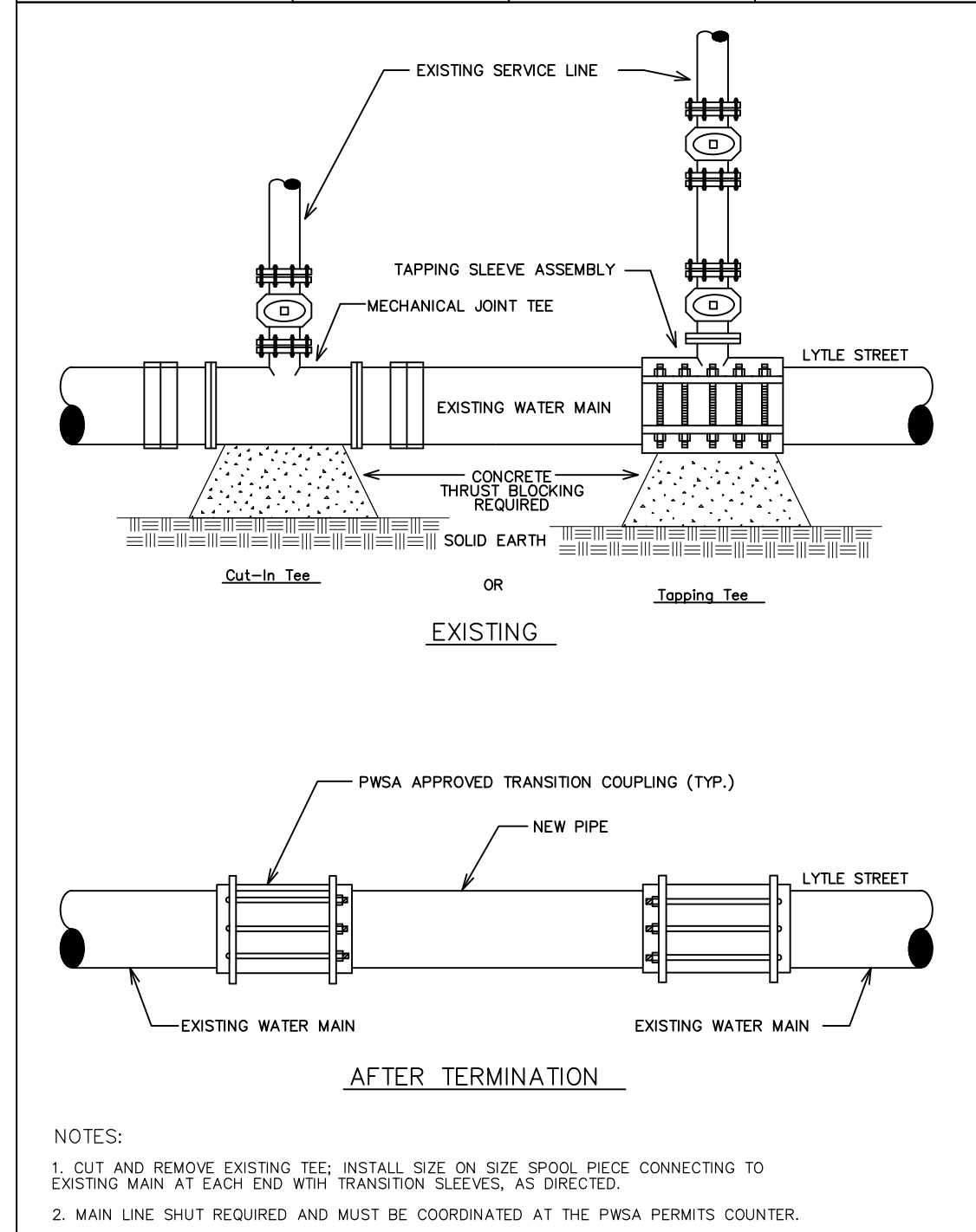
- THE METER AND MWJ SHALL BE PURCHASED FROM AND INSTALLED BY PWSA.
- METER ASSEMBLY SETTINGS MUST BE INSTALLED BY THE CUSTOMER BEFORE THE METER WILL BE SET, INCLUDING METER SERIAL NUMBER.
- CUSTOMER SHALL PROVIDE PROPER DRAIN AT METER SETTING LOCATION.
- METER MUST BE INSTALLED IN A HORIZONTAL POSITION ONLY.
- CUSTOMER TO PROVIDE DATA FOR PROPER PWSA SIZING AND PEAK DOMESTIC DEMAND.

**REVISIONS**

**PGH20** The Pittsburgh Water and Sewer Authority  
Pittsburgh Water & Sewer Authority  
Scale: N.T.S. Supplemental Detail Drawing: **ST-1**

**REVISIONS**

**PGH20** The Pittsburgh Water and Sewer Authority  
Pittsburgh Water & Sewer Authority  
Scale: N.T.S. Supplemental Detail Drawing: **WS-5CD1**

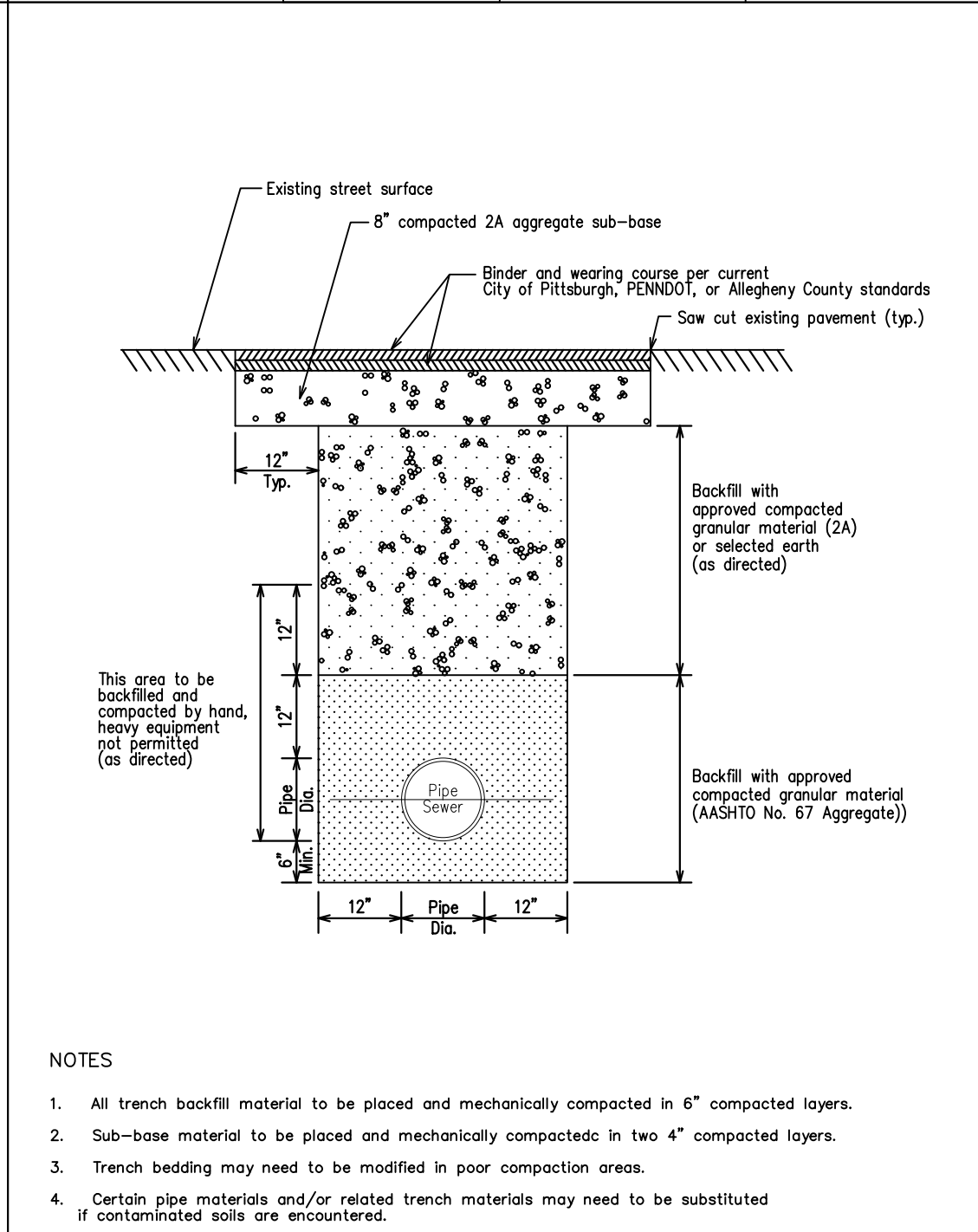


**NOTES:**

- CUT AND REMOVE EXISTING TEE, INSTALL SIZE ON SIZE SPOOL PIECE CONNECTING TO EXISTING MAIN AT EACH END WITH TRANSITION SLEEVES, AS DIRECTED.
- MAIN LINE SHUT REQUIRED AND MUST BE COORDINATED AT THE PWSA PERMITS COUNTER.

**REVISIONS**

**PGH20** The Pittsburgh Water and Sewer Authority  
Pittsburgh Water & Sewer Authority  
Scale: N.T.S. Supplemental Detail Drawing: **WS-STL**

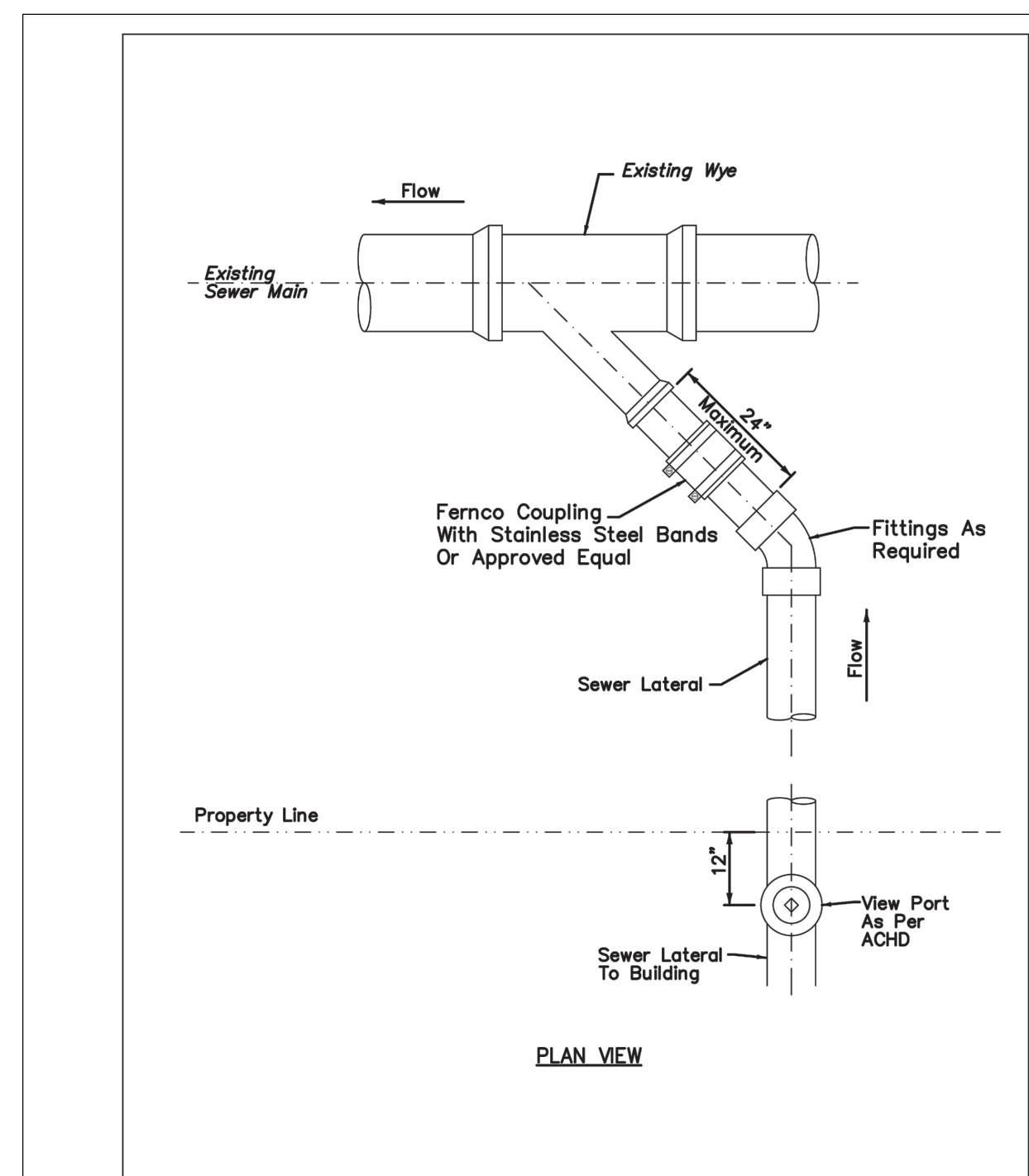


**NOTES**

- All trench backfill material to be placed and mechanically compacted in 6" compacted layers.
- Sub-base material to be placed and mechanically compacted in two 4" compacted layers.
- Trench bedding may need to be modified in poor compaction areas.
- Certain pipe materials and/or related trench materials may need to be substituted if contaminated soils are encountered.

**REVISIONS**

**PGH20** The Pittsburgh Water and Sewer Authority  
Pittsburgh Water & Sewer Authority  
Scale: N.T.S. Supplemental Detail Drawing: **SA-1A**



**REVISIONS**

**PGH20** The Pittsburgh Water and Sewer Authority  
Pittsburgh Water & Sewer Authority  
Scale: N.T.S. Supplemental Detail Drawing: **ST-2**

**THE PITTSBURGH WATER & SEWER AUTHORITY APPROVAL BLOCK**

To be completed by the Applicant:  
(Check all that apply)

NEW WATER CONNECTION(S)  
 NEW SEWER CONNECTION(S)  
 REUSE EXISTING WATER CONNECTION(S)  
 REUSE EXISTING SEWER CONNECTION(S)  
 TERMINATE EXISTING WATER CONNECTION(S)  
 TERMINATE EXISTING SEWER CONNECTION(S)  
 PRIVATE CONSTRUCTION OF PUBLIC FACILITIES

To be completed by the PWSA:  
(Required for ALL approvals)

REVIEWER \_\_\_\_\_

CHIEF OF OPERATIONS \_\_\_\_\_

(Required for "Private Construction of Public Facilities" ONLY)

DIRECTOR OF ENGINEERING AND CONSTRUCTION \_\_\_\_\_

PWSA PROJECT NUMBER \_\_\_\_\_

TAP C RECORD NUMBER \_\_\_\_\_

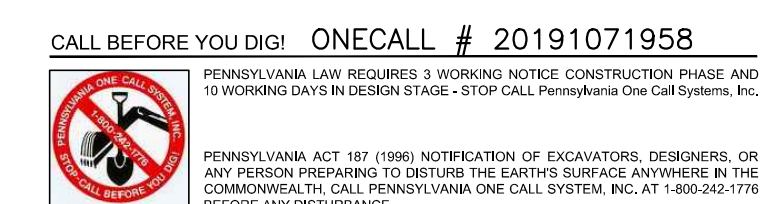
Signatures / Approval by PWSA are for the physical connection(s) to the water and/or sewer system only. Responsibility for the design and work depicted by the drawings, including the flow design for the facilities, is by the Professional Engineer shown by the seal and signature affixed to the drawing. The PWSA does not represent or warrant that the water supply to the facilities is sufficient to support the design.

PREPARED BY: **KU Resources, Inc.**  
22 South Linden Street  
Duquesne, PA 15110  
412.469.9331  
412.469.9336 fax  
www.kuresources.com

THE PROGRESS FUND  
425 WEST PITTSBURGH STREET  
GREENSBURG, PA 15601  
WATER & SEWER SERVICE TAP-IN

HAZELWOOD BREWERY 5007 LYTLE  
5007 LYTLE STREET  
PITTSBURGH, PENNSYLVANIA 15207

PLAN SCALE: 1" = 10'  
DATE: DECEMBER 17, 2020 SHEET ACCESSION NO. \_\_\_\_\_  
REV 1: ISSUED FOR CONSTRUCTION: 2-01-2021 3 OF 3 CASE NO. \_\_\_\_\_









Seal:

**OWNER:**  
THE PROGRESS FUND

**STRUCTURAL ENGINEER:**  
TAYLOR STRUCTURAL ENGINEERS, INC.

**MECHANICAL ENGINEER:**  
FORTIER ENGINEERING, LLC

**ELECTRICAL ENGINEER:**  
QUAD 3 GROUP, INC

**HAZELWOOD  
 BREWERY  
 BUILDING**

**Lytle St  
 Pittsburgh, PA**

Contractors shall verify and be responsible for all dimensions and conditions on the job and the architect shall be notified immediately of any discrepancies between this drawing, actual job conditions, and dimensions. This drawing and ideas/designs represented thereby are and shall remain the property of the architect and no part thereof shall be copied, issued, or used, without the express written consent of the architect.

©2020 TAI+LEE architects, P.C.

No.	Description	Date

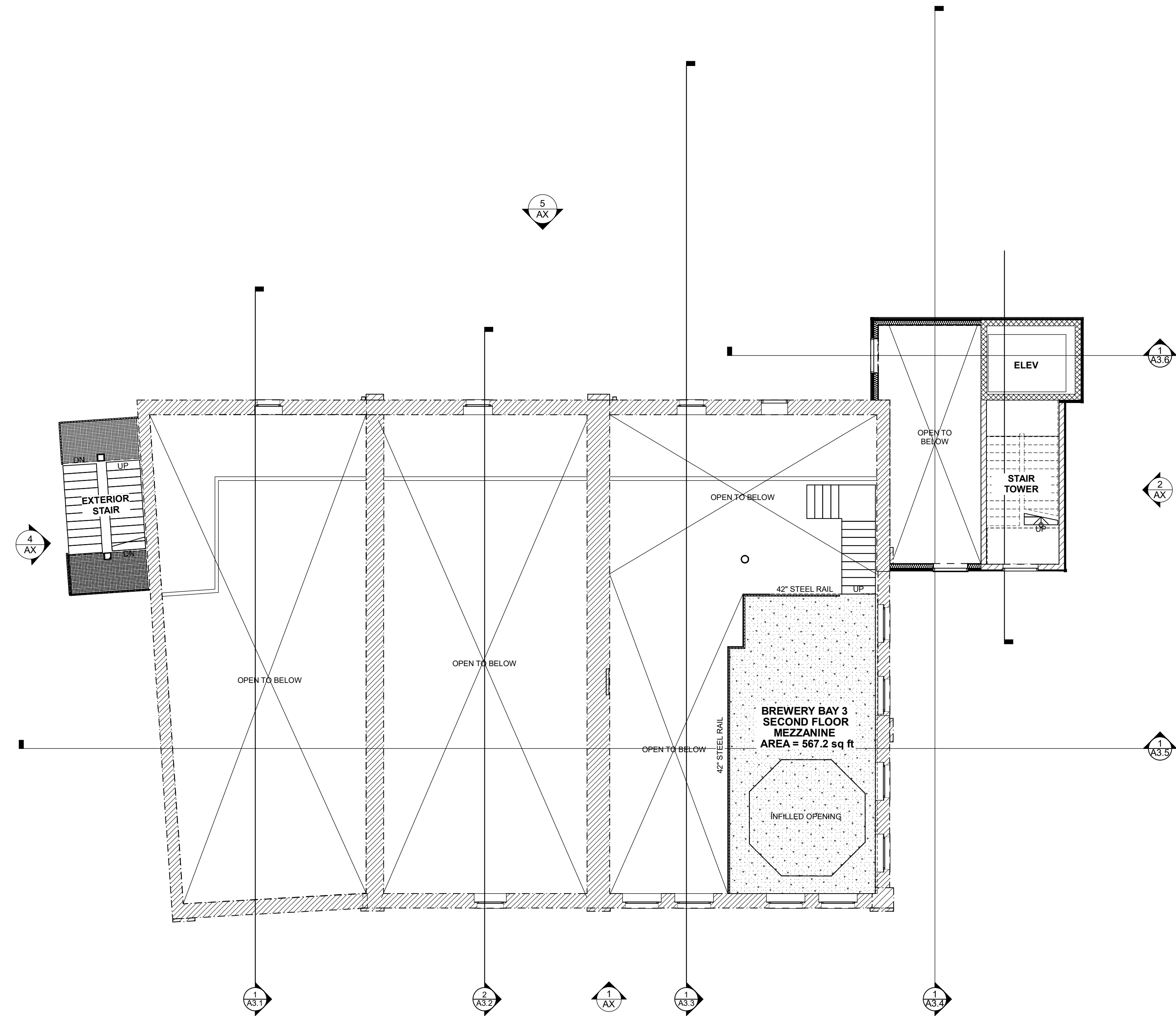
Project Number: 19106  
 Drawn By: WH  
 Date: 04/16/2020

**SECOND MEZZANINE  
 FLOOR PLAN**

Dwg. No.:

**A1.3**

plot date: 4/16/2020



**1 SECOND FLOOR MEZZANINE PLAN**  
 SCALE: 1/8" = 1'-0"

Seal:

**OWNER:**  
THE PROGRESS FUND

**STRUCTURAL ENGINEER:**  
TAYLOR STRUCTURAL ENGINEERS, INC.

**MECHANICAL ENGINEER:**  
FORTIER ENGINEERING, LLC

**ELECTRICAL ENGINEER:**  
QUAD 3 GROUP, INC

**HAZELWOOD BREWERY BUILDING**

**Lytle St  
Pittsburgh, PA**

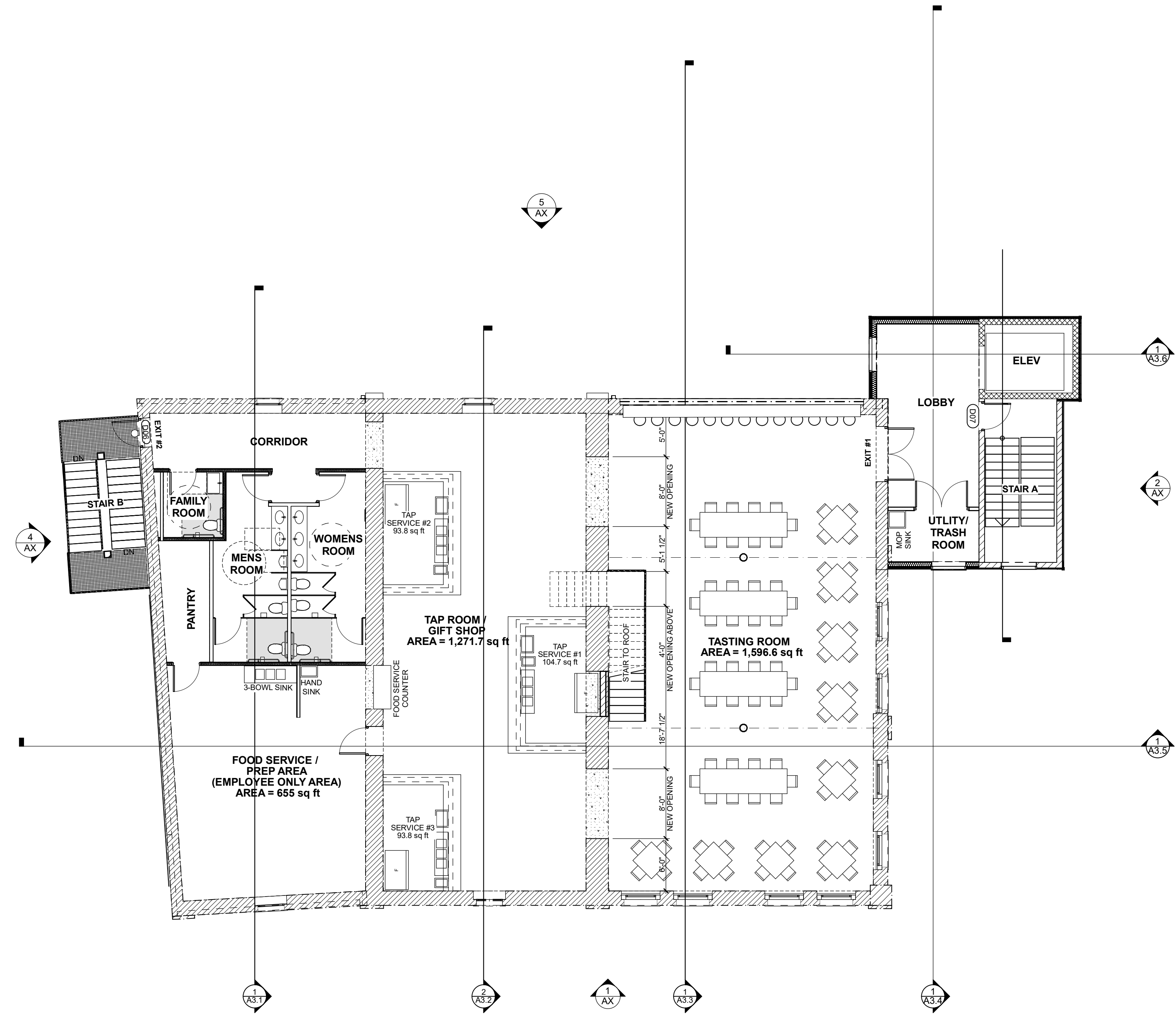
Contractors shall verify and be responsible for all dimensions and conditions on the job and the architect shall be notified immediately of any discrepancies between this drawing, actual job conditions, and dimensions.  
 This drawing and ideas/designs represented hereby are and shall remain the property of the architect and no part thereof shall be copied, issued, or used, without the express written consent of the architect.

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No.	Description	Date

Project Number: 19106  
 Drawn By: WH  
 Date: 04/16/2020

**THIRD FLOOR PLAN**



**1** THIRD FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

Dwg. No.:

**A1.4**

**TAI+LEE** architects PC  
 3106 Brereton Street  
 Pittsburgh, PA 15219  
 tel: 412.880.4020  
 mail@taipluslee.com

Seal:

**OWNER:**  
THE PROGRESS FUND  
**STRUCTURAL ENGINEER:**  
TAYLOR STRUCTURAL  
ENGINEERS, INC.  
**MECHANICAL ENGINEER:**  
FORTIER ENGINEERING, LLC  
**ELECTRICAL ENGINEER:**  
QUAD 3 GROUP, INC

**HAZELWOOD  
 BREWERY  
 BUILDING**

Lytle St  
 Pittsburgh, PA

Contractors shall verify and be responsible for all dimensions and conditions on the job and the architect shall be notified immediately of any discrepancies between this drawing, actual job conditions, and dimensions.  
 This drawing and ideas/designs represented thereby are and shall remain the property of the architect and no part thereof shall be copied, issued, or used, without the express written consent of the architect.

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No.	Description	Date

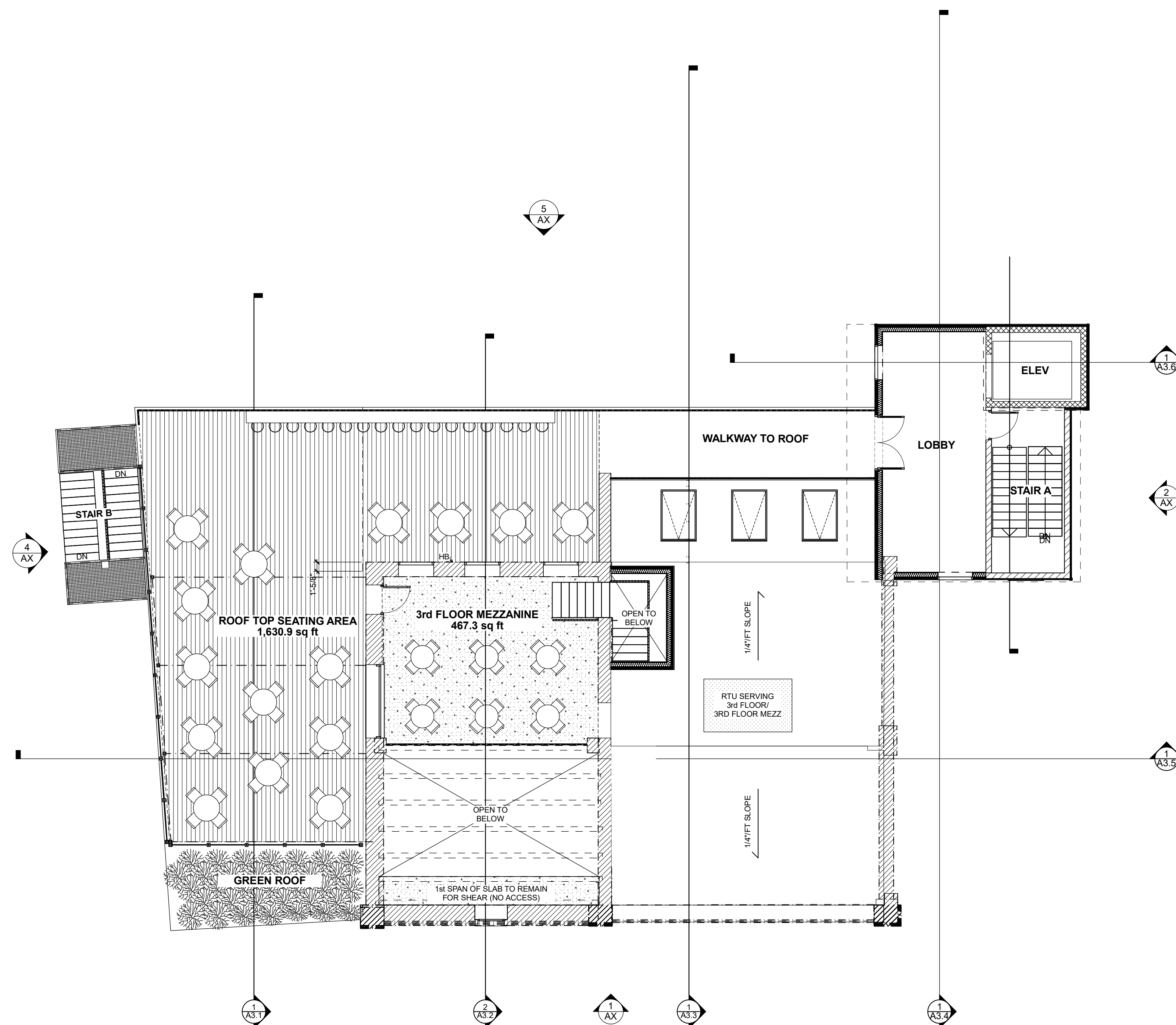
Project Number: 19106  
 Drawn By: WH  
 Date: 04/16/2020

**THIRD FLOOR  
 MEZZANINE AND ROOF  
 DECK PLAN**

Dwg. No.:

**A1.5**

plot date: 4/16/2020



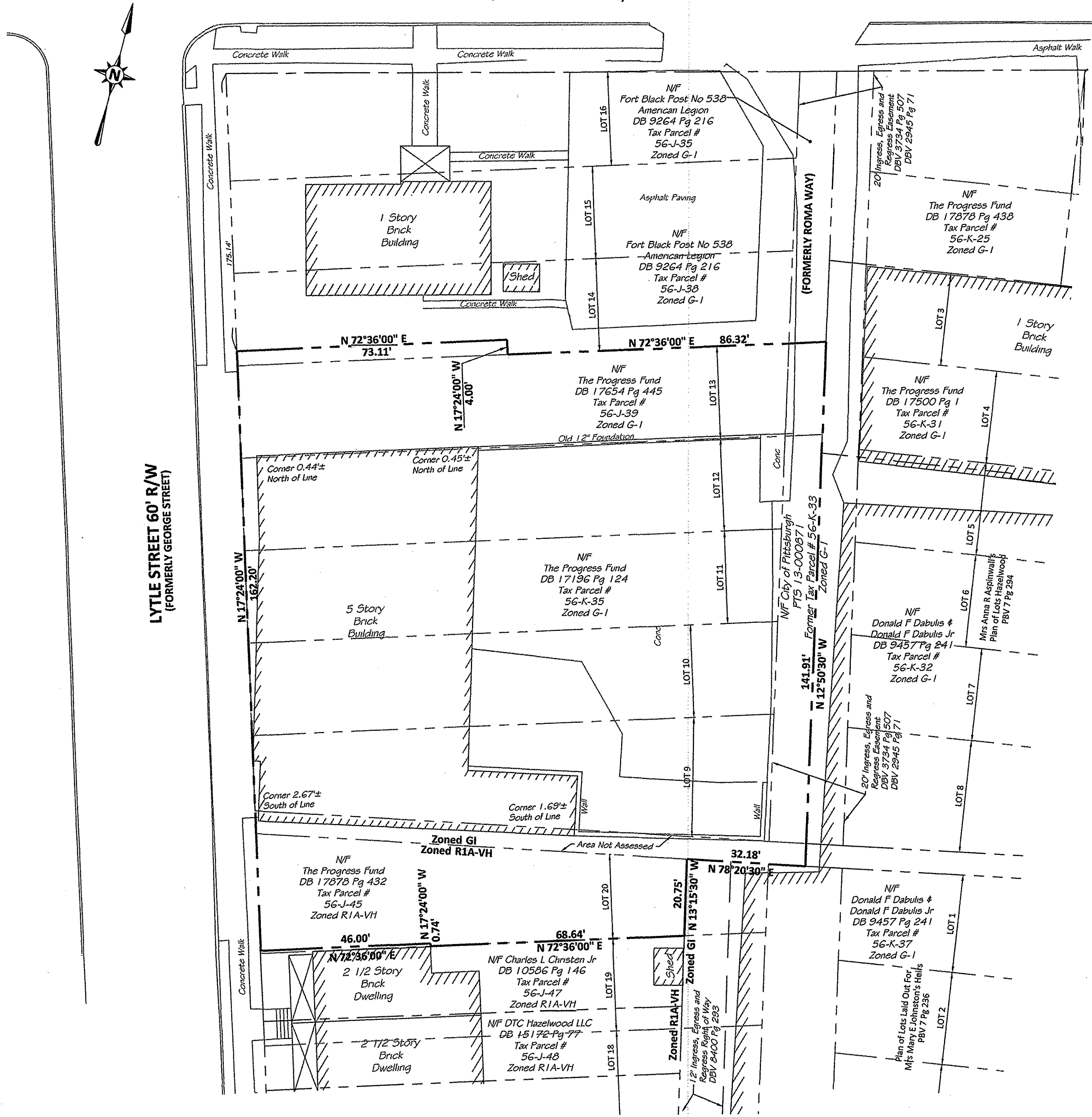
**1** THIRD FLOOR MEZZANINE / ROOF PLAN  
 SCALE: 1/8" = 1'-0"



ALL SIGNATURES MUST BE MADE WITH A BLUE INK PEN

ALL SIGNATURES MUST BE MADE WITH A BLUE INK PEN

**TECUMSEH STREET 50' R/W  
(FORMERLY WOOD STREET)**



BY A RESOLUTION APPROVED ON THE 17th DAY OF September 2022 THE BOARD OF DIRECTORS OF THE PROGRESS FUND, INCORPORATED IN THE STATE OF PENNSYLVANIA, OWNER OF THE LAND SHOWN ON THE PROGRESS FUND CONSOLIDATION PLAN ADOPTED THIS PLAN AS ITS PLAN OF LOTS AND IRREVOCABLY DEDICATED ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE CITY OF PITTSBURGH. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE CORPORATION AND UPON ITS SUCCESSORS AND ASSIGNS.

IN WITNESS OF WHICH, TO THIS WE SET OUR HAND AND SEAL THIS 17th DAY OF September 2022

ATTEST:  
*[Signature]*  
 \*\*\*NAME OF OFFICER & TITLE\*\*\*  
 THE PROGRESS FUND

**ACKNOWLEDGMENT OF NOTARY PUBLIC**  
 BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF ALLEGHENY, PERSONALLY APPEARED THE ABOVE NAMED they are, he-s David A. Kahley & Karen L. Best OF THE PROGRESS FUND, WHO STATED THAT HE IS AUTHORIZED TO EXECUTE THE ABOVE ADOPTION AND DEDICATION ON BEHALF OF THE CORPORATION AND WAS PRESENT AT THE MEETING AT WHICH THE ACTION OF THE CORPORATION WAS TAKEN TO ADOPT THE PLAN AND DEDICATE PUBLIC PROPERTY CONTAINED THEREIN TO THE CITY OF PITTSBURGH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 17th DAY OF September 2022

MY COMMISSION EXPIRES THE 7th DAY OF December, 2022

*[Signature]*  
 NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal  
 Holly C. Sawyer, Notary Public  
 Westmoreland County  
 My commission expires December 7, 2022  
 Commission number 1343722  
 Member, Pennsylvania Association of Notaries

THE PROGRESS FUND, OWNER OF PROGRESS FUND CONSOLIDATION PLAN, SHOWN HEREON, DO HEREBY CERTIFY THAT THERE IS NO MORTGAGE, LIEN, OR ENCUMBRANCE AGAINST THE PROPERTY, AND THAT THE TITLE OF THIS PROPERTY IS IN THE NAME OF THE PROGRESS FUND AS RECORDED IN DEED BOOK VOLUME 17654, PG. 445, DEED BOOK VOLUME 17196, PAGE 124 AND DEED BOOK VOLUME 171810, PG. 432 IN THE ALLEGHENY COUNTY DEPARTMENT OF REAL ESTATE.

*[Signature]*  
 SECRETARY

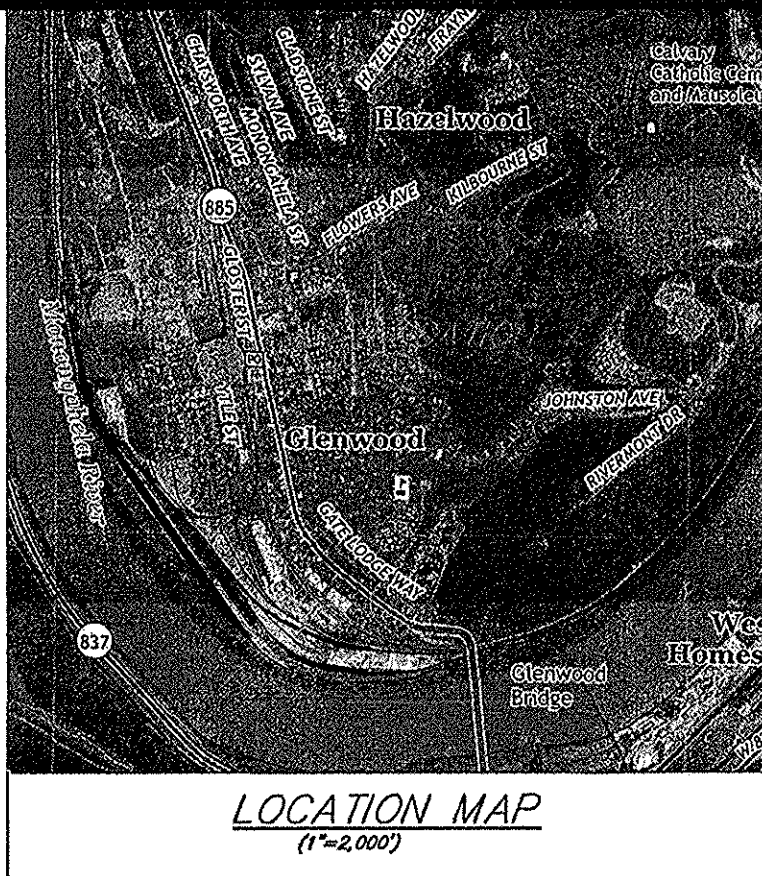
MEMBER: \_\_\_\_\_

**EXISTING AREA SUMMARY**

TAX PARCEL	SQ. FT.	ACRE(S)
56-J-39	4,253.47	0.098
56-K-35	14,672.10	0.337
56-J-45	3,031.07	0.070
PART OF FORMER 56-K-33	1,102.06	0.025
NOT ASSESSED AREA	918.31	0.021
<b>TOTAL AREA</b>	<b>23,977.01</b>	<b>0.550</b>

**PROPOSED AREA SUMMARY**

PARCEL	SQ. FT.	ACRE(S)
PARCEL A	23,977.00	0.550



**ZONING INFORMATION**

ZONED: R1A-VH  
 SINGLE UNIT ATTACHED RESIDENTIAL VERY HIGH DENSITY

ITEM	REQUIREMENTS
MINIMUM LOT SIZE	1,200 SQUARE FEET
MINIMUM LOT SIZE PER UNIT	400 SQUARE FEET
MINIMUM FRONT SETBACK	5 FEET
MINIMUM REAR SETBACK	15 FEET
MINIMUM EXTERIOR SIDE SETBACK	5 FEET
MINIMUM INTERIOR SIDEYARD SETBACK	5 FEET
MAXIMUM HEIGHT	40 FEET (NOT TO EXCEED 3 STORIES)

ZONED: GI  
 GENERAL INDUSTRIAL

ITEM	REQUIREMENTS
MINIMUM LOT SIZE	0
MAXIMUM FLOOR AREA RATIO	3:1
MAXIMUM LOT COVERAGE	NONE REQUIRED
MINIMUM FRONT SETBACK	NONE REQUIRED
MINIMUM REAR SETBACK	20 FEET
WHEN NOT ADJACENT TO A WAY WHEN ADJACENT TO A WAY	NONE REQUIRED
MINIMUM EXTERIOR SIDEYARD SETBACK	10 FEET
MINIMUM INTERIOR SIDEYARD SETBACK	10 FEET
MAXIMUM HEIGHT	75 FEET (NOT TO EXCEED 5 STORIES)

**CITY OF PITTSBURGH  
DEPARTMENT OF CITY PLANNING**

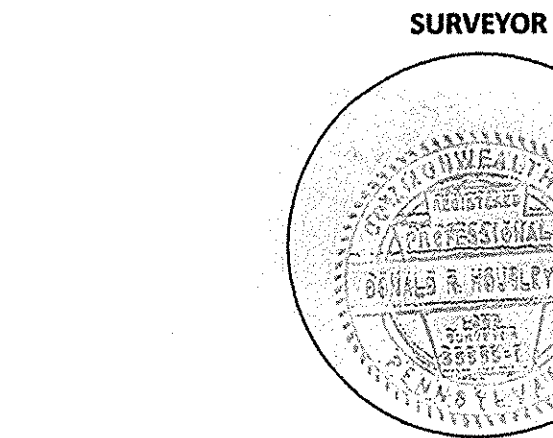
APPROVED: \_\_\_\_\_  
 CITY PLANNING COMMISSION

*[Signature]*  
 CHAIRMAN

ATTEST *[Signature]*  
 SECRETARY

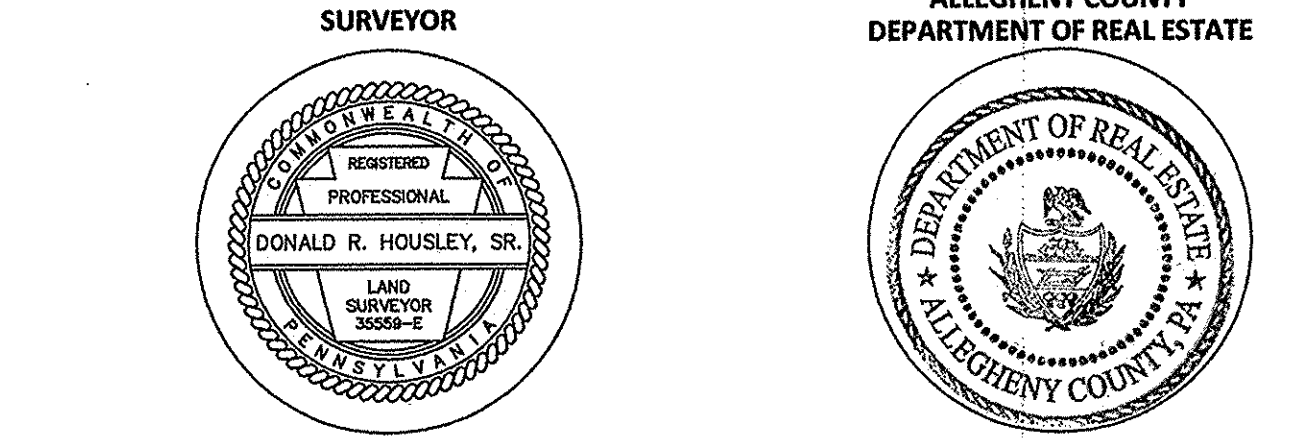
Application No. DCP-LOT-2020-00542  
 was APPROVED by the City of Pittsburgh  
 Planning Commission on July 14, 2020

**CALL BEFORE YOU DIG!**  
 PENNSYLVANIA LAW REQUIRES  
 3 WORKING DAYS NOTICE FOR  
 CONSTRUCTION PHASE AND 10 WORKING  
 DAYS IN DESIGN STAGE-STOP CALL



I, DONALD R. HOUSLEY, SR., A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

DATE: April 30, 2020  
 NAME: *[Signature]*  
 REG. NO. 35559-E



COMMONWEALTH OF PENNSYLVANIA )  
 COUNTY OF ALLEGHENY ) SS:

RECORDED IN THE OFFICE OF THE DEPARTMENT OF REAL ESTATE OF THE COUNTY OF ALLEGHENY, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 302, PAGE(S) 159.

GIVEN UNDER MY HAND AND SEAL THIS 6 DAY OF Oct, 2020

*[Signature]*  
 JERRY TYSKIEWICZ, MANAGER

BEING A CONSOLIDATION PLAN OF TAX PARCELS 56-J-39, 56-K-35, 56-J-45 AND PART OF FORMER 56-K-33 AND ALSO A PIECE OF GROUND BETWEEN 56-K-35 AND 56-J-45 NOT ASSESSED AREA.

**THE PROGRESS FUND  
CONSOLIDATION PLAN**  
 SITUATE IN  
 15th WARD, CITY OF PITTSBURGH  
 ALLEGHENY COUNTY, PENNSYLVANIA

Drawn By: WTS Scale: 1"=20'  
 Checked By: DRH Date: December 12, 2019  
 Approved By: TM  
 Drawing No.: 17-443 Consolidation Plan  
 Sheet No.: 1 of 1  
 Filename: 17-443 Hazelwood Brewery

**Mittal Division**  
 of KU Resources, Inc.  
 117 SAGAMORE HILL ROAD PITTSBURGH, PA 15239  
 TEL: (724) 327-7474 FAX: (724) 325-2734

No.	Date	Description	By



I:\2020\17-443\17-443.dwg: 17-443 Hazelwood Brewery Consolidation Plan User:William Spomer PlotDate: 4/30/2020 9:57 AM  
 350 PLN 306 159 1  
 P5 404 P55