

**SEWAGE FACILITIES PLANNING MODULE**

**THE RIVIERA – LOT 4B  
CITY OF PITTSBURGH  
ALLEGHENY COUNTY, PENNSYLVANIA**

**Prepared by:**

**CIVIL & ENVIRONMENTAL CONSULTANTS, INC.**

**CEC Project 171-949**

**APRIL 30, 2018**



**Civil & Environmental Consultants, Inc.**

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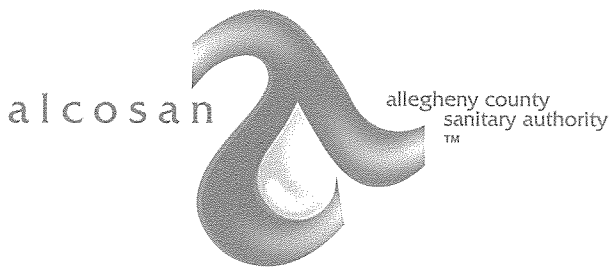
APPENDIX L – TRANSMITTAL LETTER FOR SEWAGE FACILITIES PLANNING  
MODULE

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**APPENDIX A**

**SEWAGE FACILITIES PLANNING MODULE – COMPONENT 3**

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*Members of the Board*

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Jeanne Clark  
*Director  
Communications*

April 25, 2018

Mr. Dennis S. Dunmire  
Civil & Environmental Consultants, Inc.  
333 Baldwin Road  
Pittsburgh, PA 15205

**Re: The Riviera (PTC Lot 4B)  
350 Technology Drive – City of Pittsburgh, 4<sup>th</sup> Ward  
PA DEP Sewage Facilities Planning Module  
ALCOSAN Interceptor Manhole M-19B-10**

Dear Mr. Dunmire:

We have reviewed the Component 3 Planning Module for the referenced project to be located in 4<sup>th</sup> Ward of the City of Pittsburgh. The project will generate a peak flow of 11,024 gpd in the ALCOSAN Monongahela Interceptor and Woods Run Treatment Plant.

The capacity at the ALCOSAN Interceptor at the M-19B-10 manhole is approximately 7.87 MGD. The monitored daily peak dry weather flow is approximately 3.27 MGD. Sufficient dry weather capacity exists for this connection. However, the ALCOSAN Monongahela Interceptor and the Woods Run Treatment Plant do not have the capacity for the flows generated by the tributary communities during wet weather periods. This limitation will be analyzed further as ALCOSAN completes its wet weather facilities plan.

ALCOSAN has completed and signed the sections required in the Component 3 module and requests that this letter be made part of the planning module submission. If you have any questions regarding this matter, please contact me at 412-732-8053.

Sincerely,

**ALLEGHENY COUNTY SANITARY AUTHORITY**

Shawn P. McWilliams, EIT  
Civil Engineer

attachment

cc: F. Fields (w/o attachment)  
D. Thornton (w/o attachment)  
M. Lichte (w/o attachment)  
Michelle Carney/ PWSA (w/o attachment)  
T. Flanagan/ PADEP (w/o attachment)  
M. Scheer/ ACHD (w/o attachment)

APR 26 2018



Pittsburgh  
Water & Sewer  
Authority

April 5, 2018

Ms. Adele M. Beaves, P.E.  
Civil and Environmental Consultants, Inc.  
333 Baldwin Road  
Pittsburgh, PA 15205

**RE: The Riviera – Lot 4B  
350 Technology Drive - 15219**

Dear Ms. Beaves:

The Pittsburgh Water and Sewer Authority (PWSA) is in receipt of the PA DEP Sewage Facilities Planning Module Component 3.

PWSA has signed in the correct location and forwarding back to you for processing to ALCOSAN for final signature. Contact Rachel O'Neill at the City of Pittsburgh Law Department at (412-255-2613) to prepare the required City Resolution that Council will need to approve for this project.

Once you receive City Council Resolution, you must submit the complete package to the DEP for final review and approval. You must include all documentation including the approved City of Pittsburgh Council Resolution and any review fees.

Once PWSA receives a copy of the approved Sewage Facilities Planning Module from the DEP, PWSA will process the tap in plan. PWSA is not permitted to issue final approval or a PWSA Permit for connection to the water and/or sewer mains until approval from DEP is granted.

If you have any questions, feel free to contact PWSA or any questions regarding the Planning Module you must contact the DEP.

Sincerely,

  
Michelle E. Carney  
Engineering Technician III

MEC

Attachments

cc: Thomas Flanagan – DEP  
Rachel O'Neill – City of Pittsburgh Law Department  
Michael Lichte – ALCOSAN  
Mark Hvizdak – Burns Scalo  
PWSA File

Penn Liberty Plaza I  
1200 Penn Avenue  
Pittsburgh PA 15222

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Customer Service /  
Emergencies:  
412.255.2423

APR 09 2018

**To:** George Robinson II

**From:** Matt Smuts

**Date:** March 20, 2018

**Subject:** **DEP Sewage Planning Module – Section J. Chapter 94  
Consistency Determination, Calculation Review for:  
The Riviera (350 Technology Drive)**

Upon review of the submittal by Civil and Environmental Consultants (CEC) for the above referenced development I have determined that the projected flows are less than the design capacity of the PWSA sewers and, therefore the sewers should have adequate capacity for the proposed development.



COMMONWEALTH OF PENNSYLVANIA  
DEPARTMENT OF ENVIRONMENTAL PROTECTION  
BUREAU OF POINT AND NON-POINT SOURCE MANAGEMENT

Code No.

## SEWAGE FACILITIES PLANNING MODULE

### Component 3. Sewage Collection and Treatment Facilities

(Return completed module package to appropriate municipality)

DEP USE ONLY				
DEP CODE #	CLIENT ID #	SITE ID #	APS ID #	AUTH ID #

This planning module component is used to fulfill the planning requirements of Act 537 for the following types of projects: (1) a subdivision to be served by sewage collection, conveyance or treatment facilities, (2) a tap-in to an existing collection system with flows on a lot of 2 EDU's or more, or (3) the construction of, or modification to, wastewater collection, conveyance or treatment facilities that will require DEP to issue or modify a Clean Streams Law permit. Planning for any project that will require DEP to issue or modify a permit cannot be processed by a delegated agency. Delegated agencies must send their projects to DEP for final planning approval.

This component, along with any other documents specified in the cover letter, must be completed and submitted to the municipality with jurisdiction over the project site for review and approval. All required documentation must be attached for the Sewage Facilities Planning Module to be complete. Refer to the instructions for help in completing this component.

**REVIEW FEES:** Amendments to the Sewage Facilities Act established fees to be paid by the developer for review of planning modules for land development. These fees may vary depending on the approving agency for the project (DEP or delegated local agency). Please see section R and the instructions for more information on these fees.

**NOTE:** All projects must complete Sections A through I, and Sections O through R. Complete Sections J, K, L, M and/or N if applicable or marked .

#### A. PROJECT INFORMATION (See Section A of instructions)

1. Project Name The Riviera - Lot 4b

2. Brief Project Description It consists of a six-story, 156,000 sf office building with associated site amenities, landscaping and utilities. The project is anticipating a small café that will seat 33 patrons that is intended to serve the employees of the office building

#### B. CLIENT (MUNICIPALITY) INFORMATION (See Section B of instructions)

Municipality Name	County	City	Boro	Twp
Pittsburgh	Allegheny	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Municipality Contact Individual - Last Name	First Name	MI	Suffix	Title
Robinson	George			Manager of Development Services
Additional Individual Last Name	First Name	MI	Suffix	Title
<del>Robinson</del>	<del>Michelle</del>			<del>Engineering Technician</del>
Municipality Mailing Address Line 1	Mailing Address Line 2			
Penn Liberty Plaza 1	1200 Penn Avenue			
Address Last Line -- City	State	ZIP+4		
Pittsburgh	PA	15222-2219		
Area Code + Phone + Ext.	FAX (optional)	Email (optional)		
412-255- <del>8682</del> 8800	412-393-0517	grobinson@pgh20.com		

**C. SITE INFORMATION** (See Section C of instructions)

**Site (Land Development or Project) Name**

The Riviera - Lot 4b

Site Location Line 1

350 Technology Drive

Site Location Line 2

Site Location Last Line -- City

Pittsburgh

State

PA

ZIP+4

15219

Latitude

Longitude

Detailed Written Directions to Site Travel east across the Hot Metal Bridge then turn north on Second Avenue. Turn left onto Technology Drive at the first stop light. Turn right at the "T" Intersection and the site

Description of Site The site consists of a maintained grassy, previously graded pad ready site that is adjacent to the Monongahela River and Technology Drive.

**Site Contact (Developer/Owner)**

Last Name

Hvizdak

First Name

Mark

MI Suffix

Phone

412-250-3275

Ext.

Site Contact Title

Project Manager

Site Contact Firm (if none, leave blank)

FAX

412-250-3001

Email

mhvizdak@burnsscalo.com

Mailing Address Line 1

965 Greentree Road

Mailing Address Line 2

Suite 400

Mailing Address Last Line -- City

Pittsburgh

State

PA

ZIP+4

15220

**D. PROJECT CONSULTANT INFORMATION** (See Section D of instructions)

Last Name

Dunmire

First Name

Dennis

MI

S

Suffix

Title

Assistant Project Manager

Consulting Firm Name

Civil & Environmental Consultants, Inc.

Mailing Address Line 1

333 Baldwin Road

Mailing Address Line 2

Address Last Line -- City

Pittsburgh

State

PA

ZIP+4

15205

Country

USA

Email

ddunmire@cecinc.com

Area Code + Phone

412-429-2324

Ext.

1343

Area Code + FAX

412-429-2114

**E. AVAILABILITY OF DRINKING WATER SUPPLY**

The project will be provided with drinking water from the following source: (Check appropriate box)

Individual wells or cisterns.

A proposed public water supply.

An existing public water supply.

If existing public water supply is to be used, provide the name of the water company and attach documentation from the water company stating that it will serve the project.

Name of water company: Pittsburgh Water & Sewer Authority

**F. PROJECT NARRATIVE** (See Section F of instructions)

A narrative has been prepared as described in Section F of the instructions and is attached.

The applicant may choose to include additional information beyond that required by Section F of the instructions.



**G. PROPOSED WASTEWATER DISPOSAL FACILITIES** (See Section G of instructions)

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter 93 (relating to wastewater treatment requirements).

**1. COLLECTION SYSTEM**

a. Check appropriate box concerning collection system

- New collection system       Pump Station       Force Main  
 Grinder pump(s)       Extension to existing collection system       Expansion of existing facility

Clean Streams Law Permit Number \_\_\_\_\_

b. Answer questions below on collection system

Number of EDU's and proposed connections to be served by collection system. EDU's 28

Connections 1

Name of:

existing collection or conveyance system Existing 8" sanitary sewer line in Technology Drive

owner Pittsburgh Water & Sewer Authority

existing interceptor Mononghela M-19

owner ALCOSAN

**2. WASTEWATER TREATMENT FACILITY**

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter(s) 91 (relating to general provisions), 92 (relating to national Pollution Discharge Elimination System permitting, monitoring and compliance) and 93 (relating to water quality standards).

a. Check appropriate box and provide requested information concerning the treatment facility

- New facility       Existing facility       Upgrade of existing facility       Expansion of existing facility

Name of existing facility ALCOSAN WOODS RUN WWTP

NPDES Permit Number for existing facility 25984

Clean Streams Law Permit Number \_\_\_\_\_

Location of discharge point for a new facility. Latitude 40°28'34" Longitude 80°02'44"

b. The following certification statement must be completed and signed by the wastewater treatment facility permittee or their representative.

As an authorized representative of the permittee, I confirm that the ALCOSAN  
(Name from above) sewage treatment facilities can accept sewage flows from this project without adversely affecting the facility's ability to achieve all applicable technology and water quality based effluent limits (see Section I) and conditions contained in the NPDES permit identified above.

Name of Permittee Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent SHAWN P. McWILLIAMS, EIT

Agent Signature [Signature] Date 04/25/18

(Also see Section I. 4.)

**G. PROPOSED WASTEWATER DISPOSAL FACILITIES** (Continued)

**3. PLOT PLAN**

The following information is to be submitted on a plot plan of the proposed subdivision.

- a. Existing and proposed buildings.
- b. Lot lines and lot sizes.
- c. Adjacent lots.
- d. Remainder of tract.
- e. Existing and proposed sewerage facilities. Plot location of discharge point, land application field, spray field, COLDS, or LVCOLDS if a new facility is proposed.
- f. Show tap-in or extension to the point of connection to existing collection system (if applicable).
- g. Existing and proposed water supplies and surface water (wells, springs, ponds, streams, etc.)
- h. Existing and proposed rights-of-way.
- i. Existing and proposed buildings, streets, roadways, access roads, etc.
- j. Any designated recreational or open space area.
- k. Wetlands - from National Wetland Inventory Mapping and USGS Hydric Soils Mapping.
- l. Flood plains or Flood prone areas, floodways, (Federal Flood Insurance Mapping)
- m. Prime Agricultural Land.
- n. Any other facilities (pipelines, power lines, etc.)
- o. Orientation to north.
- p. Locations of all site testing activities (soil profile test pits, slope measurements, permeability test sites, background sampling, etc. (if applicable).
- q. Soils types and boundaries when a land based system is proposed.
- r. Topographic lines with elevations when a land based system is proposed

**4. WETLAND PROTECTION**

YES NO

- a.   Are there wetlands in the project area? If yes, ensure these areas appear on the plot plan as shown in the mapping or through on-site delineation.
- b.   Are there any construction activities (encroachments, or obstructions) proposed in, along, or through the wetlands? If yes, identify any proposed encroachments on wetlands and identify whether a General Permit or a full encroachment permit will be required. If a full permit is required, address time and cost impacts on the project. Note that wetland encroachments should be avoided where feasible. Also note that a feasible alternative **MUST BE SELECTED** to an identified encroachment on an exceptional value wetland as defined in Chapter 105. Identify any project impacts on streams classified as HQ or EV and address impacts of the permitting requirements of said encroachments on the project.

**5. PRIME AGRICULTURAL LAND PROTECTION**

YES NO

- Will the project involve the disturbance of prime agricultural lands?  
If yes, coordinate with local officials to resolve any conflicts with the local prime agricultural land protection program. The project must be consistent with such municipal programs before the sewage facilities planning module package may be submitted to DEP.  
If no, prime agricultural land protection is not a factor to this project.
- Have prime agricultural land protection issues been settled?

**6. HISTORIC PRESERVATION ACT**

YES NO

- Sufficient documentation is attached to confirm that this project is consistent with DEP Technical Guidance 012-0700-001 *Implementation of the PA State History Code* (available online at the DEP website at [www.dep.state.pa.us](http://www.dep.state.pa.us), select "subject" then select "technical guidance"). As a minimum this includes copies of the completed Cultural Resources Notice (CRN), a return receipt for its submission to the PHMC and the PHMC review letter.

**7. PROTECTION OF RARE, ENDANGERED OR THREATENED SPECIES**

Check one:

- The "Pennsylvania Natural Diversity Inventory (PNDI) Project Environmental Review Receipt" resulting from my search of the PNDI database and all supporting documentation from jurisdictional agencies (when necessary) is/are attached.
- A completed "Pennsylvania Natural Diversity Inventory (PNDI) Project Planning & Environmental Review Form," (PNDI Form) available at [www.naturalheritage.state.pa.us](http://www.naturalheritage.state.pa.us) , and all required supporting documentation is attached. I request DEP staff to complete the required PNDI search for my project. I realize that my planning module will be considered incomplete upon submission to the Department and that the DEP review will not begin, and that processing of my planning module will be delayed, until a "PNDI Project Environmental Review Receipt" and all supporting documentation from jurisdictional agencies (when necessary) is/are received by DEP.

Applicant or Consultant Initials \_\_\_\_\_.

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**H. ALTERNATIVE SEWAGE FACILITIES ANALYSIS** (See Section H of instructions)

- An alternative sewage facilities analysis has been prepared as described in Section H of the attached instructions and is attached to this component.  
  
The applicant may choose to include additional information beyond that required by Section H of the attached instructions.

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**I. COMPLIANCE WITH WATER QUALITY STANDARDS AND EFFLUENT LIMITATIONS** (See Section I of instructions) (Check and complete all that apply.)

**1. Waters designated for Special Protection**

- The proposed project will result in a new or increased discharge into special protection waters as identified in Title 25, Pennsylvania Code, Chapter 93. The Social or Economic Justification (SEJ) required by Section 93.4c. is attached.

**2. Pennsylvania Waters Designated As Impaired**

- The proposed project will result in a new or increased discharge of a pollutant into waters that DEP has identified as being impaired by that pollutant. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss water quality based discharge limitations.

**3. Interstate and International Waters**

- The proposed project will result in a new or increased discharge into interstate or international waters. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss effluent limitations necessary to meet the requirements of the interstate or international compact.

**4. Tributaries To The Chesapeake Bay**

- The proposed project result in a new or increased discharge of sewage into a tributary to the Chesapeake Bay. This proposal for a new sewage treatment facility or new flows to an existing facility includes total nitrogen and total phosphorus in the following amounts: \_\_\_\_\_ pounds of TN per year, and \_\_\_\_\_ pounds of TP per year. Based on the process design and effluent limits, the total nitrogen treatment capacity of the wastewater treatment facility is \_\_\_\_\_ pounds per year and the total phosphorus capacity is \_\_\_\_\_ pounds per year as determined by the wastewater treatment facility permittee. The permittee has determined that the additional TN and TP to be contributed by this project (as modified by credits and/or offsets to be provided) will not cause the discharge to exceed the annual total mass limits for these parameters. Documentation of compliance with nutrient allocations is attached.

Name of Permittee Agency, Authority, Municipality \_\_\_\_\_

Initials of Responsible Agent (See Section G 2.b) \_\_\_\_\_

See *Special Instructions* (Form 3800-FM-BPNPSM0353-1) for additional information on Chesapeake Bay watershed requirements.

**J. CHAPTER 94 CONSISTENCY DETERMINATION** (See Section J of instructions)

Projects that propose the use of existing municipal collection, conveyance or wastewater treatment facilities, or the construction of collection and conveyance facilities to be served by existing municipal wastewater treatment facilities must be consistent with the requirements of Title 25, Chapter 94 (relating to Municipal Wasteload Management). If not previously included in Section F, include a general map showing the path of the sewage to the treatment facility. If more than one municipality or authority will be affected by the project, please obtain the information required in this section for each. Additional sheets may be attached for this purpose.

1. Project Flows 11024 gpd
2. Total Sewage Flows to Facilities (pathway from point of origin through treatment plant)

When providing "treatment facilities" sewage flows, use Annual Average Daily Flow for "average" and Maximum Monthly Average Daily Flow for "peak" in all cases. For "peak flows" in "collection" and "conveyance" facilities, indicate whether these flows are "peak hourly flow" or "peak instantaneous flow" and how this figure was derived (i.e., metered, measured, estimated, etc.).

- a. Enter average and peak sewage flows for each proposed or existing facility as designed or permitted.
- b. Enter the average and peak sewage flows for the most restrictive sections of the existing sewage facilities.
- c. Enter the average and peak sewage flows, projected for 5 years (2 years for pump stations) through the most restrictive sections of the existing sewage facilities. Include existing, proposed (this project) and future project (other approved projects) flows.

To complete the table, refer to the instructions, Section J.

	a. Design and/or Permitted Capacity (gpd)		b. Present Flows (gpd)		c. Projected Flows in 5 years (gpd) (2 years for P.S.)	
	Average	Peak	Average	Peak	Average	Peak
<b>Collection</b>	378555	1324944	0	0	11578	40608
<b>Conveyance</b>		7.87 MGD	2.71 MGD	3.27 MGD	2.75 MGD	3.31 MGD
<b>Treatment</b>		250 MGD		250 MGD		250 MGD

3. Collection and Conveyance Facilities

The questions below are to be answered by the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities. These questions should be answered in coordination with the latest Chapter 94 annual report and the above table. The individual(s) signing below must be legally authorized to make representation for the organization.

YES NO

- a.  YES  NO This project proposes sewer extensions or tap-ins. Will these actions create a hydraulic overload within five years on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until all inconsistencies with Chapter 94 are resolved or unless there is an approved Corrective Action Plan (CAP) granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the module package.

If no, a representative of the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not affect that status.

b. Collection System

Name of Agency, Authority, Municipality Pittsburgh Water and Sewer Authority / City of Pittsburgh

Name of Responsible Agent George Robinson, Manager of Development Services

Agent Signature  Date 4/3/18

**J. CHAPTER 94 CONSISTENCY DETERMINATION** (See Section J of instructions)

c. Conveyance System

Name of Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent SHAWN P. MCWILLIAMS, EIT

Agent Signature [Signature]

Date 04/25/18

4. Treatment Facility

The questions below are to be answered by a representative of the facility permittee in coordination with the information in the table and the latest Chapter 94 report. The individual signing below must be legally authorized to make representation for the organization.

YES NO \* ALCOSAN IS UNDER A CONSENT DECREE TO ADDRESS WET WEATHER OVERFLOWS.

a.   This project proposes the use of an existing wastewater treatment plant for the disposal of sewage. Will this action create a hydraulic or organic overload within 5 years at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this inconsistency with Chapter 94 is resolved or unless there is an approved CAP granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the planning module.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not impact that status.

b. Name of Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent SHAWN P. MCWILLIAMS, EIT

Agent Signature [Signature]

Date 04/25/18

**K. TREATMENT AND DISPOSAL OPTIONS** (See Section K of instructions)

This section is for land development projects that propose construction of wastewater treatment facilities. Please note that, since these projects require permits issued by DEP, these projects may **NOT** receive final planning approval from a delegated local agency. Delegated local agencies must send these projects to DEP for final planning approval.

Check the appropriate box indicating the selected treatment and disposal option.

- 1. Spray irrigation (other than individual residential spray systems (IRSIS)) or other land application is proposed, and the information requested in Section K.1. of the planning module instructions are attached.
- 2. Recycle and reuse is proposed and the information requested in Section K-2 of the planning module instructions is attached.
- 3. A discharge to a dry stream channel is proposed, and the information requested in Section K.3. of the planning module instructions are attached.
- 4. A discharge to a perennial surface water body is proposed, and the information requested in Section K.4. of the planning module instructions are attached.

**L. PERMEABILITY TESTING** (See Section L of instructions)

The information required in Section L of the instructions is attached.

**M. PRELIMINARY HYDROGEOLOGIC STUDY** (See Section M of instructions)

The information required in Section M of the instructions is attached.

**N. DETAILED HYDROGEOLOGIC STUDY** (See Section N of instructions)

The detailed hydrogeologic information required in Section N. of the instructions is attached.

**O. SEWAGE MANAGEMENT** (See Section O of instructions)

(1-3 for completion by the developer(project sponser), 4-5 for completion by the non-municipal facility agent and 6 for completion by the municipality)

Yes No

1.   Is connection to, or construction of, a DEP permitted, non-municipal sewage facility or a local agency permitted, community onlot sewage facility proposed.

If Yes, respond to the following questions, attach the supporting analysis, and an evaluation of the options available to assure long-term proper operation and maintenance of the proposed non-municipal facilities. If No, skip the remainder of Section O.

2. Project Flows 11024 gpd

Yes No

3.   Is the use of nutrient credits or offsets a part of this project?

If yes, attach a letter of intent to purchase the necessary credits and describe the assurance that these credits and offsets will be available for the remaining design life of the non-municipal sewage facility;

**(For completion by non-municipal facility agent)**

4. Collection and Conveyance Facilities

The questions below are to be answered by the organization/individual responsible for the non-municipal collection and conveyance facilities. The individual(s) signing below must be legally authorized to make representation for the organization.

Yes No

- a.   If this project proposes sewer extensions or tap-ins, will these actions create a hydraulic overload on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, a representative of the organization responsible for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with Chapter 71 §71.53(d)(3) and that this proposal will not affect that status.

- b. Collection System

Name of Responsible Organization \_\_\_\_\_

Name of Responsible Agent \_\_\_\_\_

Agent Signature \_\_\_\_\_

Date \_\_\_\_\_

- c. Conveyance System

Name of Responsible Organization \_\_\_\_\_

Name of Responsible Agent \_\_\_\_\_

Agent Signature \_\_\_\_\_

Date \_\_\_\_\_

5. Treatment Facility

The questions below are to be answered by a representative of the facility permittee. The individual signing below must be legally authorized to make representation for the organization.

Yes No

- a.   If this project proposes the use of an existing non-municipal wastewater treatment plant for the disposal of sewage, will this action create a hydraulic or organic overload at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with §71.53(d)(3) and that this proposal will not impact that status.

- b. Name of Facility \_\_\_\_\_  
Name of Responsible Agent \_\_\_\_\_  
Agent Signature \_\_\_\_\_  
Date \_\_\_\_\_

**(For completion by the municipality)**

6.  The **SELECTED OPTION** necessary to assure long-term proper operation and maintenance of the proposed non-municipal facilities is clearly identified with documentation attached in the planning module package.

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**P. PUBLIC NOTIFICATION REQUIREMENT** (See Section P of instructions)

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This section must be completed to determine if the applicant will be required to publish facts about the project in a newspaper of general circulation to provide a chance for the general public to comment on proposed new land development projects. This notice may be provided by the applicant or the applicant's agent, the municipality or the local agency by publication in a newspaper of general circulation within the municipality affected. Where an applicant or an applicant's agent provides the required notice for publication, the applicant or applicant's agent shall notify the municipality or local agency and the municipality and local agency will be relieved of the obligation to publish. The required content of the publication notice is found in Section P of the instructions.

To complete this section, each of the following questions must be answered with a "yes" or "no". Newspaper publication is required if any of the following are answered "yes".

Yes No

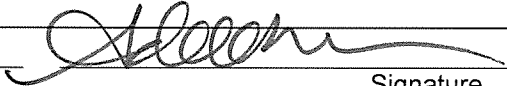
1.   Does the project propose the construction of a sewage treatment facility ?
2.   Will the project change the flow at an existing sewage treatment facility by more than 50,000 gallons per day?
3.   Will the project result in a public expenditure for the sewage facilities portion of the project in excess of \$100,000?
4.   Will the project lead to a major modification of the existing municipal administrative organizations within the municipal government?
5.   Will the project require the establishment of *new* municipal administrative organizations within the municipal government?
6.   Will the project result in a subdivision of 50 lots or more? (onlot sewage disposal only)
7.   Does the project involve a major change in established growth projections?
8.   Does the project involve a different land use pattern than that established in the municipality's Official Sewage Plan?

**P. PUBLIC NOTIFICATION REQUIREMENT cont'd.** (See Section P of instructions)

- 9.   Does the project involve the use of large volume onlot sewage disposal systems (Flow > 10,000 gpd)?
- 10.   Does the project require resolution of a conflict between the proposed alternative and consistency requirements contained in §71.21(a)(5)(i), (ii), (iii)?
- 11.   Will sewage facilities discharge into high quality or exceptional value waters?
- Attached is a copy of:
  - the public notice,
  - all comments received as a result of the notice,
  - the municipal response to these comments.
- No comments were received. A copy of the public notice is attached.

**Q. FALSE SWEARING STATEMENT** (See Section Q of instructions)

I verify that the statements made in this component are true and correct to the best of my knowledge, information and belief. I understand that false statements in this component are made subject to the penalties of 18 PA C.S.A. §4904 relating to unsworn falsification to authorities.

Adele M. Beaves, P.E.   
 Name (Print) Signature

Principal 2.16.18 Date

333 Baldwin Road, Pittsburgh, PA 15205 4124292324 Telephone Number  
 Address

**R. REVIEW FEE** (See Section R of instructions)

The Sewage Facilities Act establishes a fee for the DEP planning module review. DEP will calculate the review fee for the project and invoice the project sponsor **OR** the project sponsor may attach a self-calculated fee payment to the planning module prior to submission of the planning package to DEP. (Since the fee and fee collection procedures may vary if a "delegated local agency" is conducting the review, the project sponsor should contact the "delegated local agency" to determine these details.) Check the appropriate box.

- I request DEP calculate the review fee for my project and send me an invoice for the correct amount. I understand DEP's review of my project will not begin until DEP receives the correct review fee from me for the project.
- I have calculated the review fee for my project using the formula found below and the review fee guidance in the instructions. I have attached a check or money order in the amount of \$1,400 payable to "Commonwealth of PA, DEP". Include DEP code number on check. I understand DEP will not begin review of my project unless it receives the fee and determines the fee is correct. If the fee is incorrect, DEP will return my check or money order, send me an invoice for the correct amount. I understand DEP review will NOT begin until I have submitted the correct fee.
- I request to be exempt from the DEP planning module review fee because this planning module creates **only** one new lot and is the **only** lot subdivided from a parcel of land as that land existed on December 14, 1995. I realize that subdivision of a second lot from this parcel of land shall disqualify me from this review fee exemption. I am furnishing the following deed reference information in support of my fee exemption.

County Recorder of Deeds for \_\_\_\_\_ County, Pennsylvania

Deed Volume \_\_\_\_\_ Book Number \_\_\_\_\_

Page Number \_\_\_\_\_ Date Recorded \_\_\_\_\_



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**R. REVIEW FEE** (continued)

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Formula:

1. For a new collection system (with or without a Clean Streams Law Permit), a collection system extension, or individual tap-ins to an existing collection system use this formula.

$$\#28 \quad \text{Lots (or EDUs)} \times \$50.00 = \$1,400$$

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
  - For community sewer system projects, one EDU is equal to a sewage flow of 400 gallons per day.
2. For a surface or subsurface discharge system, use the appropriate one of these formulae.
- A. A new surface discharge greater than 2000 gpd will use a flat fee:
- \$ 1,500 per submittal (non-municipal)
  - \$ 500 per submittal (municipal)

- B. An increase in an existing surface discharge will use:

$$\# \quad \text{Lots (or EDUs)} \times \$35.00 = \$$$

to a maximum of \$ 1,500 per submittal (non-municipal) or \$ 500 per submittal (municipal)

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
  - For community sewage system projects one EDU is equal to a sewage flow of 400 gallons per day.
  - For non-single family residential projects, EDUs are calculated using projected population figures
- C. A sub-surface discharge system that requires a permit under The Clean Streams Law will use a flat fee:
- \$ 1,500 per submittal (non-municipal)
  - \$ 500 per submittal (municipal)

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**APPENDIX B**

**SITE LOCATION MAP**

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P:\2017\171-949\ -CADD\DWG\CV01-SITE LOCATION MAP.dwg FIGURE NO.1 LS:(1/24/2018 - dummire) - LP: 1/24/2018 10:47 AM



**REFERENCE**

- 1. U.S.G.S. 7.5' TOPOGRAPHIC MAP, PITTSBURGH-EAST AND PITTSBURGH-WEST QUADRANGLES, PA DATED: 1993.



**Civil & Environmental Consultants, Inc.**  
 333 Baldwin Road · Pittsburgh, PA 15205  
 412-429-2324 · 800-365-2324  
 www.cecinc.com

**BURNS & SCALO REAL ESTATE SERVICES, INC.**  
 THE RIVIERA  
 ALLEGHENY COUNTY  
 PITTSBURGH, PENNSYLVANIA

**SITE LOCATION MAP**

DRAWN BY: DRH	CHECKED BY: DSD	APPROVED BY: <i>[Signature]</i>	FIGURE NO.: <b>SP1</b>
DATE: 1/24/2018	DWG SCALE: 1"=2,000'	PROJECT NO: 171-949	

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**APPENDIX C**

**PROJECT NARRATIVE**

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**COMPONENT 3, SECTION F. PROJECT NARRATIVE  
THE RIVIERA – LOT 4B  
CITY OF PITTSBURGH  
ALLEGHENY COUNTY, PENNSYLVANIA**

On behalf of Burns Scalo Development, LLC, Civil & Environmental Consultants, Inc. (CEC) is submitting a Sewer Facilities Planning Module for the proposed The Riviera – Lot 4B Office Building Development. This project narrative is being submitted in accordance with the requirements of Component 3, Section F of the Sewage Facilities Planning Module.

The proposed 1.089 acre site is located at 350 Technology Drive in the City of Pittsburgh. The project will consist of a six-story, 156,000 S.F. office building with associated landscaping, and site utilities. The project also proposes a small café that seats 33 patrons that is intended to serve the employees of the building. A site location map is located in Appendix B.

There are no wetlands within the project area. The project does not include any encroachments on wetlands or impacts to streams. The project does not involve any disturbance of prime agricultural lands.

With regard to the proposed sanitary sewage, the flow was calculated based on PADEP guidelines. The proposed increase in flow from the development is calculated to be 11,024 GPD. Based on PADEP calculations that assume that one EDU is equal to 400 GPD, there are an additional 28 EDU's that will be generated. Please refer to Appendix D for sanitary sewer flow calculations.

The proposed sewage flows will be collected on-site by a proposed gravity sanitary sewer system, which will connect to an existing sanitary sewer manhole near the northeast corner of the property. The existing sewer flows downstream to Monongahela Interceptor and eventually to the ALCOSAN facility.

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**APPENDIX D**

**PROPOSED SANITARY SEWER FLOW CALCULATIONS**

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**Project Name:** The Riviera  
**Location:** 350 Technology Drive, City of Pittsburgh, Allegheny County, Pennsylvania  
**CEC Project No.:** 171-949

Prepared by: DSD      2/16/2018      Checked by: AMB      2/16/2018

### Proposed Sewage Flows

Description	Number of Units	Unit	Flow Rate/Unit (GPD/Unit)	Total (GPD)
Offices	1040	Employees	10	10,400
Restaurant (fast food)	104	Patrons	6	624

Proposed Total:	<b>11,024</b>	GPD
Total:	<b>11,024</b>	GPD
PADEP EDU [2]	27.56	EDU
Round to:	<b>28</b>	EDU
PWSA EDU [3]	36.75	EDU
Round to:	<b>37</b>	EDU

**Notes:**

- [1] Building condensate will not flow through the sanitary system.
- [2] In accordance with PADEP Sewage Facilities Planning Module, for community sewer system projects, one EDU is equal to a sewage flow of 400 gpd.
- [3] In accordance with the Pittsburgh Water and Sewer Authority Procedures Manual for Developers, one EDU is equal to a sewage flow of 300 gpd
- [4] In accordance with the Pittsburgh Water and Sewer Authority Procedures Manual for Developers, employee estimate is based on one employee per 150 gross square feet of building.  $150 \text{ SF} / 156,000 \text{ SF} = 1,040 \text{ Employees}$
- [5] In accordance with the Pittsburgh Water and Sewer Authority Procedures Manual for Developers, there are 33 estimated seats for the restaurant, adding in the turnover (3 Typically) and 5 employees is 104 patrons.

PROJECT The Riviera - Parcel 4BPROJECT NO. 171-949Sewer Flow CalculationsPAGE 1 OF 2PREPARED BY MCC DATE 2.19.18 CHECKED BY DSD DATE 2.19.18

Average Present Flow (Dry Flow) =  $Q = 0$  gpm

The proposed project ties into the uppermost segment of the existing sanitary sewer system. Sewer televising was not required per a meeting with PWSA.

existing sanitary pipe: 8" PVC

$$\text{slope} = \frac{737.9 - 736.2}{83.9 \text{ Ft}} = 0.02$$

Determine full flow capacity with Manning's equation

$$Q_{\text{Full Flow}} = \frac{1.486}{n} A R^{2/3} S^{1/2}$$

$$n = \text{roughness coefficient} = 0.011$$

$$S = \text{slope} = 0.02 \text{ ft/ft (see above)}$$

$$A = \text{Area} = \pi r^2 = \pi (0.333')^2 = 0.35 \text{ sq. ft.}$$

$$R = A/P$$

$$P = \text{perimeter} = \pi D = \pi \times 0.66' = 2.07 \text{ ft}$$

$$R = 0.35 / 2.07 = 0.17 \text{ ft.}$$

$$Q = \frac{1.486}{0.011} \times (0.35)(0.17)^{2/3} (0.02)^{1/2} = 2.05 \text{ cfs}$$

$$\frac{2.05 \text{ CF}}{\text{sec}} \times \frac{60 \text{ sec}}{1 \text{ min}} \times \frac{7.4805 \text{ GAL}}{1 \text{ CF}} = 920.1 \text{ gpm}$$





PROJECT The Riviera - Parcel 4B

PROJECT NO. 171-949

Sewer Flow Calculations

PAGE 2 OF 2

PREPARED BY MCC DATE 2.19.18 CHECKED BY DSD DATE 2.19.18

$$\text{Peak Present Flow} = \text{Average Daily Flow} \times 3.5 = 0 \text{ gpm}$$

$$\text{Average Projected Flow} = (\text{Average present flow} + \text{proposed average flow}) \times 1.05$$

$$\text{proposed average flow} = 11024 \text{ gpd} = 7.66 \text{ gpm}$$

$$\text{Average projected flow} = (0 + 7.66) \times 1.05 = 8.04 \text{ gpm} = 11578 \text{ gpd}$$

$$\text{Peak Projected Flow} = (\text{peak present flow} + \text{future peak flow}) \times 1.05$$

$$\text{future peak flow} = \text{proposed average flow} \times 3.5$$

$$= 7.66 \text{ gpm} \times 3.5 = 26.81 \text{ gpm}$$

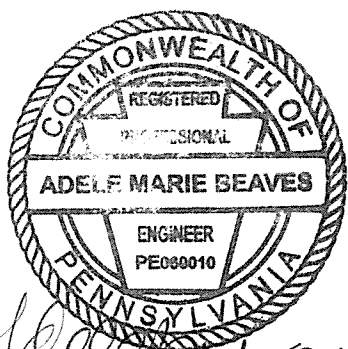
$$\text{Peak projected flow} = (0 + 26.81) \times 1.05 = 28.2 \text{ gpm} = 40608 \text{ gpd}$$

$$\text{Average design capacity} = \frac{\text{Full flow capacity}}{3.5}$$

$$= \frac{920.1 \text{ gpm}}{3.5} = 262.9 \text{ gpm} = 378555 \text{ gpd}$$

$$\text{Peak design capacity} = \text{Full flow capacity} = 920.1 \text{ gpm}$$

$$= 1,324,944 \text{ gpd}$$



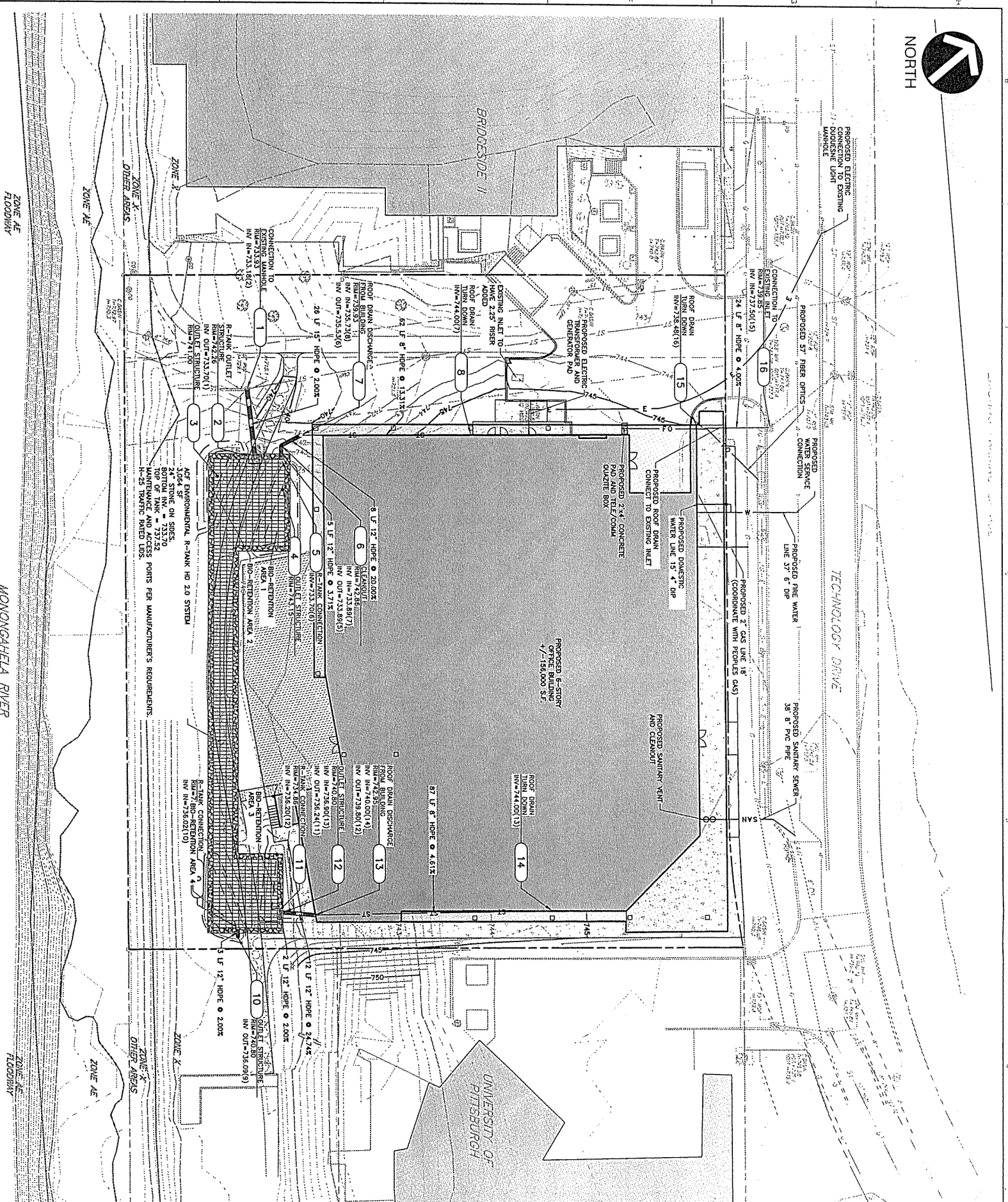
*Adele Marie Beaves* 2.19.18

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**APPENDIX E**

**PLOT PLAN**

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REFERENCE  
1. FIELD SURVEY BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. DATED 8-24-2017.

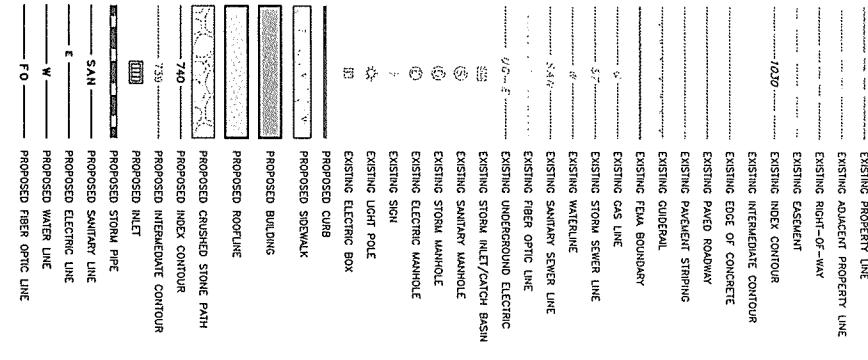
UTILITY GENERAL NOTES

- 1. ALL PROPOSED UTILITY LINES AND EXTENSIONS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANIES' STANDARDS. DISCONNECTION, REMOVAL, RELOCATION, CUTTING, CAPING AND/OR ABANDONMENT SHALL BE COMPLETED WITH THE APPROPRIATE UTILITY COMPANY / AGENCY. UTILITY CONTRACTS ARE LISTED ON THE COVER SHEET.
- 2. THE CONTRACTOR IS PARTICULARLY CAUTIONED THAT THE LOCATION AND/OR DEPTH OF EXISTING UTILITIES IS NOT TO BE GUARANTEED. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AS SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO REQUEST FIELD VERIFICATION OF UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE STATE, AND FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- 3. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 4. MAINTAIN MINIMUM 10'-0" HORIZONTAL AND 18"-HIGH MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER SUPPLY LINE, UNLESS OTHERWISE INDICATED.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING THE SEQUENCING OF UNDERGROUND UTILITY LINES. ALL UTILITY LINES SHALL BE INSTALLED PRIOR TO SANITARY SEWERS OR STORM SEWERS. INSTALL UTILITIES PRIOR TO PREVENTIVE CONSTRUCTION.
- 6. BEFORE INSTALLATION OF STORM OR SANITARY SEWER, OR OTHER UTILITY, THE CONTRACTOR SHALL VERIFY ALL CROSSINGS BY EXCAVATION WHERE NECESSARY. ALL CROSSINGS SHALL BE VERIFIED BY EXCAVATION PRIOR TO CONSTRUCTION. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- 7. ALL TRENCH SPILLS SHALL BE THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED. TRENCH SPILLS NOT USED IN THE EXISTING SHALL BE COVERED BY THE CONTRACTOR AND SPILLED OF ON THE SITE AT THE CONTRACTOR'S EXPENSE. REPAIRS TO ALL UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE COMPLETED PRIOR TO CONSTRUCTION.
- 8. ADJUST ALL EXISTING UTILITY SURFACE FEATURES INCLUDING BUT NOT LIMITED TO CURBS, VALVE BOXES, PEDESTALS, CLEANOUTS, ETC. TO MATCH PROPOSED FINISHED GRADES. UNLESS OTHERWISE INDICATED, MAINTAIN LOCALIZED DEPRESSIONS.
- 9. THE CONTRACTOR SHALL PROVIDE RECORD DRAWINGS OF ALL IMPROVEMENTS. RECORD DRAWINGS SHALL INCLUDE EACH VALVE AND MANHOLE FROM KNOWN EXISTING UTILITIES TO ALL NEW UTILITIES AS WELL AS EXISTING UTILITIES ENCOUNTERED.
- 10. CONTRACTOR SHALL COOPERATE WITH EACH UTILITY PROVIDER REGARDING INSTALLATION OF UTILITY CONDUITS FOR TELEPHONE, ELECTRIC, ETC. CONTRACTOR SHALL PROVIDE ALL UTILITIES AND LABOR FOR THE TRENCHING AND CONDUIT INSTALLATION OF UTILITY CONDUITS FOR INSTALLATION AND MATERIALS SHALL BE INCLUDED IN VARIOUS BID ITEMS.

POST CONSTRUCTION STORMWATER MANAGEMENT NOTES

- 1. DISTANCES SHOWN ON PLANS ARE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO EDGE OF STRUCTURE, UNLESS OTHERWISE NOTED.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE INSTALLATION, INSPECTION, TESTING AND FINAL ACCEPTANCE OF ALL NEW STORMWATER MANAGEMENT FACILITIES. CONSTRUCTION CONTRACTOR SHALL INSPECT AND APPROVE ALL STORMWATER MANAGEMENT FACILITIES PRIOR TO CONSTRUCTION.
- 3. ALL STORMWATER MANAGEMENT FACILITIES INCLUDING COLLECTION AND CONVEYANCE STRUCTURES SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
- 4. ANY WORK PERFORMED IN THE LOCAL OR STATE RIGHT OF WAYS SHALL BE IN ACCORDANCE WITH THE APPLICABLE LOCAL OR STATE REQUIREMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE NECESSARY PERMITS FOR THE CONTROL, VERIFICATION AND DEVICES, ETC. FOR WORK PERFORMED IN THE RIGHT OF WAYS.
- 5. STORM PIPE MATERIAL OPTIONS ARE AS FOLLOWS: HDPE. ALL INLETS ARE TO BE PAVOT TYPE IN OR TYPE II UNLESS OTHERWISE SPECIFIED. SLOPED MANHOLES, VALVE BOXES AND BOXMANS.
- 6. BEFORE INSTALLATION OF STORM OR SANITARY SEWER, OR OTHER UTILITY, THE CONTRACTOR SHALL VERIFY ALL CROSSINGS BY EXCAVATION WHERE NECESSARY, AND RECORD THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- 7. APPROVAL OF A STORMWATER MANAGEMENT PLAN BY THE CITY SHALL NOT BE CONSTRUED AS AN INDICATION THAT SAID PLAN COMPLETES WITH THE REQUIREMENTS, LAWS, OR STANDARDS OF ANY AGENCY OF THE COMMONWEALTH WHICH LAW OR WAY NOT GOVERN SAID ACTIVITY.
- 8. A LICENSED PROFESSIONAL OR THEIR DESIGNEE MUST BE PRESENT ON SITE DURING INSTALLATION OF THE STORMWATER FACILITIES AND R-2ZONES.
- 9. IT SHALL BE UNLAWFUL TO ALTER OR REMOVE ANY PERMANENT STORMWATER MANAGEMENT FACILITIES WITHOUT THE WRITTEN CONSENT OF THE CITY OF PITTSBURGH. ANY ALTERATION OR REMOVAL OF ANY PERMANENT STORMWATER MANAGEMENT FACILITIES WITHOUT THE WRITTEN CONSENT OF THE CITY OF PITTSBURGH SHALL BE CONSIDERED A VIOLATION OF THE STORMWATER MANAGEMENT PLAN UNLESS THE TOWNSHIP GRANTS AN EXCEPTION IN WRITING.
- 10. INSTALL CONSTRUCTION FENCE AROUND THE PROPOSED BARRIERS AREAS PRIOR TO THE START OF CONSTRUCTION. BARRIERS AREAS SHALL BE PROTECTED FROM SEVERE WEATHER DURING CONSTRUCTION.
- 11. CONSTRUCTION WASTES ARE NOT ALLOWED ON SITE. PROCEDURES WHICH ENSURE ASSOCIATED WITH AND/OR FROM THE PROJECT SITE AND POST CONSTRUCTION STORMWATER MANAGEMENT BAYS WILL BE UNDERGOWN IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, TITLE 25, CHAPTER 1629 (PA119).
- 12. ALTHOUGH THERE ARE NO ANTICIPATED POTENTIAL FOR GEOLOGICAL OR SOIL SITUATION IS ENCOUNTERED, CONTRACTOR TO CONTACT DESIGNED, ALLEGHENY COUNTY CONSERVATION DISTRICT, PAPER, AND CITY OF PITTSBURGH IMMEDIATELY.
- 13. EFFORTS WILL BE MADE TO MINIMIZE IMPERVIOUS AREAS IN ALL DELIMITED WATERSHEDS.
- 14. CONTRACTOR IS TO PROTECT ALL VEGETATION, STREAMS, AND WETLANDS THAT ARE OUTSIDE THE DETERMINED LIMIT OF DISTURBANCE AND LIMIT LAND CLEARING AND GRADING TO AREAS NECESSARY TO COMPLETE PROPOSED SITE IMPROVEMENTS.
- 15. MINIMIZE SOIL COMPACTION TO THE FULLEST EXTENT POSSIBLE IN ALL PROPOSED IMPROVED AREAS AND BARRIERS STORMWATER MANAGEMENT BAY AREAS.

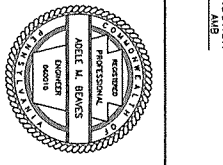
LEGEND



ONE CALL SERIAL NO.: 20172281546

CALL BEFORE YOU DIG! PENNSYLVANIA LAW REQUIRES CONSTRUCTION PLANS FOR ALL EXCAVATION WORK TO BE FILED WITH THE PENNSYLVANIA ONE CALL SYSTEM, INC. 1-800-242-1776

FOR PERMITTING ONLY NOT FOR CONSTRUCTION



POST CONSTRUCTION STORMWATER MANAGEMENT AND UTILITY PLAN  
DATE: 02/08/18 DRAWN BY: DRH  
DWG SCALE: 1"=20' CHECKED BY: DSD  
PROJECT NO: 171-849  
APPROVED BY: AMB

BURNS & SCALO REAL ESTATE SERVICES, INC. THE RIVIERA - PARCEL 4B CITY OF PITTSBURGH ALLEGHENY COUNTY, PENNSYLVANIA

C&E Civil & Environmental Consultants, Inc. 333 Baldwin Road - Pittsburgh, PA 15205 412-429-2324 · 800-365-2324 www.ceinc.com

REVISION RECORD table with columns for NO, DATE, and DESCRIPTION.

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**APPENDIX F**

**PNDI CLEARANCE RECEIPT**

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## 1. PROJECT INFORMATION

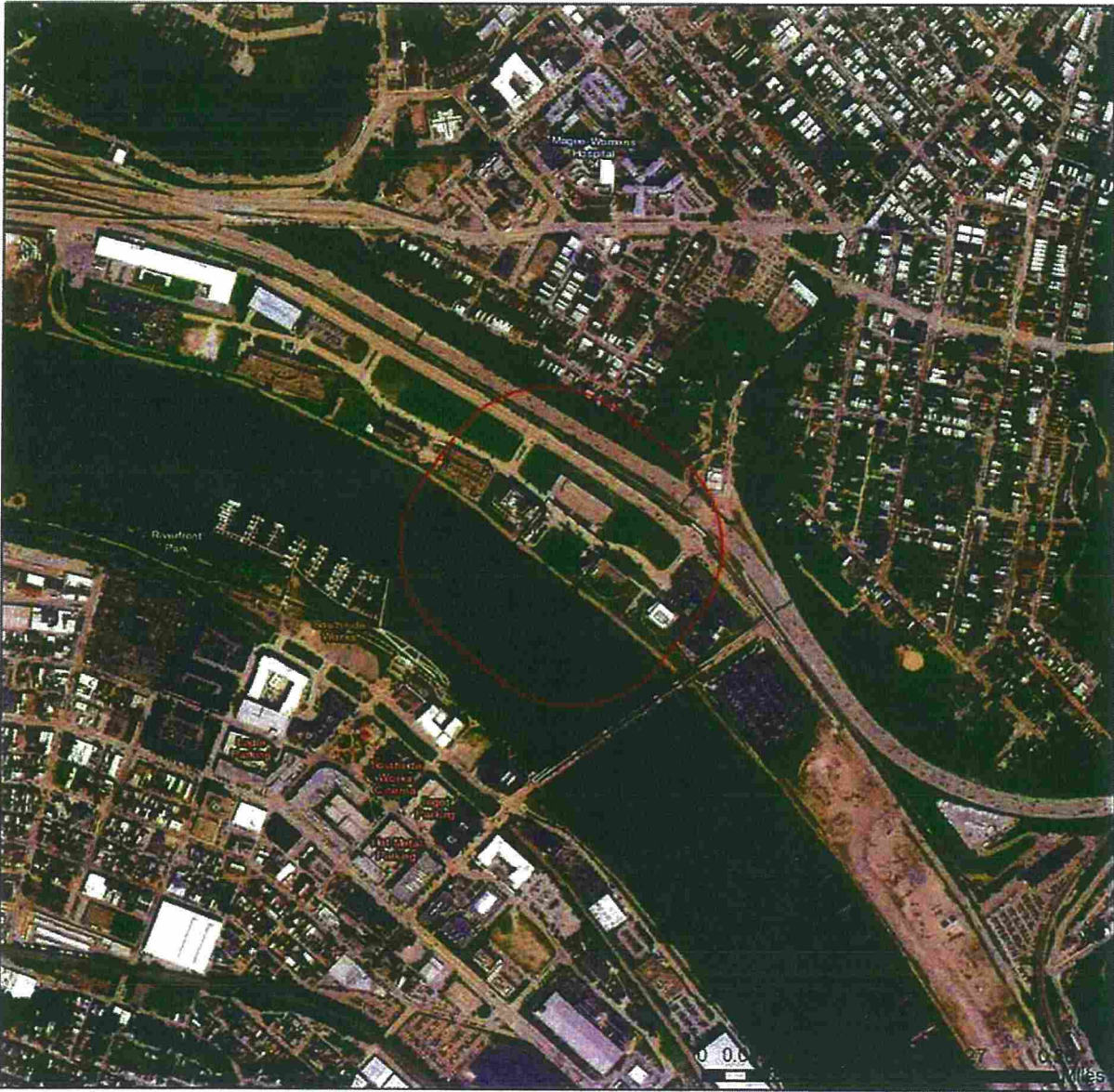
Project Name: **PTC Lot 4B**  
Date of Review: **10/20/2017 01:08:14 PM**  
Project Category: **Development, New commercial/industrial development (store, gas station, factory)**  
Project Area: **3.16 acres**  
County(s): **Allegheny**  
Township/Municipality(s): **PITTSBURGH**  
ZIP Code: **15219**  
Quadrangle Name(s): **PITTSBURGH EAST**  
Watersheds HUC 8: **Lower Monongahela**  
Watersheds HUC 12: **Streets Run-Monongahela River**  
Decimal Degrees: **40.431107, -79.961721**  
Degrees Minutes Seconds: **40° 25' 51.9852" N, 79° 57' 42.1965" W**



## 2. SEARCH RESULTS

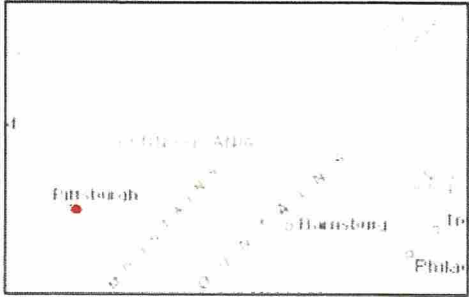
Agency	Results	Response
PA Game Commission	No Known Impact	No Further Review Required
PA Department of Conservation and Natural Resources	No Known Impact	No Further Review Required
PA Fish and Boat Commission	No Known Impact	No Further Review Required
U.S. Fish and Wildlife Service	No Known Impact	No Further Review Required

As summarized above, Pennsylvania Natural Diversity Inventory (PNDI) records indicate no known impacts to threatened and endangered species and/or special concern species and resources within the project area. Therefore, based on the information you provided, no further coordination is required with the jurisdictional agencies. This response does not reflect potential agency concerns regarding impacts to other ecological resources, such as wetlands.

### PTC Lot 4B

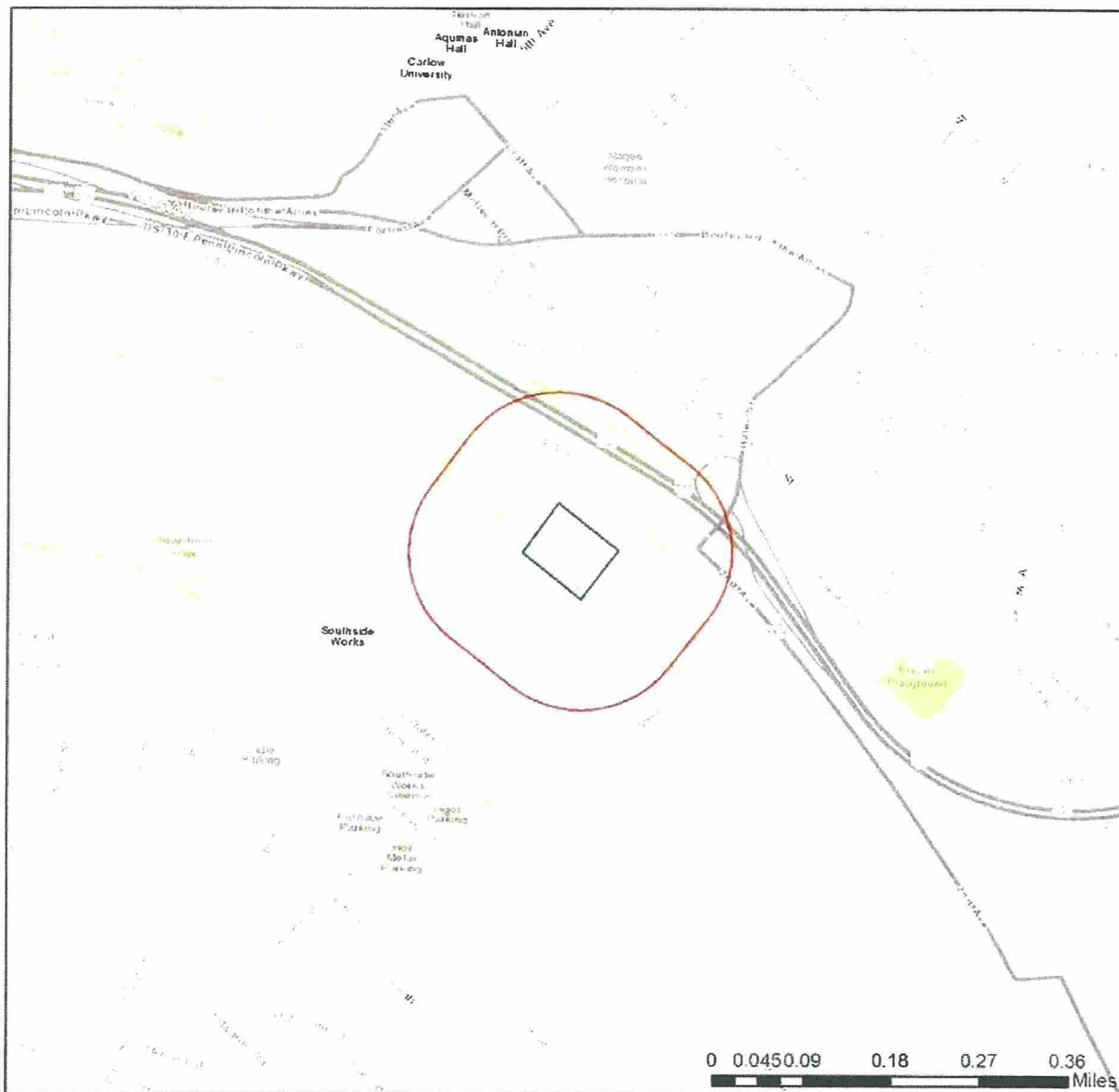


-  Project Boundary
-  Buffered Project Boundary



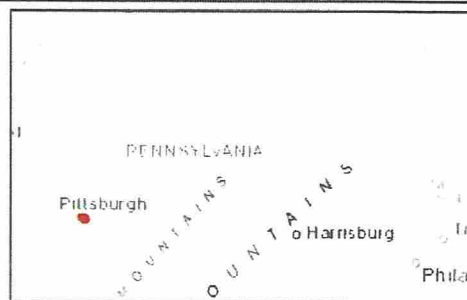
Service Layer Credits: Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community  
Esri, HERE, DeLorme, MapmyIndia, © OpenStreetMap contributors, and the GIS user

### PTC Lot 4B



- Project Boundary
- Buffered Project Boundary

Service Layer Credits: Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community



## RESPONSE TO QUESTION(S) ASKED

**Q1:** The proposed project is in the range of the Indiana bat. Describe how the project will affect bat habitat (forests, woodlots and trees) and indicate what measures will be taken in consideration of this. Round acreages up to the nearest acre (e.g., 0.2 acres = 1 acre).

**Your answer is:** No forests, woodlots or trees will be affected by the project.

**Q2:** Is tree removal, tree cutting or forest clearing of 40 acres or more necessary to implement all aspects of this project?

**Your answer is:** No

### 3. AGENCY COMMENTS

Regardless of whether a DEP permit is necessary for this proposed project, any potential impacts to threatened and endangered species and/or special concern species and resources must be resolved with the appropriate jurisdictional agency. In some cases, a permit or authorization from the jurisdictional agency may be needed if adverse impacts to these species and habitats cannot be avoided.

These agency determinations and responses are **valid for two years** (from the date of the review), and are based on the project information that was provided, including the exact project location; the project type, description, and features; and any responses to questions that were generated during this search. If any of the following change: 1) project location, 2) project size or configuration, 3) project type, or 4) responses to the questions that were asked during the online review, the results of this review are not valid, and the review must be searched again via the PNDI Environmental Review Tool and resubmitted to the jurisdictional agencies. The PNDI tool is a primary screening tool, and a desktop review may reveal more or fewer impacts than what is listed on this PNDI receipt. The jurisdictional agencies **strongly advise against** conducting surveys for the species listed on the receipt prior to consultation with the agencies.

#### PA Game Commission

##### RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

#### PA Department of Conservation and Natural Resources

##### RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

#### PA Fish and Boat Commission

##### RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

#### U.S. Fish and Wildlife Service

##### RESPONSE:

No impacts to **federally** listed or proposed species are anticipated. Therefore, no further consultation/coordination under the Endangered Species Act (87 Stat. 884, as amended; 16 U.S.C. 1531 et seq. is required. Because no take of federally listed species is anticipated, none is authorized. This response does not reflect potential Fish and Wildlife Service concerns under the Fish and Wildlife Coordination Act or other authorities.



#### **4. DEP INFORMATION**

The Pa Department of Environmental Protection (DEP) requires that a signed copy of this receipt, along with any required documentation from jurisdictional agencies concerning resolution of potential impacts, be submitted with applications for permits requiring PNDI review. Two review options are available to permit applicants for handling PNDI coordination in conjunction with DEP's permit review process involving either T&E Species or species of special concern. Under sequential review, the permit applicant performs a PNDI screening and completes all coordination with the appropriate jurisdictional agencies prior to submitting the permit application. The applicant will include with its application, both a PNDI receipt and/or a clearance letter from the jurisdictional agency if the PNDI Receipt shows a Potential Impact to a species or the applicant chooses to obtain letters directly from the jurisdictional agencies. Under concurrent review, DEP, where feasible, will allow technical review of the permit to occur concurrently with the T&E species consultation with the jurisdictional agency. The applicant must still supply a copy of the PNDI Receipt with its permit application. The PNDI Receipt should also be submitted to the appropriate agency according to directions on the PNDI Receipt. The applicant and the jurisdictional agency will work together to resolve the potential impact(s). See the DEP PNDI policy at <https://conservationexplorer.dcnr.pa.gov/content/resources>.

## 5. ADDITIONAL INFORMATION

The PNDI environmental review website is a preliminary screening tool. There are often delays in updating species status classifications. Because the proposed status represents the best available information regarding the conservation status of the species, state jurisdictional agency staff give the proposed statuses at least the same consideration as the current legal status. If surveys or further information reveal that a threatened and endangered and/or special concern species and resources exist in your project area, contact the appropriate jurisdictional agency/agencies immediately to identify and resolve any impacts.

For a list of species known to occur in the county where your project is located, please see the species lists by county found on the PA Natural Heritage Program (PNHP) home page ([www.naturalheritage.state.pa.us](http://www.naturalheritage.state.pa.us)). Also note that the PNDI Environmental Review Tool only contains information about species occurrences that have actually been reported to the PNHP.

## 6. AGENCY CONTACT INFORMATION

**PA Department of Conservation and Natural Resources**  
Bureau of Forestry, Ecological Services Section  
400 Market Street, PO Box 8552  
Harrisburg, PA 17105-8552  
Email: [RA-HeritageReview@pa.gov](mailto:RA-HeritageReview@pa.gov)

**U.S. Fish and Wildlife Service**  
Pennsylvania Field Office  
Endangered Species Section  
110 Radnor Rd; Suite 101  
State College, PA 16801  
NO Faxes Please

**PA Fish and Boat Commission**  
Division of Environmental Services  
595 E. Rolling Ridge Dr., Bellefonte, PA 16823  
Email: [RA-FBPACENOTIFY@pa.gov](mailto:RA-FBPACENOTIFY@pa.gov)

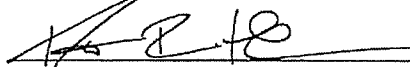
**PA Game Commission**  
Bureau of Wildlife Habitat Management  
Division of Environmental Planning and Habitat Protection  
2001 Elmerton Avenue, Harrisburg, PA 17110-9797  
Email: [RA-PGC\\_PNDI@pa.gov](mailto:RA-PGC_PNDI@pa.gov)  
NO Faxes Please

## 7. PROJECT CONTACT INFORMATION

Name: DANIEL R. HAROLD  
Company/Business Name: CIVIL + ENVIRONMENTAL CONSULTANTS, INC.  
Address: 333 BALDWIN RD.  
City, State, Zip: PITTSBURGH, PA 15205  
Phone: (412) 429-2321 Fax: ( )  
Email: HAROLD.DAN.R@GMAIL.COM

## 8. CERTIFICATION

I certify that ALL of the project information contained in this receipt (including project location, project size/configuration, project type, answers to questions) is true, accurate and complete. In addition, if the project type, location, size or configuration changes, or if the answers to any questions that were asked during this online review change, I agree to re-do the online environmental review.

  
applicant/project proponent signature

2/15/18  
date

---

**APPENDIX G**

**ALTERNATIVE SEWAGE FACILITIES ANALYSIS**

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**COMPONENT 3, SECTION H. ALTERNATE SEWAGE FACILITIES ANALYSIS  
THE RIVIERA – LOT 4B  
CITY OF PITTSBURGH  
ALLEGHENY COUNTY, PENNSYLVANIA**

The sewage disposal system that is proposed for The Riviera – Lot 4b is a permanent tap into the Pittsburgh Water and Sewer Authority sewage conveyance system. The proposed disposal system connects to an existing public sanitary sewer which flows to the Monongahela Interceptor and ultimately to the Allegheny County Sanitary Sewage Treatment Plant. The proposed project will produce an increase of 11,024 GPD (28 EDU) of sanitary flow, all of which will be serviced by the existing public system. Stormwater will be directed to a dedicated public storm sewer located in Technology Drive, which discharges directly into the Monongahela River.

Alternate scenarios are as follows, which are not desirable or feasible due to cost and operations: An onsite wastewater treatment facility would be undesirable for the office building due to the size of the development, its proximity to pedestrian-oriented spaces, and lack of an appropriate discharge location.

Connection to the existing municipal sanitary sewer system was the chosen method because the site can be directly connected to the public sewer system, the municipal code requires a public sewer connection, and the municipality has already verified capacity and conveyance.

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**APPENDIX H**

**WATER SERVICE AVAILABILITY LETTER**

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March 15, 2018

Mr. Dennis Dunmire  
Civil and Environmental Consultants, Inc.  
333 Baldwin Road  
Pittsburgh, PA 15205

**RE: The Riviera (PTC Lot 4B)  
350 Technology Drive - 15219  
PWSA Project No. 18103.14 REVISED  
PWSA Water and Sewer Use Application**

Dear Mr. Dunmire,

The Pittsburgh Water and Sewer Authority (PWSA) is in receipt of the submittal for the above referenced project.

PWSA agrees with your proposed new flows and has approved the PWSA Water and Sewer Use application. I have forward your application along to the other agencies digitally for their review and approval.

Please contact Tom Flanagan at (412) 442-4047 to obtain the correct DEP Sewage Facilities Planning Module (SFPM) form(s) to complete. You must submit the DEP SFPM completed with PA Professional Engineer sealed calculations to PWSA for review and approval. After PWSA and ALCOSAN approve the DEP SFPM you will need to contact the City Law Department to prepare the SFPM Resolution to be approved by City Council. The approved Resolution will need to then be submitted with the completed DEP Sewage Facilities Planning Module to DEP for final review and approval.

Be advised PWSA is not permitted to approve the final water and sewer tap in plans nor issue PWSA permits without the DEP SFPM approved.

If you have any questions, please feel free to contact me at (412) 255-0841.

Sincerely,

  
Michelle E. Carney  
Engineering Technician III

MEC

Attachment

cc: Michael Lichte – ALCOSAN  
Thomas Flanagan – PA DEP  
Burns Scalo Development, LLC  
PWSA File

**MAR 19 2018**

Project No. 18103.14 REVISED  
(PWSA USE ONLY)

**THE PITTSBURGH WATER AND SEWER AUTHORITY  
ENGINEERING AND CONSTRUCTION DIVISION**

**WATER AND SEWER USE APPLICATION**

*(Return completed submittal package to The Pittsburgh Water and Sewer Authority (PWSA), Engineering and Construction Division*

This application is used for commercial or residential projects that propose connecting to the PWSA water or sewer system or propose changing the amount of PWSA water consumed and/or flows discharged to the PWSA sewer system.

**A. GENERAL INFORMATION**

1. Name of Land Development Project The Riviera (PTC Lot 4B)  
 Location of land development project. *Use landmark or address, if available (e.g., north side of Liberty Ave 75 ft. east of intersection of Liberty Ave and 6<sup>th</sup> St.)* 350 Technology Drive, Pittsburgh, PA 15219
  
2. Nature of Development. Check appropriate box and provide total flows.  

	Total Water Consumption (gpd)	Total Sanitary Flows (gpd)	Total Storm Flows (cfs)
<input type="checkbox"/> Residential			
<input checked="" type="checkbox"/> Commercial	<u>11,024 GPD</u>	<u>11,024 GPD</u>	<u>TBD*</u>
  
3. Acreage of development 1.2388 acres \*Tie-in proposed for dedicated storm pipe that discharges into the Monongahela River.
  
4. Allegheny County Block & Lot Nos. 0029-B-00302-0000-00 4THWARD
  
5. Ownership of Land Development  


Name	Address
<u>Burns Scalo Development, LLC.</u>	<u>965 Greentree Road, Suite 400</u> <u>Pittsburgh PA 15220</u>
  
6. Applicant (Subdivider, Developer, or Responsible Project Agent)  
 Name Dennis Dunmire  
 Address 333 Baldwin Road Pittsburgh, PA 15205  
 Telephone 412-429-2324

**B. WASTEWATER AND STORMWATER FACILITIES**

Provide information on collection and treatment facilities.

1. **COLLECTION SYSTEM**
  - a. Number of proposed connections (sanitary and/or storm) 1 Sanitary, 2 Stormwater
  - b. Name of existing collection or conveyance system MH029B065 - PWSA MH
  - c. Name of interceptor M19
  - d. Name of treatment facility Alcosan
  
2. **SITE PLAN (24" x 36" maximum size accepted)**  
 The following information is to be submitted on a site plan of the proposed subdivision.
 

a. Existing building.	f. Existing and proposed right(s)-of-way.
b. Lot lines and lot sizes.	g. Existing and proposed street, roadway, etc.
c. Remainder of tract.	h. Water bodies and wetland areas.
d. Orientation to North.	
e. Show proposed sewer line to the point of connection to existing collection system. Including all components (collection & conveyance lines, pumps, etc.)	

 _____ Applicant Signature	<u>2/20/2018</u> _____ Date
---	-----------------------------------

**C. FALSE SWEARING STATEMENT (To be completed by individual completing the form)**

I verify that the statements made in the Component are true and correct to the best of my knowledge, information, and belief. I understand that false statements in this Component are made subject to the penalties of 18 PA C.S.A. § 4904 relating to unsworn falsification to authorities.

The Riviera (PTC Lot 4B) 350 Technology Drive - 15219  
Name of Land Development Project (Same as on Page 1, Section A.1)

Dennis Dunmire - Agent  
Name (Print)

Assistant Project Manager  
Title

  
Signature

333 Baldwin Road, Pittsburgh, PA 15205  
Address

(412) 249-1583  
Telephone Number

2/20/2018  
Date

**D. CHAPTER 94 CONSISTENCY (See PA Department of Environmental Protection Current Regulations)**

The following certification is to be completed by the Pittsburgh Water and Sewer Authority agent and agency responsible for completing the (DEP) Chapter 94 report for the collection, conveyance, and treatment facilities.

I/we certify that the sewerage facilities proposed to serve the new land development described in this Planning Module are in compliance with the provisions of DEP Chapter 94, Municipal Wasteload Management and have adequate capacity to serve the sewage flows to be generated by this development, without creation of an overload or projected overload.

Collection System

Conveyance and Treatment

Michelle E. Carney 3/15/2018  
Signature of Responsible Agent Date  
Pittsburgh Water and Sewer Authority

\_\_\_\_\_  
Signature of Responsible Agent Date  
ALCOSAN

**E. PLANNING AGENCY REVIEW**

**City of Pittsburgh Municipal Planning Agency**

This development/project has been reviewed and:

- is consistent
- is not consistent (objections attached)

with programs of planning for the area of the proposed development administered by this planning agency under the municipalities Planning Code (53 P.S. § 10101-11202).

City of Pittsburgh \_\_\_\_\_  
Department of City Planning Zoning Administrator Date

**Stormwater Management**

This development/project has been reviewed and:

- is consistent
- is not consistent (objections attached)

With programs of planning for the area of the proposed development administered by this planning agency under the current City of Pittsburgh storm water management regulations.

City of Pittsburgh \_\_\_\_\_  
Department of City Planning Environmental Planner Date

**County or Joint County Health Department**

This development/project has been reviewed and:

- approval is recommended
- approval is not recommended (objections attached)

Allegheny County Health \_\_\_\_\_  
Department Signature of Responsible Agent Date



# 18103.14 Revises

**Project Name:** The Riviera  
**Location:** 350 Technology Drive, City of Pittsburgh, Allegheny County, Pennsylvania  
**CEC Project No.:** 171-949

**Prepared by:** DSD      2/16/2018      **Checked by:** AMB      2/16/2018

### Proposed Sewage Flows

Description	Number of Units	Unit	Flow Rate/Unit (GPD/Unit)	Total (GPD)
Offices	1040	Employees	10	10,400
Restaurant (fast food)	104	Patrons	6	624

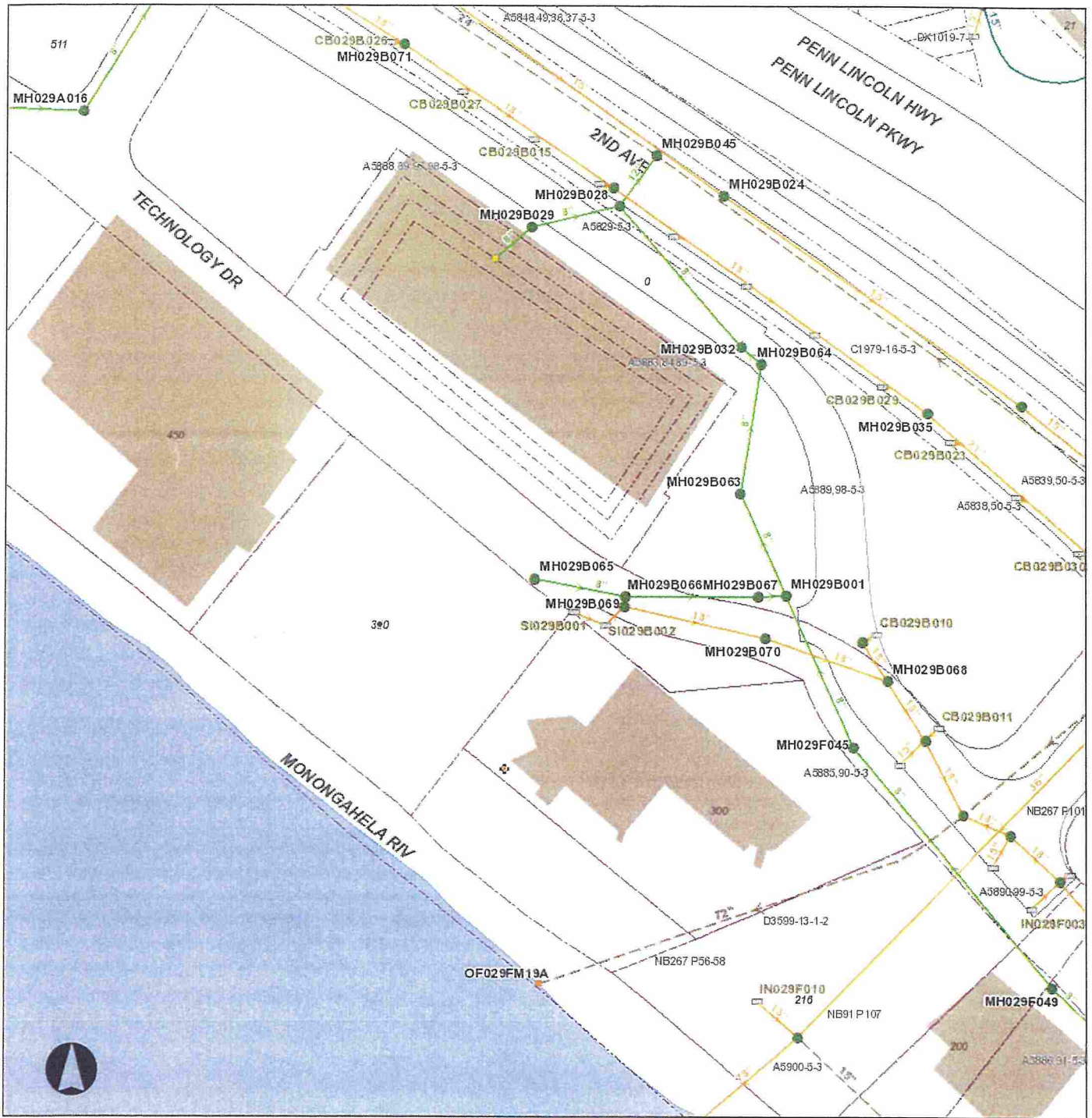
Proposed Total:      **11,024**      GPD  
Total:      **11,024**      GPD  
PADEP EDU [2]      27.56      EDU  
Round to:      **28**      EDU  
  
PWSA EDU [3]      36.75      EDU  
Round to:      **37**      EDU

✓  
MC  
3-15-2018

**Notes:**

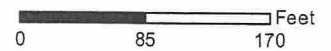
- [1] Building condensate will not flow through the sanitary system.
- [2] In accordance with PADEP Sewage Facilities Planning Module, for community sewer system projects, one EDU is equal to a sewage flow of 400 gpd.
- [3] In accordance with the Pittsburgh Water and Sewer Authority Procedures Manual for Developers, one EDU is equal to a sewage flow of 300 gpd
- [4] In accordance with the Pittsburgh Water and Sewer Authority Procedures Manual for Developers, employee estimate is based on one employee per 150 gross square feet of building.  $150 \text{ SF} / 156,000 \text{ SF} = 1,040 \text{ Employees}$
- [5] In accordance with the Pittsburgh Water and Sewer Authority Procedures Manual for Developers, there are 33 estimated seats for the restaurant, adding in the turnover (3 Typically) and 5 employees is 104 patrons.

# 350 Technology Drive



## Legend

⊙	Meter	⊙	Water Manhole	⊠	Outfall
⊠	Pump	—	Rising Main	⊕	End Cap
⊕	Hydrant	—	Supply Main	⊠	Sewer Pump Station
⊕	Hydrant- Out of Service	—	Transmission Main	—	Combined Sewer
⊕	System Valve	—	Distribution Main	—	Sanitary Sewer
⊕	Dividing Pressure Valve	—	Hydrant Branch	—	Storm Sewer
⊠	Cap	—	Private Main	—	Regulated Combined Sewer
⊕	Tee or Cross	—	Water Service Line	—	Overflow Sewer
⊕	Reducer	—	Manhole	—	Interceptor
—	Coupling	⊙	Junction	—	Sewer Force Main
⊕	Wash Out	⊠	Inlet	—	Private Sewer
		—	Private Inlet	—	Undefined Sewer



Neither the City of Pittsburgh nor the PWSA guarantees the accuracy of any of the information hereby made available, including but not limited to information concerning the location and condition of underground structures, and neither assumes any responsibility for any conclusions or interpretations made on the basis of such information. COP and PWSA assume no responsibility for any understanding or representations made by their agents or employees unless such understanding or representations are expressly set forth in a duly authorized written document, and such document expressly provides that responsibility therefore is assumed by the City or the PWSA.

Date: 2/20/2018



February 6, 2018

Mr. Dennis Dunmire  
Civil and Environmental Consultants, Inc.  
333 Baldwin Road  
Pittsburgh, PA 15205

**RE: Water and Sewer Availability  
Burns Scalo Development  
350 Technology Drive - 15219**

Dear Mr. Dunmire:

In response to your inquiry on 1/24/2018 concerning water and sewer availability for the area referenced above, please be advised that both water and sewers are available near the site, and water and sewer service will be provided in accordance with the policies and procedures of the Pittsburgh Water and Sewer Authority.

We wish to advise you that, if it is your desire to tap our water and sewer mains for service, your plans and Water and Sewer Use Application must be approved by the Authority, complete with detail showing the type of connection, meter, and backflow device before any work is performed.

Please note that the Authority in no way guarantees that the available lines have the capacity or pressure adequate for your project's needs. It is the responsibility of the project developer, design consultant, and/or architects to determine, at their expense, the adequacy of the existing water system to fulfill their needs.

If you plan to make modifications to the water or sewer system, please submit design drawings to The Pittsburgh Water and Sewer Authority for approval.

**Refer to the Pittsburgh Water and Sewer Authority (PWSA) website ([www.pgh2o.com](http://www.pgh2o.com)) for the complete "Procedure Manual for Developers". All tap in plans and applications must be submitted according to the manual.**

If you have any questions please feel free to contact me at (412) 255-0841. Thank you.

Sincerely,

  
Michelle E. Carney  
Engineering Technician III

MEC

cc: PWSA File

Penn Liberty Plaza I  
1200 Penn Avenue  
Pittsburgh PA 15222

info@pgh2o.com  
T 412.255.2423  
F 412.255.2475

www.pgh2o.com  
@pgh2o

Customer Service /  
Emergencies:  
412.255.2423

**FEB 09 2018**



PITTSBURGH WATER AND SEWER AUTHORITY

WATER AND SEWER AVAILABILITY LETTER REQUEST FORM

All persons planning to perform construction, demolition, or renovation work that will involve water and/or sewer services are recommended to complete this form and submit to PWSA.

This request form is required for all of the following types of development. (Please note that the term "sewer" refers to sanitary sewers, combined sewers, and storm sewers.)

- 1. New water and/or sewer tap(s) for all approved/recorded subdivisions.
2. Change of Use and/or increase in water and/or sewer flows for residential development(s), commercial, industrial and institutional developments (i.e. total project sanitary flow is greater than 799 gallons per day).
3. New water and/or sewer tap(s) for all residential, commercial, industrial, and institutional developments.

Information to be submitted by the Applicant:
Property Owner Name: Burns Scalo Development, LLC. (Developer)
Address of Property: 350 Technology Drive, Pittsburgh, PA 15219
Proposed Use of Site: Office Building
Closest street intersection to the property: Second Avenue
Requestor Name: Dennis Dunmire Date of Request: 1/24/18
Requestor Address: 333 Baldwin Road Pittsburgh, PA 15205 CEC, INC
Requestor Phone Number: 412-429-2324

Please submit the completed form to:

Pittsburgh Water and Sewer Authority
Engineering and Construction Division
1200 Penn Avenue
Pittsburgh, PA 15222
Attn: Ms. Michelle Carney (mcarney@pgh2o.com)

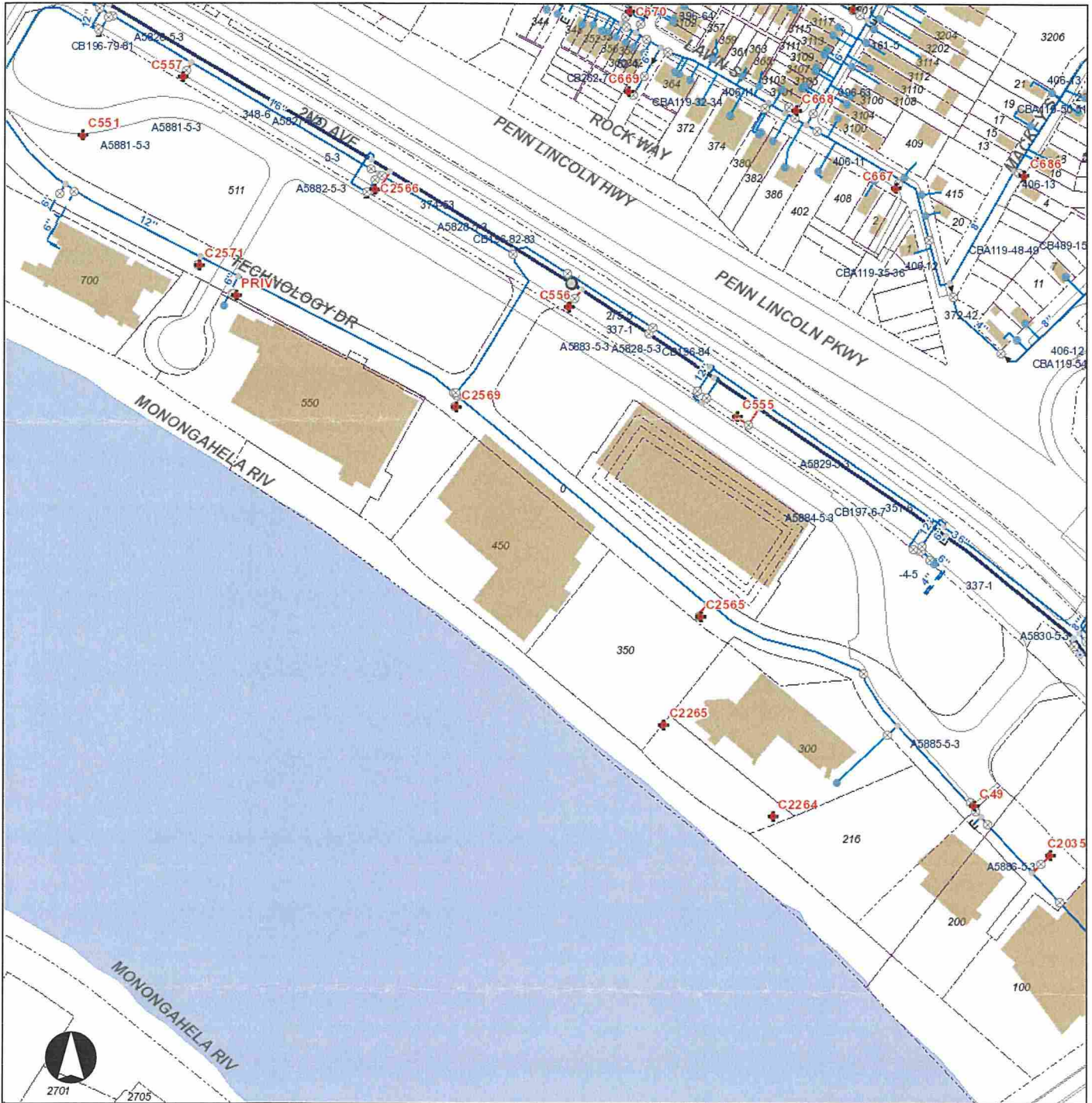
RECEIVED
JAN 26 2018

BY: PWSA mc

PWSA Use Only:
PWSA Water Service Available: [X] Yes [ ] No Size / Location: 12" Technology Drive
PWSA Sewer Service Available: [X] Yes [ ] No Size / Location: 8" Sanitary; 18" Storm
Applicant must contact separate agency for water and/or sewer service: [ ] Yes [X] No
Name of separate agency: N/A
PWSA Approval Authority: Signature and Date: Michelle Carney 2/6/2018
Name (printed): Michelle Carney
Title: Engineering Tech 3

Disclaimer: The information provided by PWSA does not guarantee capacity of the PWSA-owned water and/or sewer lines to satisfy the needs of the proposed development.

# 350 Technology Drive



## Legend

- |                           |                      |                            |
|---------------------------|----------------------|----------------------------|
| ● Meter                   | ○ Water Manhole      | ■ Outfall                  |
| ⊠ Pump                    | — Rising Main        | ⊕ End Cap                  |
| ⊕ Hydrant                 | — Supply Main        | ■ Sewer Pump Station       |
| ⊕ Hydrant- Out of Service | — Transmission Main  | — Combined Sewer           |
| ⊗ System Valve            | — Distribution Main  | — Sanitary Sewer           |
| ⊗ Dividing Pressure Valve | — Hydrant Branch     | — Storm Sewer              |
| □ Cap                     | — Private Main       | — Regulated Combined Sewer |
| ○ Tee or Cross            | — Water Service Line | — Overflow Sewer           |
| ⊘ Reducer                 | ● Manhole            | — Interceptor              |
| — Coupling                | ● Junction           | — Sewer Force Main         |
| ⊗ Wash Out                | □ Inlet              | — Private Sewer            |
|                           | □ Private Inlet      | — Undefined Sewer          |

0 160 320 Feet



Neither the City of Pittsburgh nor the PWSA guarantees the accuracy of any of the information hereby made available, including but not limited to information concerning the location and condition of underground structures, and neither assumes any responsibility for any conclusions or interpretations made on the basis of such information. COP and PWSA assume no responsibility for any understanding or representations made by their agents or employees unless such understanding or representations are expressly set forth in a duly authorized written document, and such document expressly provides that responsibility therefore is assumed by the City or the PWSA.

Date: 2/6/2018

# 350 Technology Drive



## Legend

- |                           |                      |                            |
|---------------------------|----------------------|----------------------------|
| ● Meter                   | ⊙ Water Manhole      | ■ Outfall                  |
| ⊠ Pump                    | — Rising Main        | ⊕ End Cap                  |
| ⊕ Hydrant                 | — Supply Main        | ■ Sewer Pump Station       |
| ⊕ Hydrant- Out of Service | — Transmission Main  | — Combined Sewer           |
| ⊙ System Valve            | — Distribution Main  | — Sanitary Sewer           |
| ⊙ Dividing Pressure Valve | — Hydrant Branch     | — Storm Sewer              |
| □ Cap                     | — Private Main       | — Regulated Combined Sewer |
| ⊙ Tee or Cross            | — Water Service Line | — Overflow Sewer           |
| ⊕ Reducer                 | ● Manhole            | — Interceptor              |
| — Coupling                | ● Junction           | — Sewer Force Main         |
| ⊙ Wash Out                | □ Inlet              | — Private Sewer            |
|                           | □ Private Inlet      | — Undefined Sewer          |

0 160 320 Feet



Neither the City of Pittsburgh nor the PWSA guarantees the accuracy of any of the information hereby made available, including but not limited to information concerning the location and condition of underground structures, and neither assumes any responsibility for any conclusions or interpretations made on the basis of such information. COP and PWSA assume no responsibility for any understanding or representations made by their agents or employees unless such understanding or representations are expressly set forth in a duly authorized written document, and such document expressly provides that responsibility therefore is assumed by the City or the PWSA.

Date: 2/6/2018

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**APPENDIX I**

**PHMC CORRESPONDENCE**

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Civil & Environmental Consultants, Inc.

February 2, 2018

Certified Mail 9489 0090 0027 6047 4371 95

Pennsylvania Historical and Museum Commission  
Bureau for Historic Preservation  
400 North Street  
Commonwealth Keystone Building 2<sup>nd</sup> Floor  
Harrisburg, Pennsylvania 17120-0093

Subject: The Riviera – PTC Lot 4b  
City of Pittsburgh, Allegheny County, Pennsylvania  
CEC Project 171-949

On behalf of Burns Scalo Development, LLC. (Burns Scalo), Civil & Environmental Consultants, Inc. (CEC) is submitting a Cultural Resource Notice for The Riviera project. This Cultural Resource Notice submission is required as part of the Act 537 Sewage Facilities Planning Module for the project.

The proposed project is located in the Pittsburgh Technology Center at 350 Technology Drive, Pittsburgh, PA 15219. The site is bounded by Technology Drive to the north, the Monongahela River to the south, and existing commercial buildings to the east and west. The project site includes a previously graded, maintained grassy pad, totaling approximately 1.24 acres. Burns Scalo is proposing to construct a new 156,000 square foot, six-story office building on this site, along with associated storm sewers, landscaping and site utilities.

The structures located to the east and west of the proposed project site were built in the 1990s and have been used as office and research facilities for various companies and universities over the years. The entire project area, including the footprint is approximately 1.24 acres. A site location map and site plan have been included as attachments to the Cultural Resource Notice form.

Proposed sewage flows from the new building will be discharged to an existing sanitary sewer. The existing system flows downstream to the Monongahela Interceptor and eventually to the ALCOSAN treatment plant.

Please contact me if you have any questions or need additional information. Thank you for your assistance.

Very truly yours,

CIVIL & ENVIRONMENTAL CONSULTANTS, INC.

Dennis S. Dunmire  
Assistant Project Manager

Adele M. Beaves, P.E.  
Principal

Enclosures: 171-949 Building Photos  
171-949-Site Location Map  
171-949 Layout Plan  
171-949 E&S Plan

171-949-L-PHMC-CRN-1-30-18/P





**pennsylvania**  
DEPARTMENT OF ENVIRONMENTAL PROTECTION

**CULTURAL RESOURCE NOTICE**

<b>DEP USE ONLY</b>
Date Received

**Read the instructions before completing this form.**

<b>SECTION A. APPLICANT IDENTIFIER</b>	
Applicant Name	Burns Scalo Development, LLC
Street Address	965 Greentree Road, Suite 400
City	Pittsburgh
State	PA
Zip	15220
Telephone Number	(412) 250-3000
Project Title	The Riviera (PTC Lot 4B)
<b>SECTION B. LOCATION OF PROJECT</b>	
Municipality	City of Pittsburgh
County Name	Allegheny
DEP County Code	02
<b>SECTION C. PERMITS OR APPROVALS</b>	
Name of Specific DEP Permit or Approval Requested:	Sewage Facilities Planning Module; NPDES General Permit
Anticipated federal permits:	
<input type="checkbox"/> Surface Mining	<input type="checkbox"/> 404 Water Quality Permit
<input type="checkbox"/> Army Corps of Engineers	<input type="checkbox"/> Federal Energy Regulatory Commission
<input type="checkbox"/> 401 Water Quality Certification	<input type="checkbox"/> Other: _____
<b>SECTION D. GOVERNMENT FUNDING SOURCES</b>	
<input type="checkbox"/> State: (Name) _____	<input type="checkbox"/> Local: (Name) _____
<input type="checkbox"/> Federal: (Name) _____	<input type="checkbox"/> Other: (Name) _____
<b>SECTION E. RESPONSIBLE DEP REGIONAL, CENTRAL, DISTRICT MINING or OIL &amp; GAS MGMT OFFICE</b>	
DEP Regional Office Responsible for Review of Permit Application	<input type="checkbox"/> Central Office (Harrisburg)
<input type="checkbox"/> Southeast Regional Office (Norristown)	<input type="checkbox"/> Northeast Regional Office (Wilkes-Barre)
<input type="checkbox"/> Southcentral Regional Office (Harrisburg)	<input type="checkbox"/> Northcentral Regional Office (Williamsport)
<input checked="" type="checkbox"/> Southwest Regional Office (Pittsburgh)	<input type="checkbox"/> Northwest Regional Office (Meadville)
<input type="checkbox"/> District Mining Office: _____	<input type="checkbox"/> Oil & Gas Office: _____
<b>SECTION F. RESPONSIBLE COUNTY CONSERVATION DISTRICT, if applicable.</b>	
County Conservation District	Telephone Number, if known
Allegheny County Conservation District	(412) 241-7645
<b>SECTION G. CONSULTANT</b>	
Consultant, if applicable	Civil & Environmental Consultants, Inc. (Attn: Dennis S. Dunmire)
Street Address	333 Baldwin Road
City	Pittsburgh
State	PA
Zip	15205
Telephone Number	(412) 429-2324

**SECTION H. PROJECT BOUNDARIES AND DESCRIPTION**

**REQUIRED**

Indicate the total acres in the property under review. Of this acreage, indicate the total acres of earth disturbance for the proposed activity.

Attach a 7.5' U.S.G.S. Map indicating the defined boundary of the proposed activity.

Attach photographs of any building over 50 years old. Indicate what is to be done to all buildings in the project area.

Attach a narrative description of the proposed activity.

Attach the return receipt of delivery of this notice to the Pennsylvania Historical and Museum Commission.

**REQUESTED**

Attach photographs of any building over 40 years old.

Attach site map, if available.

**SECTION I. SIGNATURE BLOCK**



Applicant's Signature

01/30/2018

Date of Submission of Notice to PHMC



# Pennsylvania State Historic Preservation Office

PENNSYLVANIA HISTORICAL AND MUSEUM COMMISSION

9 February 2018

Dennis Dunmire  
Assistant Project Manager  
CEC, Inc.  
333 Baldwin Road  
Pittsburgh, PA 15205

RE: ER 2018-0720-003-A  
DEP: Cultural Resource Notice, The Riviera -- PTC Lot 4b, City of Pittsburgh,  
Allegheny County

Dear Mr. Dunmire:

Thank you for submitting information concerning the above referenced project. The Pennsylvania State Historic Preservation Office (PA SHPO) reviews projects in accordance with state and federal laws. Section 106 of the National Historic Preservation Act of 1966, and the implementing regulations (36 CFR Part 800) of the Advisory Council on Historic Preservation, is the primary federal legislation. The Environmental Rights amendment, Article 1, Section 27 of the Pennsylvania Constitution and the Pennsylvania History Code, 37 Pa. Cons. Stat. Section 500 et seq. (1988) is the primary state legislation. These laws include consideration of the project's potential effects on both historic and archaeological resources.

## Archaeology

As this project area is located wholly or partially within an urban area, it is our opinion that a Phase IA archaeological study should be undertaken to assess this property's potential for National Register significant archaeological resources. This study should consist of a thorough review of all available historic through recent maps and other documentary sources which may provide information on past land use within the project area. A geomorphological assessment of the project area is recommended at this stage as it will provide useful information on the total depth and overall integrity of potential archaeological deposits. If this research suggests that potentially significant archaeological resources may be present, it will be our opinion that a Phase I archaeological testing plan should be developed to identify such resources. Guidelines and instructions for conducting all phases of archaeological survey in Pennsylvania are available on our website <http://www.phmc.pa.gov/Preservation/About/Documents/SHPO-Guidelines-Archaeological-Investigation.pdf>.

The PASHPO will keep the information you provided for this submission and any subsequent submission on file. Please provide a copy of this letter and any other project-related correspondence to your state or federal permitting or funding agency.

FEB 12 2018

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**APPENDIX J**

**COMPONENT 4A & COMPONENT 4C**

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COMMONWEALTH OF PENNSYLVANIA  
DEPARTMENT OF ENVIRONMENTAL PROTECTION  
BUREAU OF CLEAN WATER

DEP Code #:

**SEWAGE FACILITIES PLANNING MODULE  
COMPONENT 4A - MUNICIPAL PLANNING AGENCY REVIEW**

**Note to Project Sponsor:** To expedite the review of your proposal, one copy of your completed planning module package and one copy of this *Planning Agency Review Component* should be sent to the local municipal planning agency for their comments.

**SECTION A. PROJECT NAME** (See Section A of instructions)

Project Name  
The Riviera - Lot 4b

**SECTION B. REVIEW SCHEDULE** (See Section B of instructions)

1. Date plan received by municipal planning agency February 20, 2018
2. Date review completed by agency April 10, 2018

**SECTION C. AGENCY REVIEW** (See Section C of instructions)

Yes	No	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	1. Is there a municipal comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101, <i>et seq.</i> )?
<input type="checkbox"/> N/A	<input type="checkbox"/>	2. Is this proposal consistent with the comprehensive plan for land use? If no, describe the inconsistencies _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	3. Is this proposal consistent with the use, development, and protection of water resources? If no, describe the inconsistencies _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	4. Is this proposal consistent with municipal land use planning relative to Prime Agricultural Land Preservation?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	5. Does this project propose encroachments, obstructions, or dams that will affect wetlands? If yes, describe impacts _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	6. Will any known historical or archaeological resources be impacted by this project? If yes, describe impacts _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7. Will any known endangered or threatened species of plant or animal be impacted by this project? If yes, describe impacts _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	8. Is there a municipal zoning ordinance?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	9. Is this proposal consistent with the ordinance? If no, describe the inconsistencies <u>in review</u>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	10. Does the proposal require a change or variance to an existing comprehensive plan or zoning ordinance?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	11. Have all applicable zoning approvals been obtained?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	12. Is there a municipal subdivision and land development ordinance?

**SECTION C. AGENCY REVIEW (continued)**

Yes	No	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	13. Is this proposal consistent with the ordinance? If no, describe the inconsistencies <u>in review</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	14. Is this plan consistent with the municipal Official Sewage Facilities Plan? If no, describe the inconsistencies _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	15. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality? If yes, describe _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	16. Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision?
<input type="checkbox"/>	<input type="checkbox"/>	If yes, is the proposed waiver consistent with applicable ordinances? If no, describe the inconsistencies _____
17. Name, title and signature of planning agency staff member completing this section:		
Name: <u>Andrew Dush</u>		
Title: <u>Assistant Planning Director</u>		
Signature: <u>[Signature]</u>		
Date: <u>4.10.2018</u>		
Name of Municipal Planning Agency: <u>City of Pittsburgh, Dept. of City Planning</u>		
Address: <u>200 Ross Street, 4th Floor</u>		
Telephone Number: <u>412-255-0760</u>		

**SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)**

This component does not limit municipal planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The planning agency must complete this component within 60 days.

This component and any additional comments are to be returned to the applicant.

COUNTY OF



ALLEGHENY

RICH FITZGERALD  
COUNTY EXECUTIVE

February 27, 2018

Mr. Dennis Dunmire  
Civil & Environmental Consultants, Inc.  
333 Baldwin Road  
Pittsburgh, PA 15205

**RE: SEWAGE FACILITIES PLANNING MODULE  
THE RIVIERA – LOT 4B  
CITY OF PITTSBURGH**

Dear Mr. Dunmire,

Enclosed is a signed copy of Component 4C, County or Joint County Health Department Review, for the above-referenced development located at 350 Technology Drive. This Planning Module Component was received on February 26, 2018. The project proposes the following:

Project Description:	Six story office building and café
Sewage Flow:	11,024 GPD
Conveyance:	PWSA collection system to POC M-19 to the Monongahela River interceptor
Sewer's Owner:	PWSA and ALCOSAN
Name of Sewage Treatment Plant:	ALCOSAN

Please be advised that a permit must be obtained from the Allegheny County Health Department's (ACHD) Plumbing Section prior to commencing any plumbing work for the proposed project. Plumbing work for which an ACHD Plumbing Permit must be obtained includes any plumbing work done on the site and any sewers, which will not be owned and operated by a municipality or a sewer authority. In addition, it should be noted that the approval of this sewage facilities planning module does not include approval of pipe size and/or type. Approval for pipe size and/or type must be obtained by filing a specific plumbing plan with the ACHD's Plumbing Section. If you should have any questions relative to ACHD's plumbing requirements, please contact Andrew Grese, Plumbing Program Manager, at 412-578-7934.

The ACHD has no objection to the approval of this project. If you have any questions, please call me at 412-578-8046.

Sincerely,

Deborah Williamson, PE  
Environmental Health Engineer III  
Water Pollution Control & Solid Waste Management

Enclosure

cc: Thomas Flanagan, PA Department of Environmental Protection w/attachment  
Andrew Grese, ACHD w/attachment



KAREN HACKER, MD, MPH, DIRECTOR  
ALLEGHENY COUNTY HEALTH DEPARTMENT

**PUBLIC DRINKING WATER AND WASTE MANAGEMENT PROGRAM**  
3901 PENN AVENUE • BUILDING 5 • PITTSBURGH, PA 15224-1318  
PHONE: 412.578.8040 • FAX: 412.578.8053 • WWW.ACHD.NET

MAR 02 2018



**SEWAGE FACILITIES PLANNING MODULE  
COMPONENT 4C - COUNTY OR JOINT HEALTH DEPARTMENT REVIEW**

**Note to Project Sponsor:** To expedite the review of your proposal, one copy of your completed planning module package and one copy of this *Planning Agency Review Component* should be sent to the county or joint county health department for their comments.

**SECTION A. PROJECT NAME** (See Section A of instructions)

Project Name

The Riviera - Lot 4b - City of Pittsburgh

**SECTION B. REVIEW SCHEDULE** (See Section B of instructions)

1. Date plan received by county or joint-county health department. February 26, 2018

Agency name Allegheny County Health Department (ACHD)

2. Date review completed by agency February 27, 2018

**SECTION C. AGENCY REVIEW** (See Section C of instructions)

Yes No

1. Is the proposed plan consistent with the municipality's Official Sewage Facilities Plan?  
If no, what are the inconsistencies? \_\_\_\_\_
2. Are there any waste water disposal needs in the area adjacent to the new land development that should be considered by the municipality?  
If yes, describe \_\_\_\_\_
3. Is there any known groundwater degradation in the area of the proposed subdivision?  
If yes, describe \_\_\_\_\_
4. The county or joint county health department recommendation concerning this proposed plan is as follows: ACHD recommends approval. See attached letter.

5. Name, title and signature of person completing this section:

Name: Deborah Williamson, PE

Title: Environmental Health Engineer III

Signature:

Date: February 27, 2018

Name of County Health Department: ACHD

Address: 3901 Penn Avenue, Building #5, Pittsburgh PA 15224-1318

Telephone Number: 412-578-8046

**SECTION D. ADDITIONAL COMMENTS** (See Section D of instructions)

This Component does not limit county planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The county planning agency must complete this Component within 60 days.

This Component and any additional comments are to be returned to the applicant.



**SECTION D. ADDITIONAL COMMENTS** (See Section D of instructions)

This component does not limit county planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The county planning agency must complete this component within 60 days.  
This component and any additional comments are to be returned to the applicant.

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**APPENDIX K**

**RESOLUTION FOR PLAN REVISION FOR NEW LAND DEVELOPMENT**

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**APPENDIX L**

**TRANSMITTAL LETTER FOR SEWAGE FACILITIES PLANNING  
MODULE**

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**TRANSMITTAL LETTER  
 FOR SEWAGE FACILITIES PLANNING MODULE**

DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) USE ONLY				
DEP CODE #	CLIENT ID #	SITE ID #	APS ID #	AUTH. ID #

TO: Approving Agency (DEP or delegated local agency) Date \_\_\_\_\_  
 PADEP Southwest Regional Office  
 400 Waterfront Drive  
 Pittsburgh, PA 15222-4745

Dear Sir/Madam:

Attached please find a completed sewage facilities planning module prepared by Dennis Dunmire (Name)  
Assistant Project Manager (Title) for The Riviera - Lot 4b (Name)  
 a subdivision, commercial ,or industrial facility located in City of Pittsburgh  
Allegheny (City, Borough, Township) County.

**Check one**

(i) The planning module, as prepared and submitted by the applicant, is approved by the municipality as a proposed  revision  supplement for new land development to its Official Sewage Facilities Plan (Official Plan), and is  adopted for submission to DEP  transmitted to the delegated LA for approval in accordance with the requirements of 25 Pa. Code Chapter 71 and the *Pennsylvania Sewage Facilities Act* (35 P.S. §750),

OR

(ii) The planning module will not be approved by the municipality as a proposed revision or supplement for new land development to its Official Plan because the project described therein is unacceptable for the reason(s) checked below:

**Check Boxes**

- Additional studies are being performed by or on behalf of this municipality which may have an effect on the planning module as prepared and submitted by the applicant. Attached hereto is the scope of services to be performed and the time schedule for completion of said studies.
- The planning module as submitted by the applicant fails to meet limitations imposed by other laws or ordinances, officially adopted comprehensive plans and/or environmental plans (e.g., zoning, land use, 25 Pa. Code Chapter 71). Specific reference or applicable segments of such laws or plans are attached hereto.
- Other (attach additional sheet giving specifics).

*Municipal Secretary: Indicate below by checking appropriate boxes which components are being transmitted to the approving agency.*

- |  |   |  |
|--|---|--|
| <input type="checkbox"/> Resolution of Adoption                              | <input type="checkbox"/> 3 Sewage Collection/Treatment Facilities | <input type="checkbox"/> 4A Municipal Planning Agency Review         |
| <input type="checkbox"/> Module Completeness Checklist                       | <input type="checkbox"/> 3s Small Flow Treatment Facilities       | <input type="checkbox"/> 4B County Planning Agency Review            |
| <input type="checkbox"/> 2 Individual and Community Onlot Disposal of Sewage |   | <input type="checkbox"/> 4C County or Joint Health Department Review |

\_\_\_\_\_  
 Municipal Secretary (print)

\_\_\_\_\_  
 Signature

\_\_\_\_\_  
 Date