

ED GAINNEY  
MAYOR



KIMBERLY LUCAS  
DIRECTOR

October 3, 2022

President and Members  
City Council  
City of Pittsburgh

**RE: 5700 Penn Ave  
ENCROACHMENT  
DOMI-EN-2022-  
06199**

Dear President and Members of City Council:

We have a request for an encroachment permit at 5700 Penn Avenue, in the 8<sup>th</sup> Ward, 9<sup>th</sup> Council District, as shown on the attached plan. A copy of the request is also attached.

PENNLEY PARK SOUTH INC, is proposing to install a new ADA compliant ramp with handrails on both sides.

Your favorable approval of this proposed Resolution is hereby recommended.

Sincerely,

*Kimberly Lucas*

Kimberly Lucas  
Director

KL:JM  
Attachments



**MBM Contracting, Inc.**  
4999 Old Clairton Road  
Pittsburgh, PA 15236

**T** 412-379-9000  
**F** 412-379-5030

May 16, 2022

Director of Mobility and Infrastructure  
414 Grant Street 215-A  
Pittsburgh, PA 15219

Re: Application for Major Encroachment Permit at 5700 Penn Ave. Whole Foods Market

This letter is being written in relation to a Major Encroachment application for the Whole Foods Market (“WFM”) at 5700 Penn Avenue. The encroachment in question is for an ADA compliant ramp that will extend approximately 5’-4” from the building at its widest point. This ramp will connect the interior seating area of the store to the exterior seating area and sidewalk.

As you will see in the attached, the property line is very close to the building. Therefore, the proposed ramp will extend into the public right-of-way (“ROW”) on the Penn Avenue sidewalk. The sidewalk on Penn Avenue is large and there will be at least an additional 9’ of clearance after the ADA ramp is installed. The ramp will be constructed to meet ADA slope requirements and will have handrail on both sides.

The purpose of the ramp is to both serve as convenience for customers and as an additional egress pathway. Furthermore, WFM has an Outdoor Dining Permit application in process to allow them to put seasonal seating in this area. The ramp would be within the footprint of such outdoor seating area, thus creating minimal disturbance to the public ROW.

Sincerely,  
MBM Contracting, Inc.

A handwritten signature in blue ink, appearing to read "Bryan Brown", written in a cursive style.

Bryan Brown  
Vice President



CITY OF PITTSBURGH  
DEPARTMENT OF MOBILITY & INFRASTRUCTURE  
CITY-COUNTY BUILDING

**Application for an Encroachment on City Dedicated Right-Of-Way**

Date: 05/17/2022

Applicant Name: MBM Contracting, Inc. / Whole Foods Market

Property Owner's Name (if different from Applicant): LG Realty Advisors

Address: 5700 Penn Avenue, Pittsburgh, PA 15206

Phone Number: 412-379-9000 Alternate Phone Number: \_\_\_\_\_

Location of Proposed Encroachment: Sidewalk on Penn Ave. Please see attached drawings

Ward: 8th Council District: City of Pgh. Lot and Block: 83-N-125

What is the properties zoning district code: AP (zoning office 255-2241)

Planning/Zoning Case OneStop Number (if applicable): ZDR- 2022-05942

Is the existing right-of-way, a street or a sidewalk? Yes - Sidewalk

Width of Existing Right-of-Way (sidewalk or street): 15' (Before encroachment)

Length of Existing Right-of-Way (sidewalk or street): 100' (Before encroachment)

Width of Proposed Encroachment: 5' 4"

Length of Proposed Encroachment: 17'

Number of feet the proposed object will encroach into the ROW: 5' 4"

Description of encroachment: Ramp to access entrance to new tenant space.

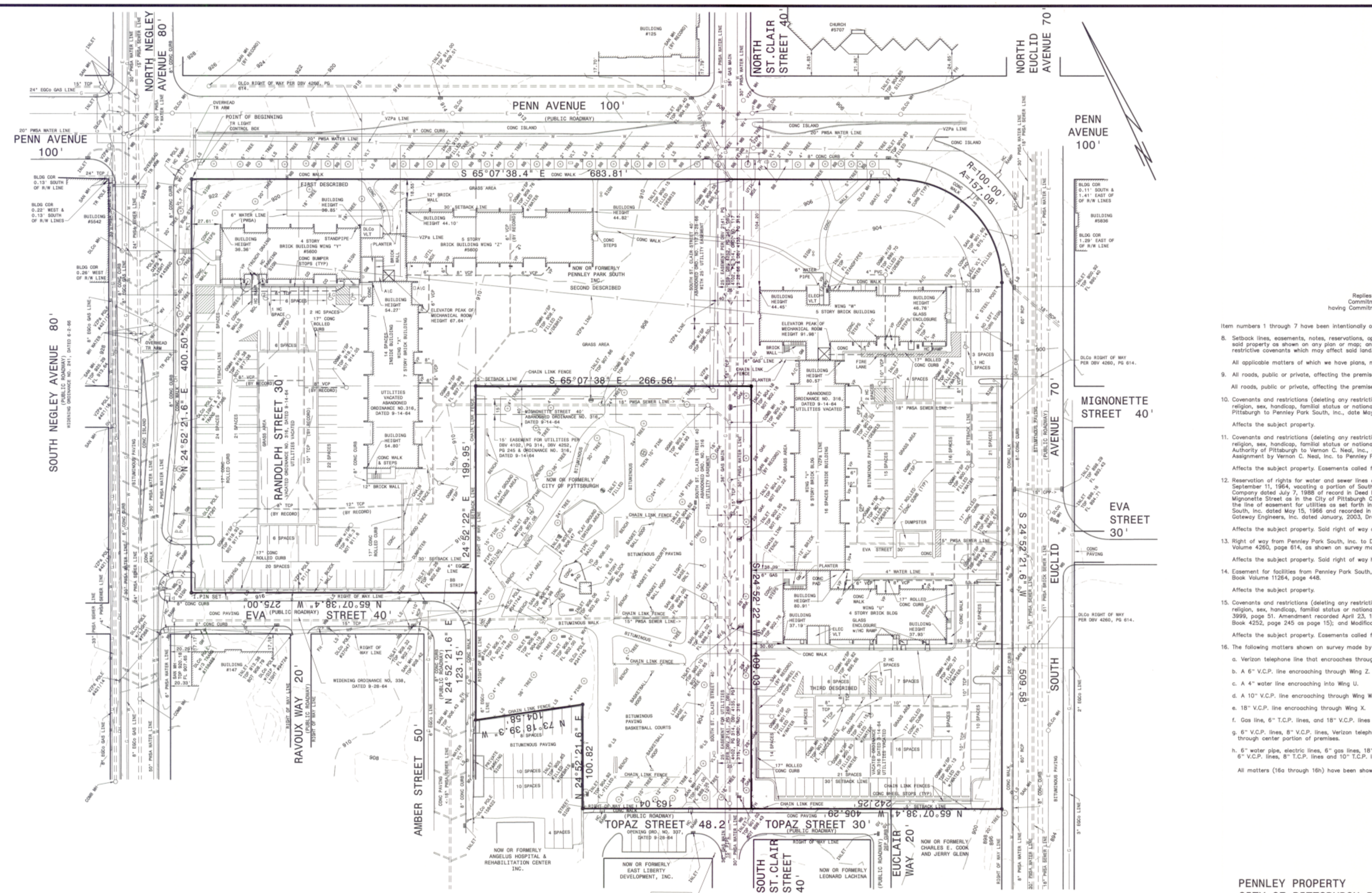
**Reason for application:**

Ramp goes beyond the property line into a public ROW, and we are aware than encroachment application is necessary for the performance of such work.

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Replies to Chicago Title Insurance Company  
Commitment for Title Insurance, Schedule B-2  
having Commitment No. 3354770, dated December 10, 2010

- Item numbers 1 through 7 have been intentionally omitted.
- Setback lines, easements, notes, reservations, open spaces, conditions, widening strips, restrictions or other matters affecting said property as shown on any plan or map; and any other recorded easements, rights of way, conditions, reservations and restrictive covenants which may affect said land.
  - All applicable matters of which we have plans, maps and knowledge of have been shown.
  - All roads, public or private, affecting the premises have been shown.
  - Covenants and restrictions (deleting any restrictions indicating any preference, limitation, or discrimination based on race, color, religion, sex, handicap, familial status or national origin) as set forth in Instrument from Urban Redevelopment Authority of Pittsburgh to Penney Park South, Inc., dated May 25, 1966 and recorded in Deed Book Volume 4252, page 245. Affects the subject property.
  - Covenants and restrictions (deleting any restrictions indicating any preference, limitation, or discrimination based on race, color, religion, sex, handicap, familial status or national origin) as set forth in Disposition Contract between Urban Redevelopment Authority of Pittsburgh to Vernon C. Neal, Inc., dated August 20, 1962 and recorded in Deed Book Volume 4102, page 314. Assignment by Vernon C. Neal, Inc. to Penney Park South, Inc. dated May 18, 1966, which is unrecorded. Affects the subject property. Easements called for in this document have been shown.
  - Reservation of rights for water and sewer lines as set forth in the City of Pittsburgh Ordinance No. 316 of 1964, approved September 11, 1964 vacating a portion of South Saint Clair Street; gas pipe line easements from Philip Bender to Philadelphia Company dated July 7, 1988 of record in Deed Book Volume 2141, page 259; and reservation of water and sewer lines in Mignonette Street as in the City of Pittsburgh Ordinance No. 316 of 1964, approved on September 14, 1964, all as located within the line of easement for utilities as set forth in the Deed from Urban Redevelopment Authority of Pittsburgh to Penney Park South, Inc. dated May 15, 1966 and recorded in Deed Book Volume 4252, page 245, all as shown on a survey made by The Gateway Engineers, Inc. dated January, 2003, Drawing No. 47,466. Affects the subject property. Said right of way and lines have been shown.
  - Right of way from Penney Park South, Inc. to Duquesne Light Company dated October 31, 1966 and recorded in Deed Book Volume 4260, page 614, as shown on a survey made by The Gateway Engineers, Inc. dated January, 2003, Drawing No. 47,466. Affects the subject property. Said right of way has been shown.
  - Easement for facilities from Penney Park South, Inc. to TCI Pennsylvania, Inc. dated September 6, 2001 and recorded in Deed Book Volume 11264, page 446. Affects the subject property.
  - Covenants and restrictions (deleting any restrictions indicating any preference, limitation, or discrimination based on race, color, religion, sex, handicap, familial status or national origin) as set forth in Instrument dated December 31, 1999 and recorded in 3999, page 51. Amendment recorded April 23, 1965 recorded in Deed Book Volume 4135, page 315. (Incorrectly stated in Deed Book 4252, page 245 on page 15); and Modification No. 4 recorded in Deed Book Volume 4945, page 478. Affects the subject property. Easements called for in this document have been shown.
  - The following matters shown on a survey made by the Gateway Engineers, Inc. dated January, 2003, Drawing No. 47, 466 :
    - Verizon telephone line that encroaches through Wings U, V, W, and Y.
    - A 6" V.C.P. line encroaching through Wing Z.
    - A 4" water line encroaching into Wing U.
    - A 10" V.C.P. line encroaching through Wing W.
    - 18" V.C.P. line encroaching through Wing X.
    - Gas line, 6" T.C.P. lines, and 18" V.C.P. lines running through westerly portion of premises.
    - 6" V.C.P. lines, 8" V.C.P. lines, Verizon telephone line, 36" gas main, 18" T.C.P. lines and 25 foot easements running through center portion of premises.
    - 6" water pipe, electric lines, 6" gas lines, 18" V.C.P. lines, 8" V.C.P. lines, existing sewer lines, 15" pipe line, 10" T.C.P. lines, 6" V.C.P. lines, 8" T.C.P. lines and 10" T.C.P. lines running through Easterly portion of premises.
 All matters (16a through 16h) have been shown. See note #4.

PENNEY PROPERTY = 309,122 SQ. FT. OR 7.096 ACRES  
CITY OF PITTSBURGH PROPERTY = 99,365 SQ. FT. OR 2.281 ACRES  
TOTAL PLAN AREA = 408,487 SQ. FT. OR 9.377 ACRES

**DESCRIPTION AS PER TITLE COMMITMENT**  
ALL THAT CERTAIN PARCEL OF LAND, SITUATE IN THE 8TH WARD, CITY OF PITTSBURGH, ALLEGHENY COUNTY, PENNSYLVANIA, MORE PARTICULARLY BOUND AND DESCRIBED AS FOLLOWS:  
BEGINNING AT A POINT AT THE INTERSECTION OF THE EASTERLY RIGHT OF WAY LINE OF SOUTH NEGLEY AVENUE, 80.00 FEET WIDE, AND THE SOUTHERLY RIGHT OF WAY LINE OF PENN AVENUE, 100.00 FEET WIDE; THENCE FROM SAID POINT OF BEGINNING BY THE SOUTHERLY RIGHT OF WAY LINE OF PENN AVENUE S 65° 07' 38.4" E A DISTANCE OF 683.81 FEET TO A POINT OF CURVATURE ON THE WESTERLY RIGHT OF WAY LINE OF SOUTH EUCLID AVENUE, 70.00 FEET WIDE; THENCE BY THE WESTERLY RIGHT OF WAY LINE OF SOUTH EUCLID AVENUE IN A SOUTHERLY DIRECTION BY A CURVE BEARING TO THE RIGHT HAVING A RADIUS OF 100.00 FEET THROUGH AN ARC DISTANCE OF 157.08 FEET TO A POINT OF TANGENCY; THENCE CONTINUING BY SAME S 24° 52' 21.6" W A DISTANCE OF 509.58 FEET TO A POINT ON THE LINE DIVIDING LANDS NOW OR FORMERLY OF PENNEY PARK SOUTH, INC. AND LANDS NOW OR FORMERLY OF CHARLES E. COOK AND JERRY GLENN; THENCE BY THE LINE DIVIDING LANDS NOW OR FORMERLY OF PENNEY PARK SOUTH, INC. AND LANDS NOW OR FORMERLY OF CHARLES E. COOK AND JERRY GLENN AND BY THE NORTHERLY RIGHT OF WAY LINE OF TOPAZ STREET, 30.00 FEET WIDE, N 65° 07' 38.4" W A DISTANCE OF 405.29 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF SAID TOPAZ STREET AT A POINT ON THE LINE DIVIDING LANDS NOW OR FORMERLY OF THE CITY OF PITTSBURGH AND LANDS NOW OR FORMERLY OF ANGELUS HOSPITAL & REHABILITATION CENTER, INC.; THENCE BY THE LINE DIVIDING LANDS NOW OR FORMERLY OF THE CITY OF PITTSBURGH AND LANDS NOW OR FORMERLY OF ANGELUS HOSPITAL & REHABILITATION CENTER, INC., N 24° 52' 21.6" E A DISTANCE OF 100.82 FEET TO A POINT; THENCE CONTINUING BY SAME N 73° 18' 39.3" W A DISTANCE OF 124.58 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF AMBER STREET, 50.00 FEET WIDE; THENCE BY THE EASTERLY RIGHT OF WAY LINE OF AMBER STREET N 24° 52' 21.6" E A DISTANCE OF 123.15 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF EVA STREET, 40.00 FEET WIDE; THENCE BY THE NORTHERLY RIGHT OF WAY LINE OF EVA STREET N 65° 07' 38.4" W A DISTANCE OF 275.00 FEET TO A POINT ON THE EASTERLY RIGHT OF SAID SOUTH NEGLEY AVENUE; THENCE BY THE EASTERLY RIGHT OF WAY LINE OF SAID SOUTH NEGLEY AVENUE AND THE SOUTHERLY RIGHT OF WAY LINE OF SAID PENN AVENUE, AT THE POINT OF BEGINNING.  
CONTAINING AN AREA OF 408,487 SQUARE FEET OR 9.377 ACRES.

**NOTES**  
1) THE UNDERGROUND UTILITIES SHOWN HEREON HAVE NOT BEEN PHYSICALLY LOCATED BY THE SURVEYOR, HOWEVER, THE INFORMATION WAS OBTAINED FROM EXISTING PLANS AND SURFACE FACILITIES. THE GATEWAY ENGINEERS, INC. MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE GATEWAY ENGINEERS, INC. DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE SHOWN AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.  
2) THE SUBJECT PROPERTY LIES IN AREA ZONE X WHICH IS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODWAY AS DEPICTED ON FLOOD INSURANCE RATE MAP NUMBER 4200030589, MAP REVISED SEPTEMBER 26, 2010.  
3) STORM SEWER LINES INTERNAL TO PROPERTY LINES ARE TAKEN FROM AS-BUILT RECORD AS SHOWN ON THE GATEWAY ENGINEERS, INC. PLAN OF PROPERTY DRAWING NO. 47,308 DATED JUNE, 1966, LAST REVISED JANUARY 5, 1968. THIS PLAN HAS NOT BEEN RECORDED.  
4) THE NOTATION "BY RECORD" REFERRING TO T.C.P. AND V.C.P. LINES SHOWN ON THIS SURVEY ARE REFERENCING THE ABOVE MENTIONED PLAN.

**PARKING STALL INFORMATION**

REGULAR EXTERIOR PARKING STALLS	256
REGULAR INTERIOR PARKING STALLS	30
HANDICAP PARKING STALLS	8
TOTAL PARKING STALLS	294

TYPICAL PARKING STALL SIZE = 9' x 18'

**LEGEND**

CONC	- CONCRETE	ELCo	- DUQUESNE LIGHT COMPANY
SAN	- SANITARY	EGCo	- EQUITABLE GAS CO. (NOW PNGCO)
MH	- MANHOLE	VZPs	- VERIZON PENNSYLVANIA
TOP	- TOP OF CASTING	PNCo	- PITTSBURGH NATURAL GAS COMPANY
FL	- FLOW LINE	PRSA	- PITTSBURGH WATER AND SEWER AUTHORITY
CO	- CLEAN OUT	RCP	- REINFORCED CONCRETE PIPE
WV	- WATER VALVE	TCP	- TERRA COTTA PIPE
WB	- WATER BOX	VCP	- VITRIFIED CLAY PIPE
PH	- FINE HYDRANT	GL	- GAS LINE
GV	- GAS VALVE	W	- WATER LINE
GM	- GAS METER	T	- SUBSURFACE TELEPHONE LINE
ELEC	- ELECTRIC	SE	- SUBSURFACE ELECTRIC LINE
TR	- TRAFFIC	OH	- OVERHEAD WIRES
TRANS	- TRANSFORMER	ES	- EXISTING SPOT ELEVATION
GW	- GUY WIRE	EX	- EXISTING MANHOLE
VT	- VAULT	IN	- EXISTING INLET
LS	- LIGHT STANDARD	CO	- EXISTING CURB
BOL	- BOLLARD	OS	- EXISTING SEWER PIPE
VP	- VENT PIPE		
A/C	- AIR CONDITIONER		
HC	- HANDICAP		
GR	- OPEN GRATE		
BB	- BELGIAN BLOCK		
COMB	- COMBINATION SEWER		
RF	- RETHIN BLOCK		
SP	- STENCH PLATE		
HR	- HAND RAIL		
DEP	- DEPRESSION		
PLT	- PLANTER		

**TO LG REALTY ADVISORS, INC. AND CHICAGO TITLE INSURANCE COMPANY**

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA, AND NSPS AND INCLUDES ITEMS 3, 4, 8, 9, 11 AND 13 OF THE TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON APRIL 19, 2016.

May 3, 2016  
Kevin Patrick Hannegan  
REG. NO. SU-048536-E

**GRAPHIC SCALE**  
(IN FEET)  
1 inch = 50 ft.

The Gateway Engineers, Inc.  
Full-Service Civil Engineering & Surveying  
400 Holiday Drive, Suite 300, Pittsburgh, PA 15220  
gatewayengineers.com 855-634-9284

**GATEWAY®**

REVISIONS:  
04/16/2016 - UPDATE SURVEY  
05/11/2016 - ADD METES & BOUNDS  
07/11/2016 - MISC. UPDATES

**ALTA/NSPS  
LAND TITLE SURVEY  
(PENN PLAZA APARTMENTS)**

SITUATE IN  
**8TH WARD-CITY OF PITTSBURGH  
ALLEGHENY COUNTY, PA**

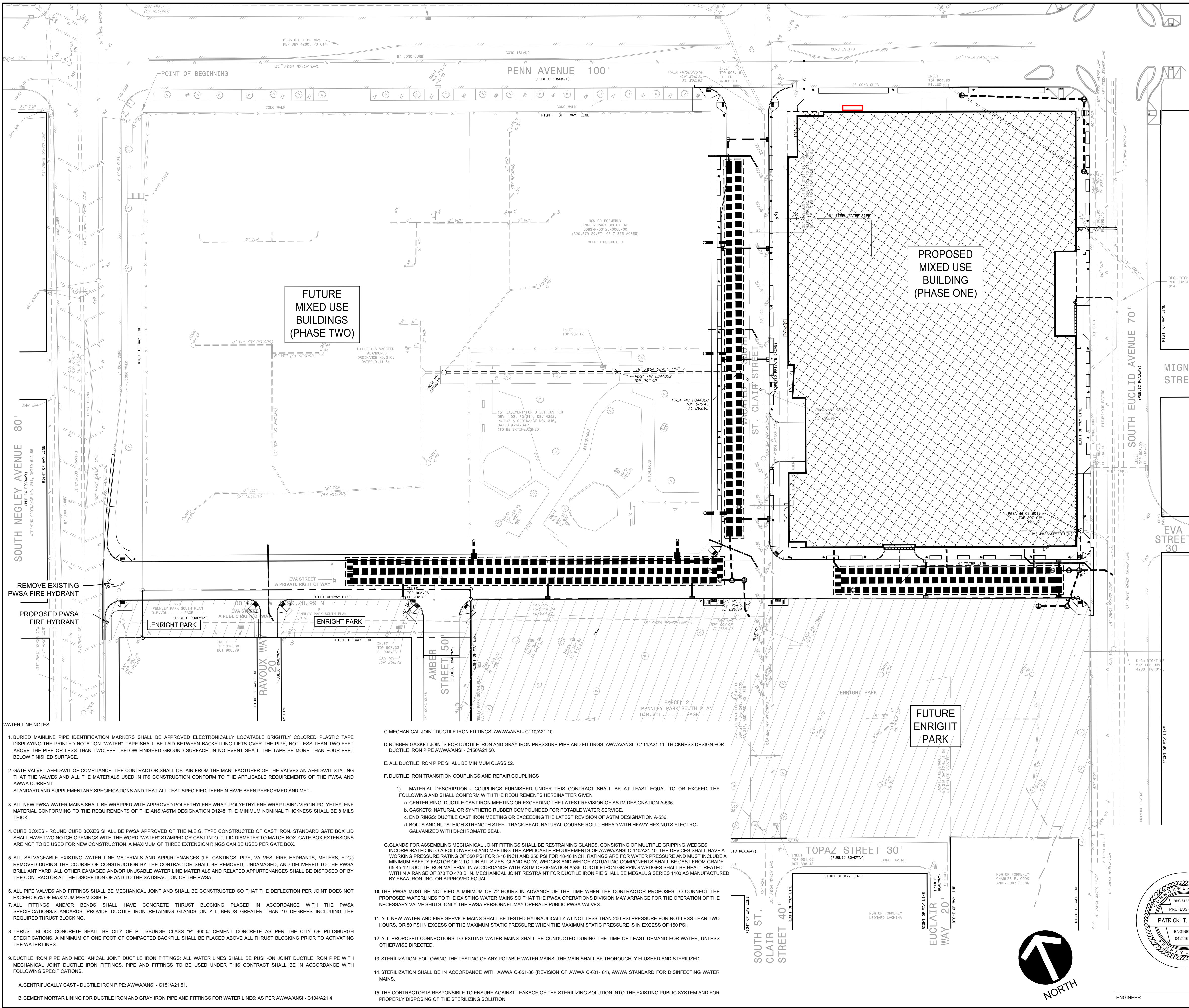
MADE FOR  
**LG REALTY  
ADVISORS, INC.**

DATE: JANUARY 04, 2011  
SCALE: 1" = 50'

PROJECT No.: C-16121-0002  
DRAWING No.: 401,826

PM: JAB DB: CC/BMC CB: KPH

Path & Filename: G:\Projects\1600016121 Penn Plaza ALTA-NSPS Land Title Survey\Drawings\01-Basis\16121-0004 VAS.dwg  
 Plot Date: 7/11/2016 12:43 PM Thomas A. Gass, CGS, P.L.S. Save Date: 7/11/2016 12:43 PM



- GENERAL NOTES**
1. ALL WORK DONE AND MATERIALS FURNISHED UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH THE PITTSBURGH WATER AND SEWER AUTHORITY (PWSA) AND THE CITY OF PITTSBURGH CURRENT GENERAL CONTRACT CONDITIONS STANDARD SPECIFICATIONS FOR THE MATERIALS AND CONSTRUCTION DATED NOVEMBER 1938, WITH SUPPLEMENTS THERETO AND REVISIONS THEREOF, USING CURRENT UPDATED PWSA SPECIFICATIONS AND STANDARDS FOR CONSTRUCTION UNLESS OTHERWISE NOTED.
  2. THE DEVELOPER/OWNER MUST FURNISH THE PWSA WITH A PERFORMANCE BOND (OR APPROVED EQUAL) AND A LABOR AND MATERIAL PAYMENT BOND, EACH IN AN AMOUNT EQUAL TO 100 PERCENT OF THE TOTAL PROJECT CONSTRUCTION COST AS DETERMINED BY PWSA. THE DEVELOPER/OWNER SHALL ALSO FURNISH THE PWSA WITH A MAINTENANCE BOND FOR THE WARRANTY OF ALL CONSTRUCTION FOR A PERIOD OF 18 MONTHS FROM THE DATE OF THE PWSA'S ACCEPTANCE OF THE COMPLETED WORK AND BOARD APPROVAL. THE MAINTENANCE BOND SHALL BE IN AN AMOUNT EQUAL TO 15 PERCENT OF THE COST OF THE WORK. THE PWSA ALONE SHALL BE NAMED AS AN OBLIGEE ON ALL BONDS.
  3. THE DEVELOPER/OWNER OR HIS CONTRACTOR SHALL OBTAIN ALL BUILDING PERMITS, PLUMBING PERMITS, CONSTRUCTION AND/OR STREET OPENING PERMITS REQUIRED BY THE CITY OF PITTSBURGH, COUNTY OF ALLEGHENY AND THE COMMONWEALTH OF PENNSYLVANIA AND/OR ANY LOCAL SURROUNDING MUNICIPALITIES AS NEEDED.
  4. ALL CONSTRUCTION MATERIALS MUST BE SUBMITTED IN A TIMELY MANNER FOR REVIEW AND APPROVED BY THE PWSA DEPARTMENT OF ENGINEERING AND CONSTRUCTION PRIOR TO THE START OF CONSTRUCTION. SUBMITTAL INFORMATION SHALL INCLUDE A LIST OF MATERIALS AND THEIR SOURCE OF SUPPLY AS WELL AS MANUFACTURER'S DESCRIPTIVE CATALOG DATA, DRAWINGS, CHARTS, TABLES, ETC. NECESSARY TO SUBSTANTIATE COMPLIANCE WITH THE PWSA SPECIFICATION REQUIREMENTS. LIST OF MATERIALS AND SOURCE THEREOF, TOGETHER WITH WORK SCHEDULE, MUST BE SUBMITTED AND APPROVED BY THE PWSA DEPARTMENT OF ENGINEERING AND CONSTRUCTION BEFORE CONSTRUCTION IS STARTED. PRIOR TO THE START OF CONSTRUCTION, THE DEVELOPER/OWNER OR HIS CONTRACTOR SHALL SUBMIT A SCHEDULE OF THE WORK TO BE PERFORMED FOR REVIEW BY THE PWSA'S DEPARTMENT OF ENGINEERING AND CONSTRUCTION.
  5. CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWINGS IN ACCORDANCE WITH THE PWSA ON UNIFORM SIZE SHEETS NO SMALLER THAN 24 INCHES BY 36 INCHES FOR REVIEW AND APPROVAL. ALSO SUBMIT DRAWINGS IN DGN OR DWG FORMAT ON ELECTRONIC MEDIA ACCEPTABLE TO THE PWSA.
  6. THE PRECONSTRUCTION MEETING SHALL BE SET BY PWSA. AFTERWARDS, THE DEVELOPER/OWNER OR HIS CONTRACTOR SHALL NOTIFY THE PWSA DEPARTMENT OF ENGINEERING AND CONSTRUCTION NO LESS THAN 72 HOURS IN ADVANCE OF THE START OF CONSTRUCTION.
  7. THE DEVELOPER/OWNER'S CONTRACTOR SHALL NOT PERFORM ANY WORK DURING THE NIGHT, ON WEEKENDS, OR ON PWSA HOLIDAYS, UNLESS ORDERED TO DO SO BY THE PWSA'S DIRECTOR, OR AT THE REQUEST OF THE CONTRACTOR WITH THE APPROVAL OF THE DIRECTOR. WHEN THE CONTRACTOR IS GIVEN PERMISSION TO WORK DURING THESE PERIODS, HE SHALL REIMBURSE THE PWSA FOR ALL PWSA REPRESENTATIVE'S LABOR AND EXPENSES ASSOCIATED WITH INSPECTION OF THE WORK.
  8. UNLESS OTHERWISE SPECIFIED, SHOW ON PLANS PRECISE CITY B.M. NO(S) \_\_\_\_\_ AND ELEVATION(S) \_\_\_\_\_ (ALSO NOTE STANDARD CITY DESCRIPTION AND LOCATION(S)).
  9. SAW-CUT ALL EXISTING PUBLIC AND/OR PRIVATE SIDEWALK(S) AND STREET PAVEMENT(S) (AS DIRECTED).
  10. THE CONTRACTOR SHALL APPLY A CITY APPROVED SCALING DETTERENT TO ALL FINISHED CONCRETE PAVEMENT SURFACES AND SIDEWALKS IN ACCORDANCE WITH CURRENT CITY SPECIFICATIONS OR AS SHOWN ON THE CONTRACT PLANS (IF DIRECTED).
  11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ALL CASTINGS, WATER BOXES, CATCH BASINS, STORM INLETS, AND MANHOLES AFTER CONSTRUCTION AND/OR PAVING IS COMPLETED INCLUDING ANY PRIVATE CASTING SURFACES (IF DIRECTED).
  12. MATERIAL REQUIRED TO REPLACE UNSUITABLE MATERIAL FOR STABILIZATION FOR SUB-GRADE(S) SHALL BE CITY/PWSA APPROVED BACKFILL MATERIAL. THE COMPOSITION AND METHOD OF COMPACTION SHALL CONFORM TO CURRENT CITY OF PITTSBURGH SPECIFICATIONS FOR SUB-BASE TREATMENT.
  13. ALL OLD MATERIAL REMOVED UNDER THIS CONTRACT AND NOT TO BE REUSED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND MUST BE PROMPTLY REMOVED FROM THE SITE.
  14. THE CONTRACTOR SHALL DEWATER, BULKHEAD, AND BURY ALL EXISTING LINES THAT ARE ABANDONED IN PLACE. ABANDONED LINE(S) LARGER THAN 4" IN DIAMETER MUST BE FILLED WITH APPROVED FLOWABLE FILL.
  15. A COMPLETE AND ACCURATE PHOTOGRAPHIC ARCHIVAL HARD COPY FOUR MILL THICK DOUBLE MATTED MYLAR DRAWING (24 X 36) NOTING AS-BUILT RECORD INFORMATION MARKED IN RED INK, INCLUDING ALL COMPLETED AS BUILT RECORD INFORMATION AS TO LOCATION, ELEVATION, AND STATIONING WITH OFFSETS OF SEWER AND/OR WATER LINES, CATCH BASINS, WYE BRANCH CONNECTIONS, GATE VALVES, FITTINGS, HYDRANTS, STATIONS, GRADES, ETC. THIS REQUIRED INFORMATION MUST BE FURNISHED TO THE PWSA AT THE COMPLETION OF THE CONTRACT. THE CONTRACTOR SHALL SUBMIT ONE SET OF AS BUILT RECORD DRAWINGS SHOWING THE PROPOSED PWSA FACILITIES TO BE DEDICATED AS CONSTRUCTED, INCLUDING ALL DEVIATIONS FROM BOTH THE APPROVED PROJECT CONTRACT DRAWINGS AND ANY RELATED APPROVED SHOP DRAWINGS. ALL AS-BUILT DRAWINGS SHALL BE PREPARED ON UNIFORM SIZE SHEETS AS NOTED ABOVE NOT LESS THAN 24 INCHES BY 36 INCHES AND SUBMITTED WITHIN TWO WEEKS AFTER FINAL PWSA INSPECTION AND FINAL TESTING OF THE SYSTEM, PLUS INCLUDE AN APPROVED ELECTRONIC MEDIA COPY COMPATIBLE TO THE PWSA ELECTRONIC FILING SYSTEMS. SAID AS-BUILT INFORMATION MUST BE CERTIFIED BY AN ENGINEER LICENSED IN PENNSYLVANIA, OR IF DIRECTED MEASURED UP BY A SURVEYOR LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA.

UNTIL THE ABOVE DESCRIBED AS BUILT RECORD DRAWINGS ARE RECEIVED AND APPROVED BY THE PWSA AND FINAL ACCEPTANCE LETTER IS WRITTEN BY THE PWSA DIRECTOR OF ENGINEERING AND CONSTRUCTION, PWSA WILL NOT ACCEPT THE NEWLY BUILT FACILITIES TO BE DEDICATED A PUBLIC INFRASTRUCTURE. THE PRIVATE DEVELOPER/CONTRACTOR WILL REMAIN RESPONSIBLE FOR THE PRIVATELY CONSTRUCTED FACILITIES, INCLUDING ALL MAINTENANCE AND/OR REPAIRS UNTIL PWSA'S FINAL ACCEPTANCE OF SAID FACILITIES. ANY REQUIRED REPAIRS AND/OR MAINTENANCE PWSA DOES TO THE NEW FACILITIES IN THE INTEREST OF THE GENERAL PUBLIC PRIOR TO ACCEPTANCE WILL BE BOKK CHARGED TO THE PRIVATE DEVELOPER/CONTRACTOR AND/OR REIMBURSEMENT PURSUED, IF ACCEPTABLE AS BUILT INFORMATION IS NOT RECEIVED WITHIN SIXTY DAYS TIME AFTER COMPLETION OF THE NEW PROJECT. PWSA RESERVES THE RIGHT TO CREATE THE REQUIRED AS BUILT RECORD INFORMATION AND INVOICE THE PRIVATE DEVELOPER/CONTRACTOR AND/OR PURSUE REIMBURSEMENT VIA THEIR EXISTING BONDS).

PWSA RESERVES THE RIGHT TO TERMINATE AND/OR DISCONNECT ALL PRIVATE LINES AS DETERMINED BY PWSA.

THE PITTSBURGH WATER AND SEWER AUTHORITY	
*APPROVAL FOR:	
<input checked="" type="checkbox"/>	NEW WATER TAP, BACKFLOW PREVENTOR, AND METER INSTALLATION
<input checked="" type="checkbox"/>	NEW SANITARY AND/OR STORM SEWER TAP
<input checked="" type="checkbox"/>	INCREASE IN FLOW AT EXISTING SEWER AND/OR WATER CONNECTION
<input checked="" type="checkbox"/>	SEWER TAP TERMINATION
<input checked="" type="checkbox"/>	WATER TAP TERMINATION
<input type="checkbox"/>	EXTENDED FACILITIES
<input type="checkbox"/>	RELOCATION OF FACILITIES
*DISCLAIMER:	
Signatures/Approval by PWSA are for the physical connection(s) to the water and/or sewer system only.	
Responsibility for the design and work depicted by the drawings, including the flow design for the facilities, is by the Professional Engineer shown by the seal and signature affixed to the drawing. The PWSA does not represent or warrant that the water supply to the facilities is sufficient to support the design.	
Project Coordinator/Project Management Engineer/Reviewer certifies that he/she has reviewed the drawings (and notes documents) in accordance with the Authority's established rules and regulations. Based on this review, approval is hereby recommended.	
Project Coordinator/Project Management Engineer/Reviewer	Date _____
Approval	Date _____
Director of Operations	
Director of Engineering and Construction	

- WATER LINE NOTES**
1. BURIED MAINLINE PIPE IDENTIFICATION MARKERS SHALL BE APPROVED ELECTRONICALLY LOCATABLE BRIGHTLY COLORED PLASTIC TAPE DISPLAYING THE PRINTED NOTATION "WATER". TAPE SHALL BE LAID BETWEEN BACKFILLING LIFTS OVER THE PIPE, NOT LESS THAN TWO FEET ABOVE THE PIPE OR LESS THAN TWO FEET BELOW FINISHED GROUND SURFACE. IN NO EVENT SHALL THE TAPE BE MORE THAN FOUR FEET BELOW FINISHED SURFACE.
  2. GATE VALVE - AFFIDAVIT OF COMPLIANCE. THE CONTRACTOR SHALL OBTAIN FROM THE MANUFACTURER OF THE VALVES AN AFFIDAVIT STATING THAT THE VALVES AND ALL THE MATERIALS USED IN ITS CONSTRUCTION CONFORM TO THE APPLICABLE REQUIREMENTS OF THE PWSA AND ANWA CURRENT STANDARD AND SUPPLEMENTARY SPECIFICATIONS AND THAT ALL TEST SPECIFIED THEREIN HAVE BEEN PERFORMED AND MET.
  3. ALL NEW PWSA WATER MAINS SHALL BE WRAPPED WITH APPROVED POLYETHYLENE WRAP. POLYETHYLENE WRAP USING VIRGIN POLYETHYLENE MATERIAL CONFORMING TO THE REQUIREMENTS OF THE ANSIASTM DESIGNATION D1248. THE MINIMUM NOMINAL THICKNESS SHALL BE 8 MILS THICK.
  4. CURB BOXES - ROUND CURB BOXES SHALL BE PWSA APPROVED OF THE M.E.G. TYPE CONSTRUCTED OF CAST IRON. STANDARD GATE BOX LID SHALL HAVE TWO NOTCH OPENINGS WITH THE WORD "WATER" STAMPED OR CAST INTO IT. LID DIAMETER TO MATCH BOX. GATE BOX EXTENSIONS ARE NOT TO BE USED FOR NEW CONSTRUCTION. A MAXIMUM OF THREE EXTENSION RINGS CAN BE USED PER GATE BOX.
  5. ALL SALVAGEABLE EXISTING WATER LINE MATERIALS AND APPURTENANCES (I.E. CASTINGS, PIPE, VALVES, FIRE HYDRANTS, METERS, ETC.) REMOVED DURING THE COURSE OF CONSTRUCTION BY THE CONTRACTOR SHALL BE REMOVED, UNDAMAGED, AND DELIVERED TO THE PWSA BRILLIANT YARD. ALL OTHER DAMAGED AND/OR UNSALVAGEABLE WATER LINE MATERIALS AND RELATED APPURTENANCES SHALL BE DISPOSED OF BY THE CONTRACTOR AT THE DISCRETION OF AND TO THE SATISFACTION OF THE PWSA.
  6. ALL PIPE VALVES AND FITTINGS SHALL BE MECHANICAL JOINT AND SHALL BE CONSTRUCTED SO THAT THE DEFLECTION PER JOINT DOES NOT EXCEED 85% OF MAXIMUM PERMISSIBLE.
  7. ALL FITTINGS AND/OR BENDS SHALL HAVE CONCRETE THRUST BLOCKING PLACED IN ACCORDANCE WITH THE PWSA SPECIFICATIONS/STANDARDS. PROVIDE DUCTILE IRON RETAINING GLANDS ON ALL BENDS GREATER THAN 10 DEGREES INCLUDING THE REQUIRED THRUST BLOCKING.
  8. THRUST BLOCK CONCRETE SHALL BE CITY OF PITTSBURGH CLASS "P" 4000# CEMENT CONCRETE AS PER THE CITY OF PITTSBURGH SPECIFICATIONS. A MINIMUM OF ONE FOOT OF COMPACTED BACKFILL SHALL BE PLACED ABOVE ALL THRUST BLOCKING PRIOR TO ACTIVATING THE WATER LINES.
  9. DUCTILE IRON PIPE AND MECHANICAL JOINT DUCTILE IRON FITTINGS: ALL WATER LINES SHALL BE PUSH-ON JOINT DUCTILE IRON PIPE WITH MECHANICAL JOINT DUCTILE IRON FITTINGS. PIPE AND FITTINGS TO BE USED UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH FOLLOWING SPECIFICATIONS.
    - A. CENTRIFUGALLY CAST - DUCTILE IRON PIPE: AWWA/ANSI - C151/A21.51.
    - B. CEMENT MORTAR LINING FOR DUCTILE IRON AND GRAY IRON PIPE AND FITTINGS FOR WATER LINES: AS PER AWWA/ANSI - C104/A21.4.

- C. MECHANICAL JOINT DUCTILE IRON FITTINGS: AWWA/ANSI - C110/A21.10.
- D. RUBBER GASKET JOINTS FOR DUCTILE IRON AND GRAY IRON PRESSURE PIPE AND FITTINGS: AWWA/ANSI - C111/A21.11. THICKNESS DESIGN FOR DUCTILE IRON PIPE AWWA/ANSI - C150/A21.50.
- E. ALL DUCTILE IRON PIPE SHALL BE MINIMUM CLASS 52.
- F. DUCTILE IRON TRANSITION COUPLINGS AND REPAIR COUPLINGS
  - 1) MATERIAL DESCRIPTION - COUPLINGS FURNISHED UNDER THIS CONTRACT SHALL BE AT LEAST EQUAL TO OR EXCEED THE FOLLOWING AND SHALL CONFORM WITH THE REQUIREMENTS HEREINAFTER GIVEN
    - a. CENTER RING: DUCTILE CAST IRON MEETING OR EXCEEDING THE LATEST REVISION OF ASTM DESIGNATION A-536.
    - b. GASKETS: NATURAL OR SYNTHETIC RUBBER COMPOUNDED FOR POTABLE WATER SERVICE.
    - c. END RINGS: DUCTILE CAST IRON MEETING OR EXCEEDING THE LATEST REVISION OF ASTM DESIGNATION A-536.
    - d. BOLTS AND NUTS: HIGH STRENGTH STEEL TRACK HEAD, NATURAL COURSE ROLL THREAD WITH HEAVY HEX NUTS ELECTRO-GALVANIZED WITH DI-CHROMATE SEAL.
  - 2) GLANDS FOR ASSEMBLING MECHANICAL JOINT FITTINGS SHALL BE RESTRAINING GLANDS, CONSISTING OF MULTIPLE GRIPPING WEDGES INCORPORATED INTO A FOLLOWER GLAND MEETING THE APPLICABLE REQUIREMENTS OF AWWA/ANSI C-110/A21.10. THE DEVICES SHALL HAVE A WORKING PRESSURE RATING OF 350 PSI OR 15-INCH AND 250 PSI FOR 18-INCH. RATINGS ARE FOR WATER PRESSURE AND MUST INCLUDE A MINIMUM SAFETY FACTOR OF 2 TO 1 IN ALL SIZES. GLAND BODY, WEDGES AND WEDGE ACTUATING COMPONENTS SHALL BE CAST FROM GRADE 65-45-12 DUCTILE IRON MATERIAL IN ACCORDANCE WITH ASTM DESIGNATION A536. DUCTILE IRON GRIPPING WEDGES SHALL BE HEAT TREATED WITHIN A RANGE OF 370 TO 470 BHN. MECHANICAL JOINT RESTRAINT FOR DUCTILE IRON PIPE SHALL BE MEGALUL SERIES 1100 AS MANUFACTURED BY EBAA IRON, INC. OR APPROVED EQUAL.
10. THE PWSA MUST BE NOTIFIED A MINIMUM OF 72 HOURS IN ADVANCE OF THE TIME WHEN THE CONTRACTOR PROPOSES TO CONNECT THE PROPOSED WATERLINES TO THE EXISTING WATER MAINS SO THAT THE PWSA OPERATIONS DIVISION MAY ARRANGE FOR THE OPERATION OF THE NECESSARY VALVE SHUTS. ONLY THE PWSA PERSONNEL MAY OPERATE PUBLIC PWSA VALVES.
11. ALL NEW WATER AND FIRE SERVICE MAINS SHALL BE TESTED HYDRAULICALLY AT NOT LESS THAN 200 PSI PRESSURE FOR NOT LESS THAN TWO HOURS, OR 50 PSI IN EXCESS OF THE MAXIMUM STATIC PRESSURE WHEN THE MAXIMUM STATIC PRESSURE IS IN EXCESS OF 150 PSI.
12. ALL PROPOSED CONNECTIONS TO EXISTING WATER MAINS SHALL BE CONDUCTED DURING THE TIME OF LEAST DEMAND FOR WATER, UNLESS OTHERWISE DIRECTED.
13. STERILIZATION: FOLLOWING THE TESTING OF ANY POTABLE WATER MAINS, THE MAIN SHALL BE THOROUGHLY FLUSHED AND STERILIZED.
14. STERILIZATION SHALL BE IN ACCORDANCE WITH AWWA C-651-86 (REVISION OF AWWA C-601-81), ANWA STANDARD FOR DISINFECTING WATER MAINS.
15. THE CONTRACTOR IS RESPONSIBLE TO ENSURE AGAINST LEAKAGE OF THE STERILIZING SOLUTION INTO THE EXISTING PUBLIC SYSTEM AND FOR PROPERLY DISPOSING OF THE STERILIZING SOLUTION.

**PENNLEY PARK SOUTH, INC.**

**LIBERTY EAST - PHASE I  
SEWER TAP TERMINATION AND  
WATER AND SEWER TAP CONNECTION PLANS**

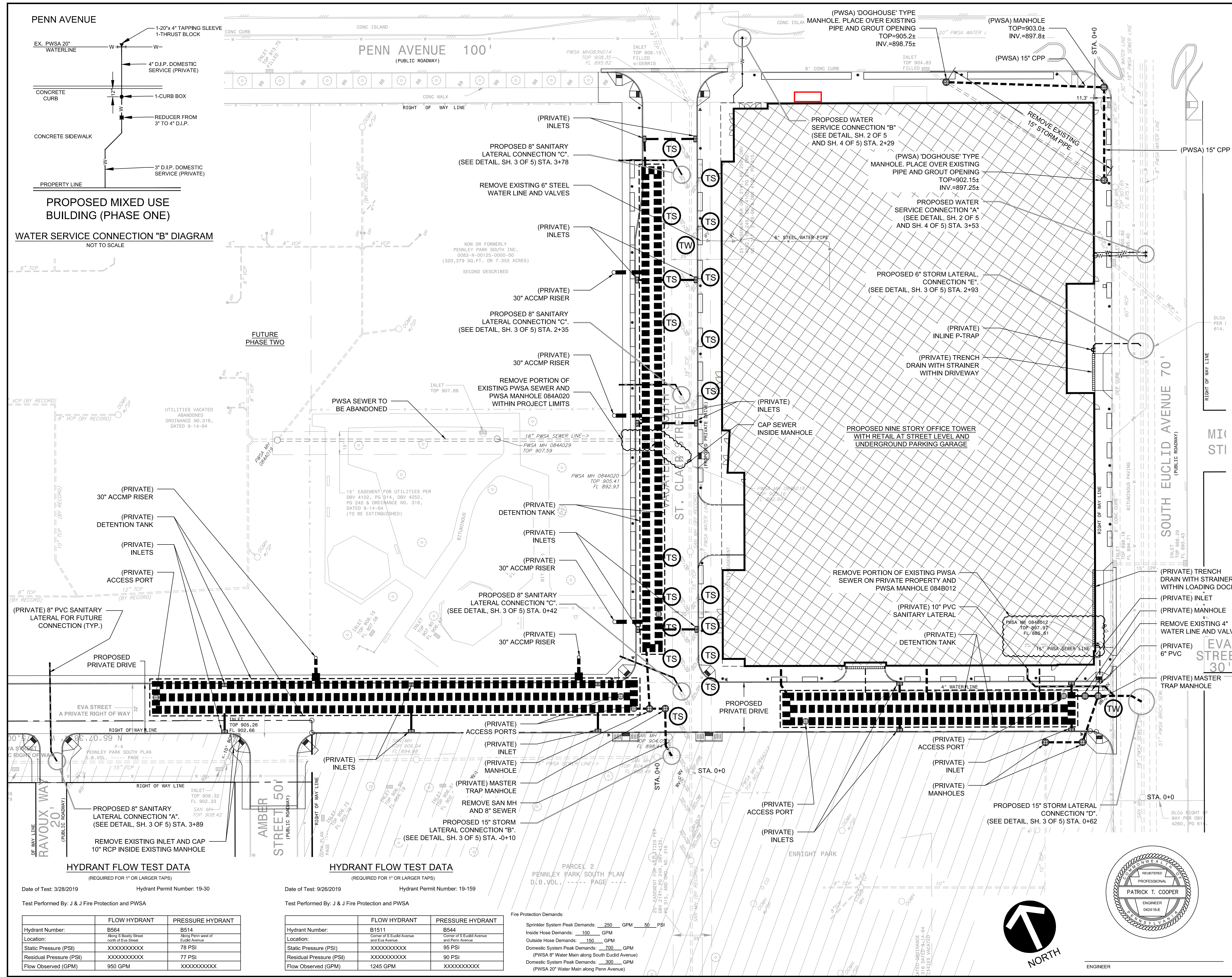
141, 151, 161, 163 S ST. CLAIR STREET AND 5700 PENN AVENUE  
8TH WARD, CITY OF PITTSBURGH, 15206

SCALE: 1" = 40'      SHEET NO.      ACCESSION NO. \_\_\_\_\_  
DATE: FEBRUARY, 2020      1 OF 5      CASE NO. \_\_\_\_\_  
REVISED: SEPTEMBER, 2020

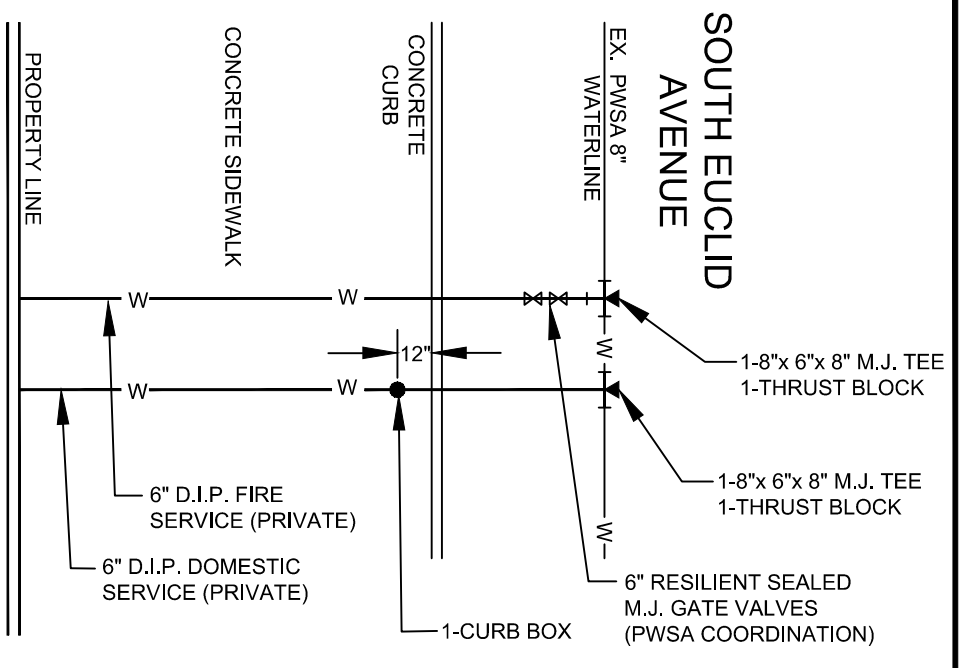
C-16121-0004      DWG. NO. 51.062



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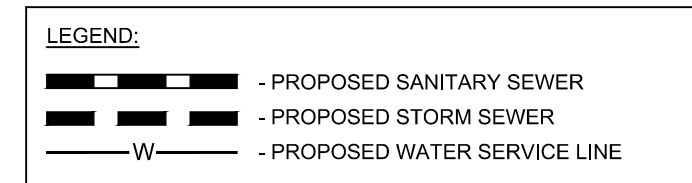


**PROPOSED MIXED USE BUILDING (PHASE ONE)**



**WATER SERVICE CONNECTION "A" DIAGRAM**  
NOT TO SCALE

- UTILITY TERMINATIONS:**
- (TS) - SEWER SERVICE TO BE TERMINATED (REFER TO DETAIL, SHEET 3 OF 5).
  - (TW) - WATER SERVICE TO BE TERMINATED (REFER TO DETAIL, SHEET 4 OF 5).



**WATER AND SEWER FLOW DATA (PHASE ONE)**

WATER CONSUMPTION	22,148 GPD
SANITARY FLOW	22,981 GPD
STORM FLOW	15.3 CFS
PLANNING MODULE NUMBER (ASSIGNED BY PWSA)	
PA DEP APPROVAL DATE (ASSIGNED BY PWSA)	

\*PROPOSED USE 22,981 GPD - PREVIOUS USE 30,799 GPD SANITARY

**THE PITTSBURGH WATER AND SEWER AUTHORITY**

\*APPROVAL FOR:

- NEW WATER TAP, BACKFLOW PREVENTOR, AND METER INSTALLATION
- NEW SANITARY AND/OR STORM SEWER TAP
- INCREASE IN FLOW AT EXISTING SEWER AND/OR WATER CONNECTION
- SEWER TAP TERMINATION
- WATER TAP TERMINATION
- EXTENDED FACILITIES
- RELOCATION OF FACILITIES

\*DISCLAIMER:  
Signatures/Approval by PWSA are for the physical connection(s) to the water and/or sewer system only. Responsibility for the design and work depicted by the drawings, including the flow design for the building, is by the Professional Engineer shown by the seal and signature attached to the drawing. The PWSA does not represent or warrant that the water supply to the facilities is sufficient to support the design.

Project Coordinator/Project Management Engineer/Reviewer certifies that he/she has reviewed the above noted documents in accordance with the Authority's established rules and regulations. Based on this review, approval is hereby recommended.

Project Coordinator/Project Management Engineer/Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Approval \_\_\_\_\_ Date \_\_\_\_\_

Director of Operations \_\_\_\_\_

Director of Engineering and Construction \_\_\_\_\_

**PENNLEY PARK SOUTH, INC.**

**LIBERTY EAST - PHASE I**  
**SEWER TAP TERMINATION AND**  
**WATER AND SEWER TAP CONNECTION PLANS**

141, 151, 161, 163 S ST. CLAIR STREET AND 5700 PENN AVENUE  
8TH WARD, CITY OF PITTSBURGH, 15206

SCALE: 1" = 30' SHEET NO. 2 OF 5 ACCESSION NO. \_\_\_\_\_  
DATE: FEBRUARY, 2020 REVISED: SEPTEMBER, 2020 CASE NO. \_\_\_\_\_



**HYDRANT FLOW TEST DATA**  
(REQUIRED FOR 1" OR LARGER TAPS)

Date of Test: 3/28/2019 Hydrant Permit Number: 19-30

	FLOW HYDRANT	PRESSURE HYDRANT
Hydrant Number:	B564	B514
Location:	Along S Liberty Street south of Elm Street	Along Penn west of Euclid Avenue
Static Pressure (PSI)	XXXXXXXXXX	78 PSI
Residual Pressure (PSI)	XXXXXXXXXX	77 PSI
Flow Observed (GPM)	950 GPM	XXXXXXXXXX

**HYDRANT FLOW TEST DATA**  
(REQUIRED FOR 1" OR LARGER TAPS)

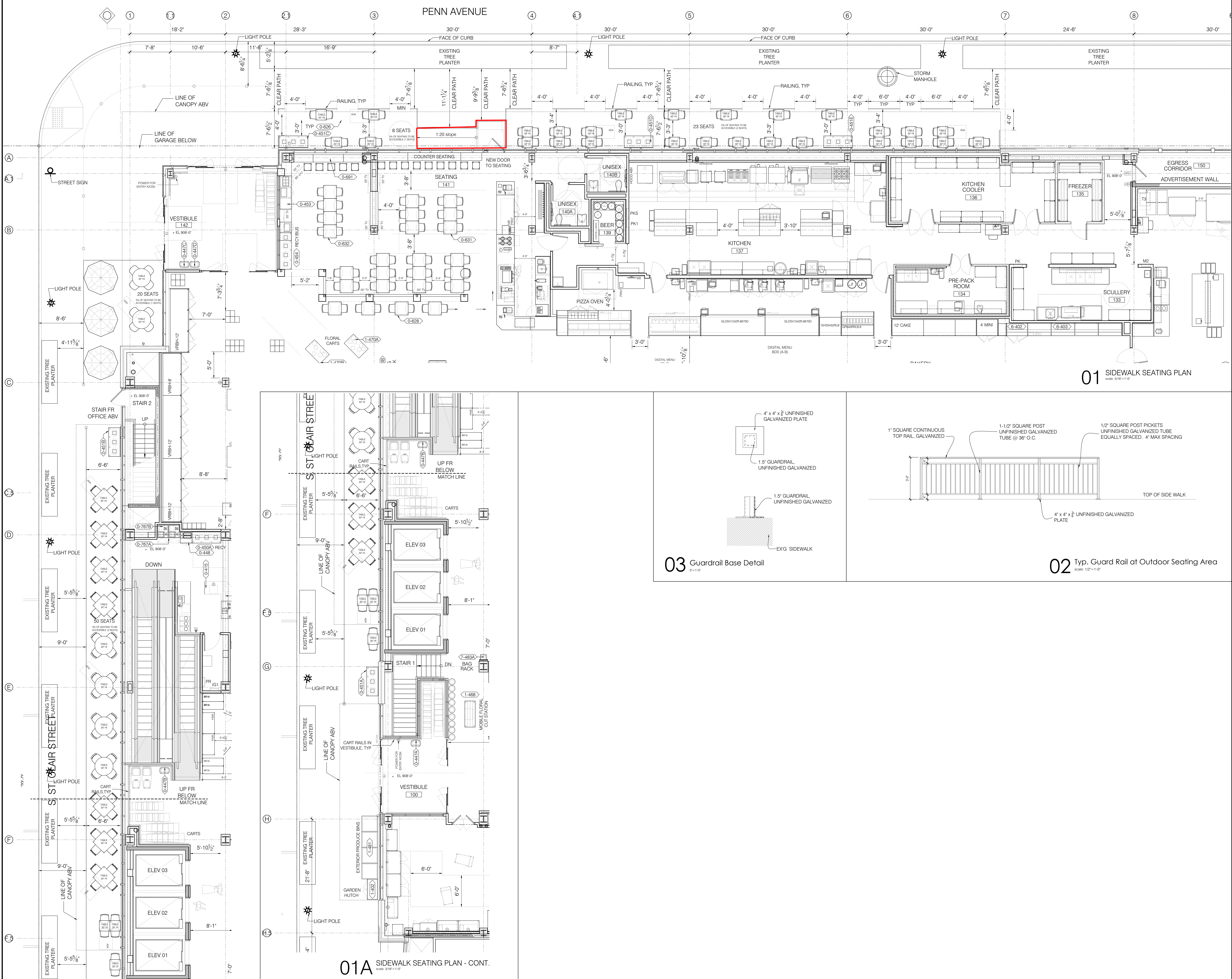
Date of Test: 9/26/2019 Hydrant Permit Number: 19-159

	FLOW HYDRANT	PRESSURE HYDRANT
Hydrant Number:	B1511	B544
Location:	Corner of S Euclid Avenue and Penn Avenue	Corner of S Euclid Avenue and Penn Avenue
Static Pressure (PSI)	XXXXXXXXXX	95 PSI
Residual Pressure (PSI)	XXXXXXXXXX	90 PSI
Flow Observed (GPM)	1245 GPM	XXXXXXXXXX

**Fire Protection Demands:**

Sprinkler System Peak Demands: 250 GPM 50 PSI  
 Inside Hose Demands: 100 GPM  
 Outside Hose Demands: 150 GPM  
 Domestic System Peak Demands: 700 GPM  
 (PWSA 8" Water Main along South Euclid Avenue)  
 Domestic System Peak Demands: 300 GPM  
 (PWSA 20" Water Main along Penn Avenue)

P:\p\Projects\160001621 Penn Plaza ALTA-8th Ward-Final-004 Due Diligence\DWG\08-PWSA-PVPSA\_Plan-01.dwg  
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01 SIDEWALK SEATING PLAN  
scale: 3/16" = 1'-0"

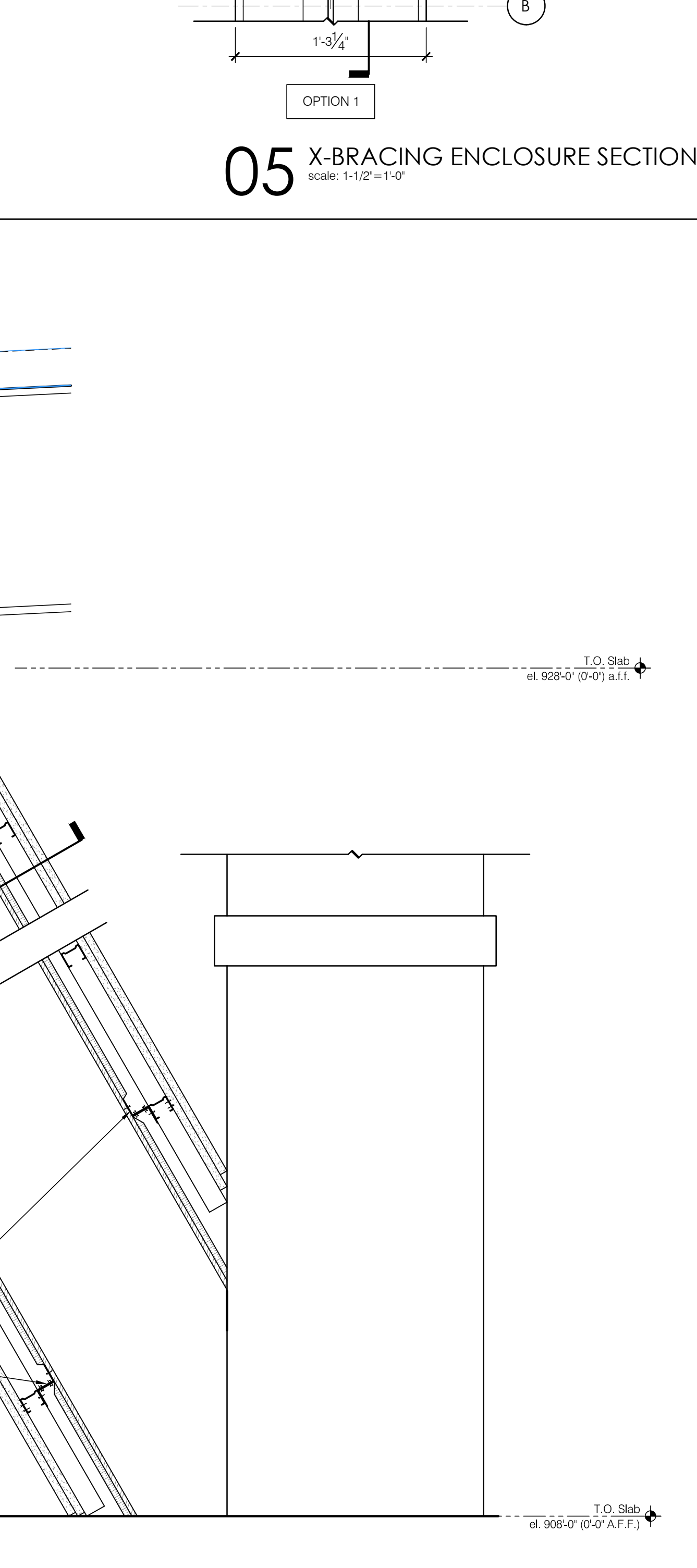
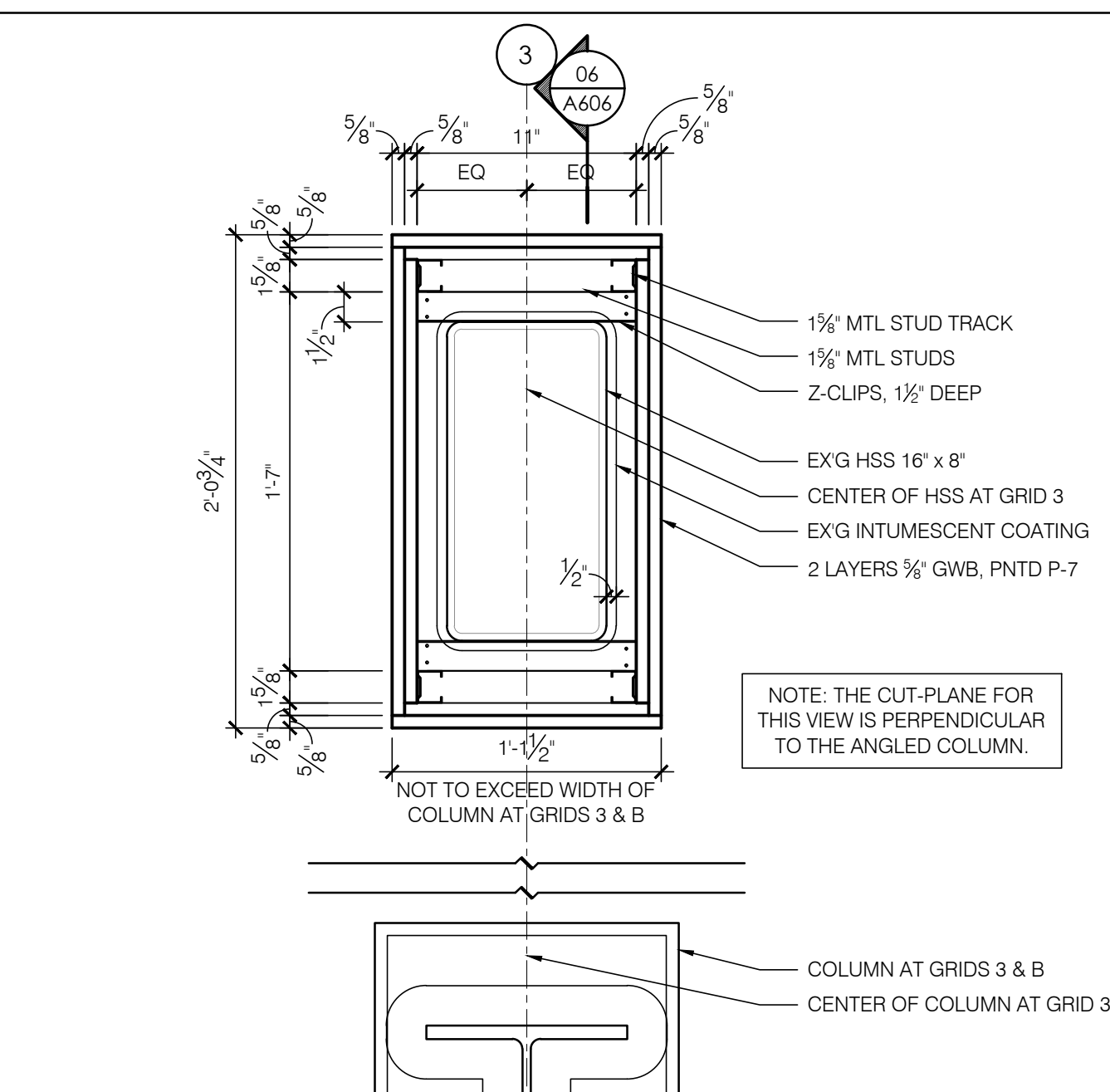
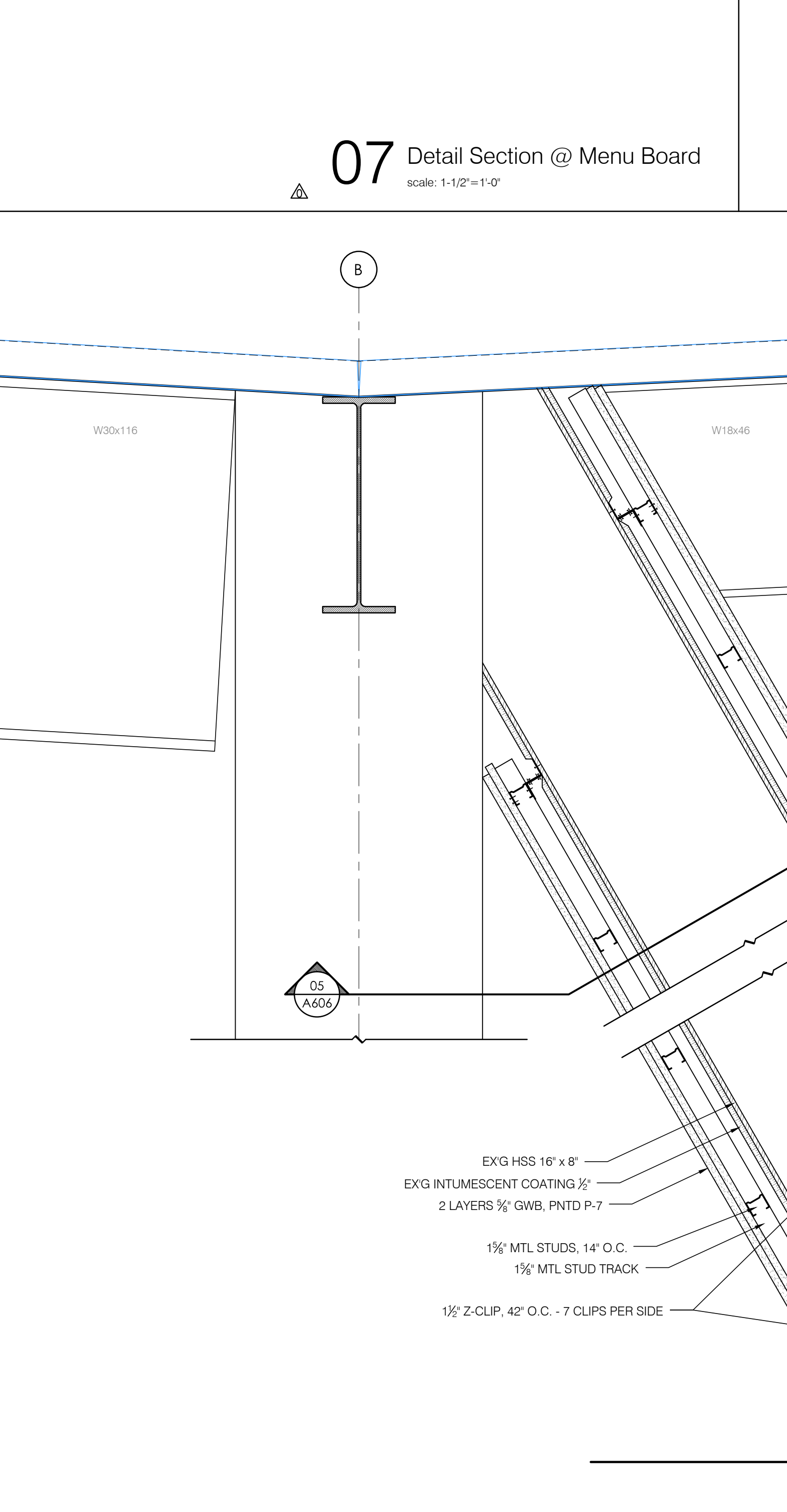
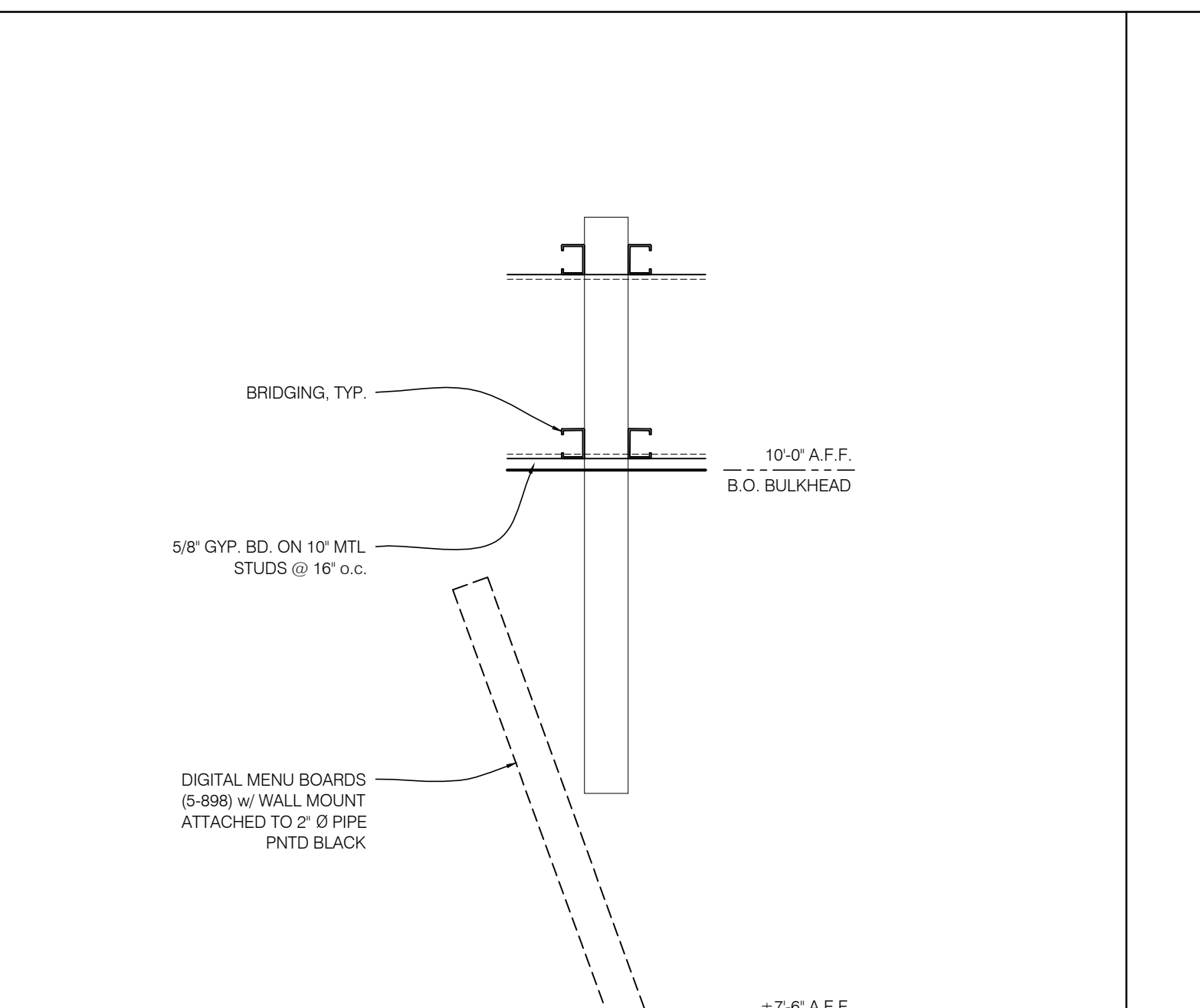
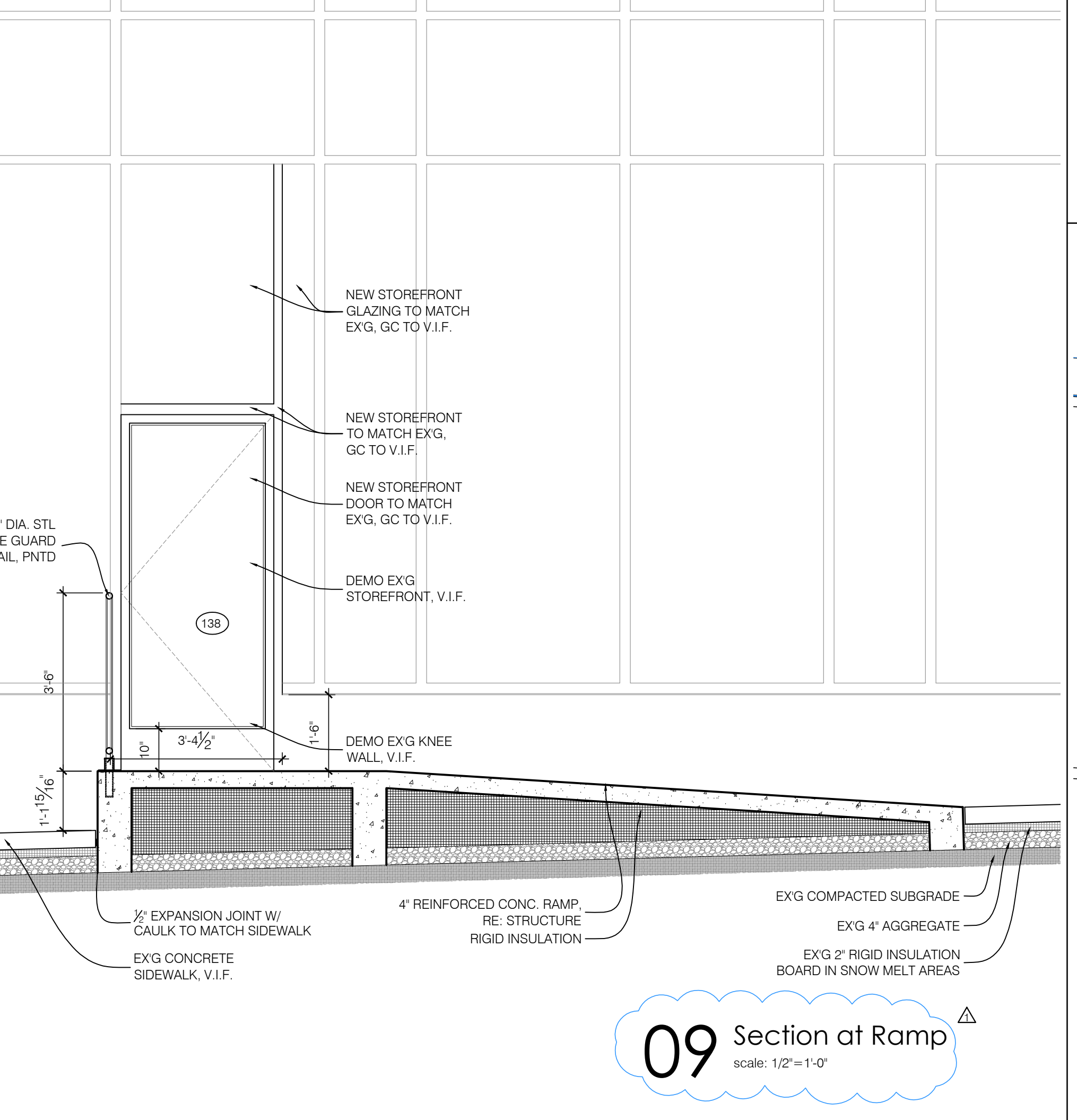
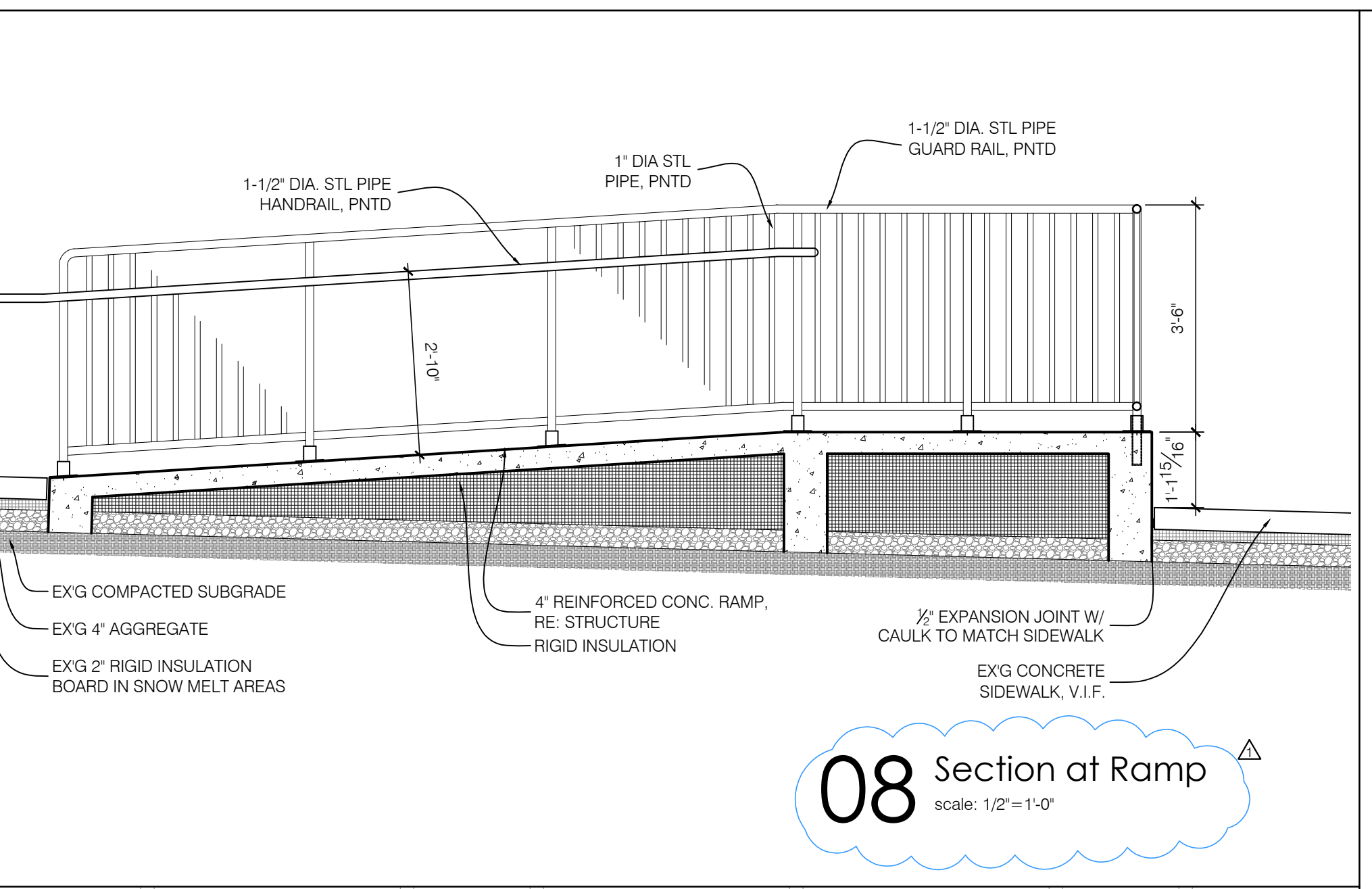
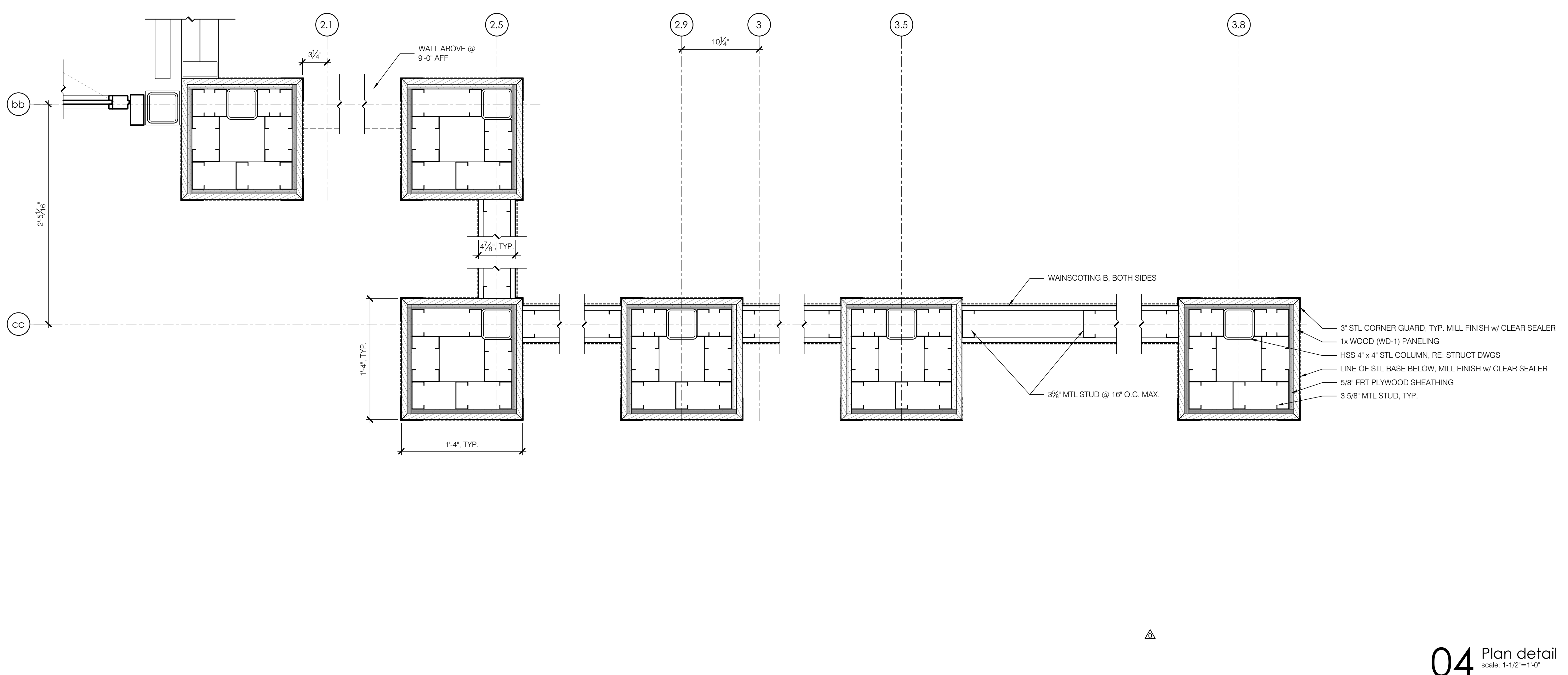
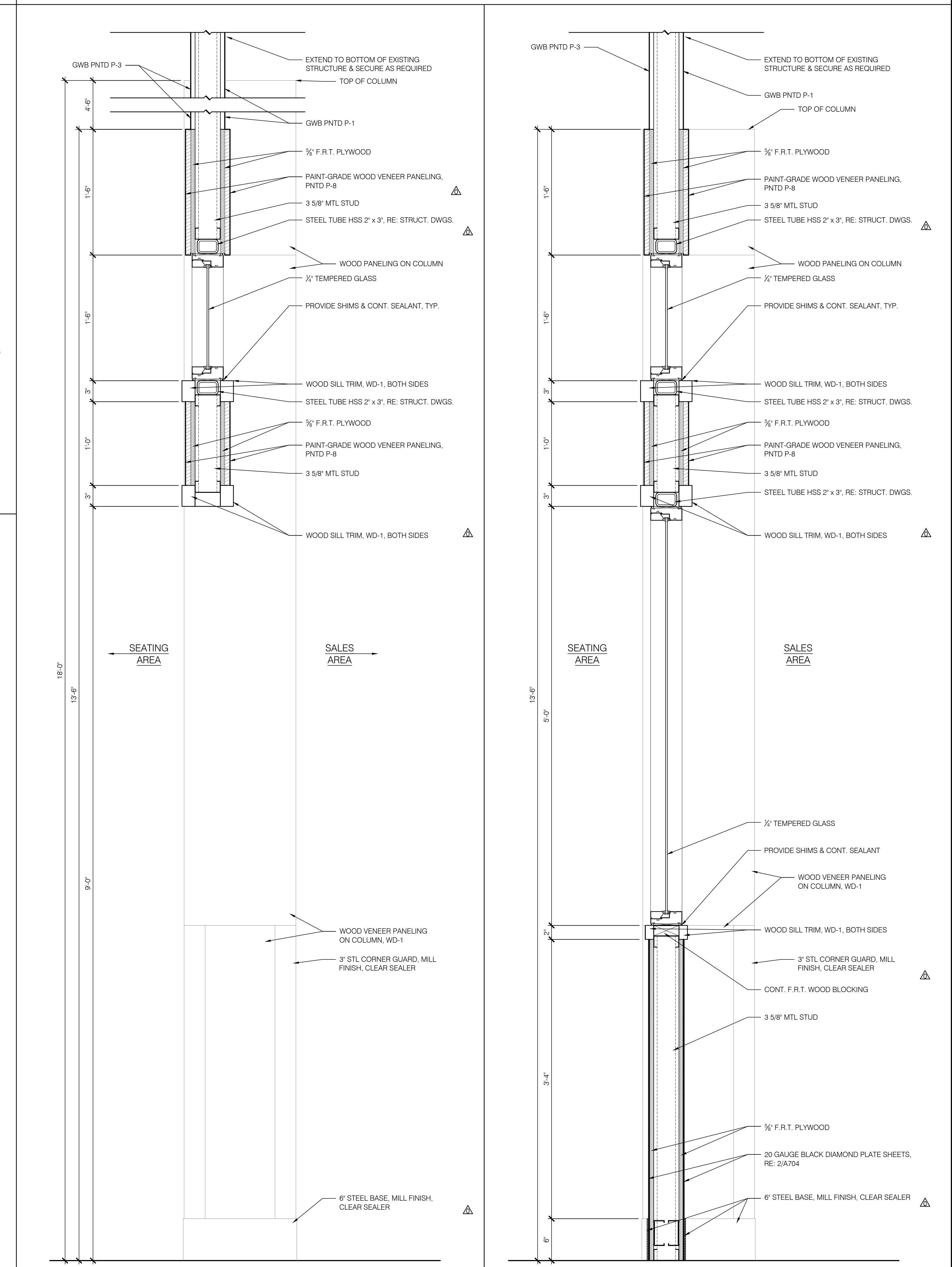
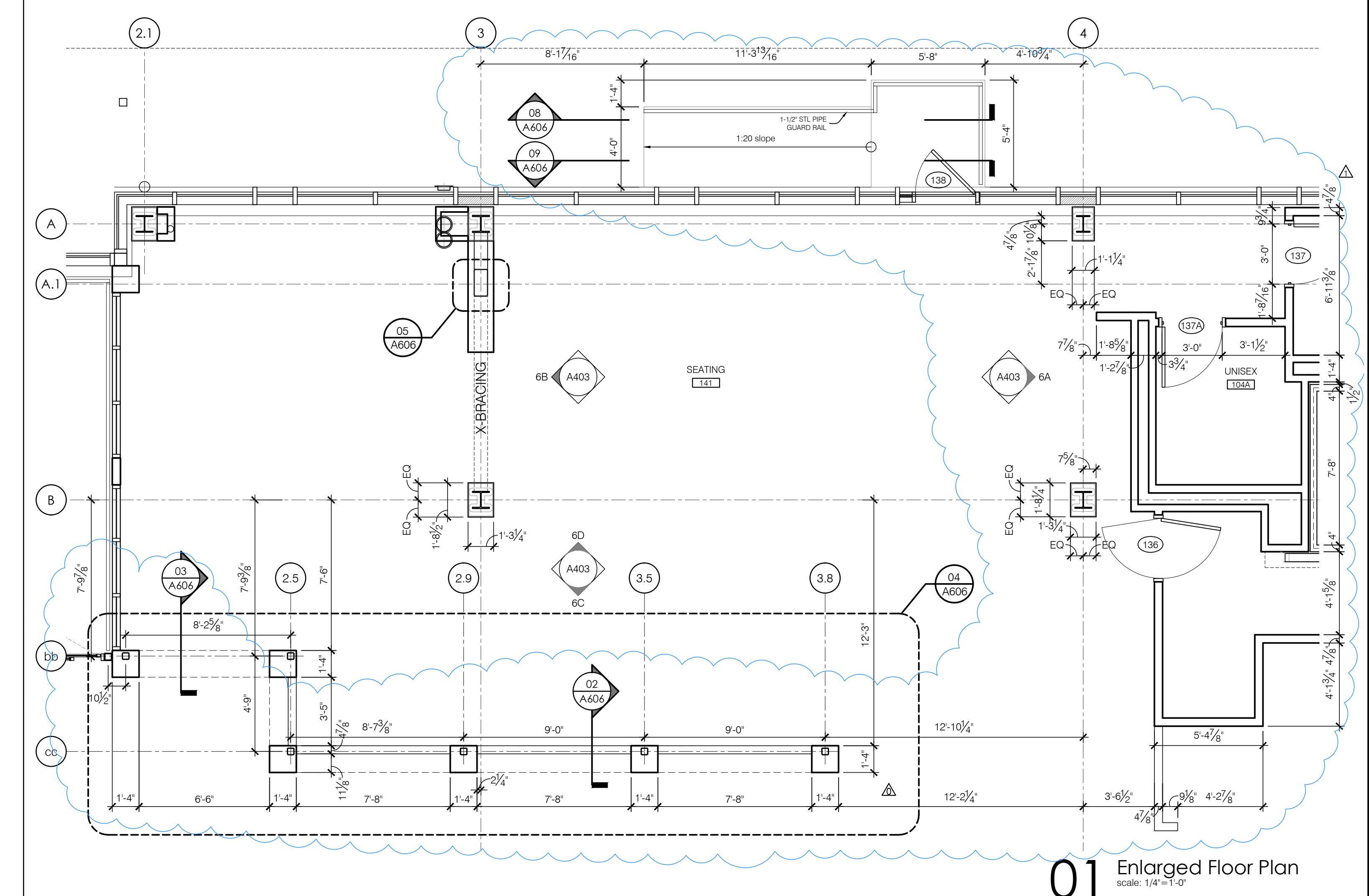
01A SIDEWALK SEATING PLAN - CONT.  
scale: 3/16" = 1'-0"

03 Guardrail Base Detail  
scale: 3/16" = 1'-0"

02 Typ. Guard Rail at Outdoor Seating Area  
scale: 1/2" = 1'-0"

DATE	REVISION
05/10/22	DCM PERMIT

PROJECT NO. 2019-015





# PENN AVENUE

2.1

3

4

4.1

5

28'-3"

30'-0"

30'-0"

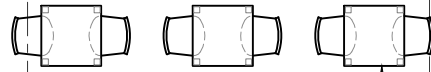
11'-6"

16'-9"

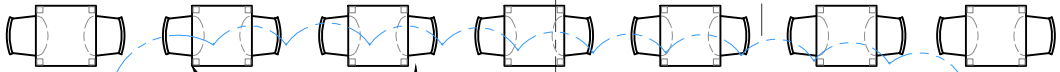
8'-7"

FACE OF CURB

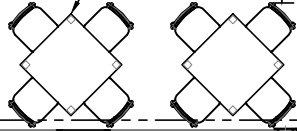
8'-6 1/4"



outdoor seating

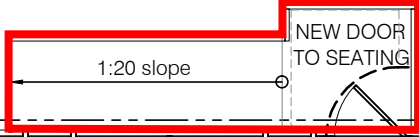


0-627 TYP



0-626 TYP

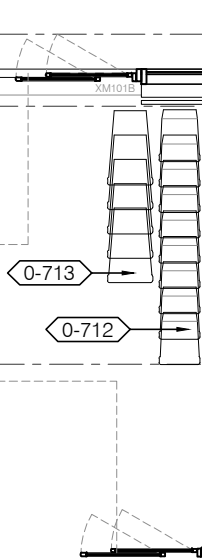
3'-8"



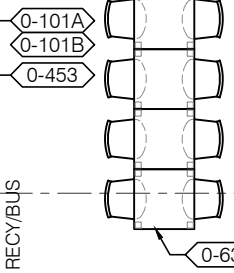
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NEW DOOR TO SEATING

01 RE: 01/010.4 FOR LARGE SCALE PLAN OF PUB / COFFEE BAR  
A010.4



0-454 RECY/BUS

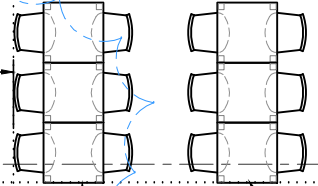


0-101A

0-101B

0-453

0-632

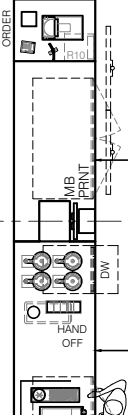


SEATING 141

COUNTER SEATING

60 seats

0-631



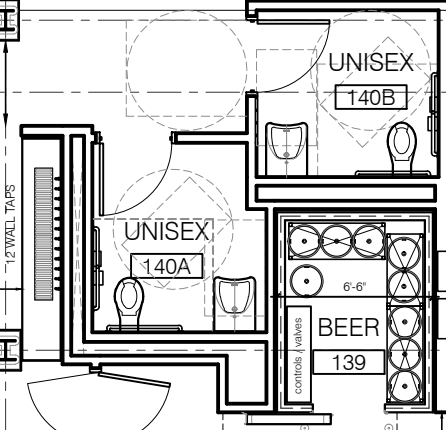
ORDER

MB PRINT

PRINT

DW

HAND OFF



UNISEX 140B

UNISEX 140A

BEER 139

HOOD/ABY

RETHERMAL ROTISS

SMKR

5-118

5-134

5-306A

5-307K

5-307L

5-332D

3'-6 3/4"

1/2 WALL TAPS

4'-0"

3'-0"

3'-5/8"

3'-1/8"

3'-1/4"

3'-1/4"

3'-1/4"

3'-1/4"

3' SLIDER

16-302A MOP SINK

WD

PRHT WALL

5-121

PIZZA OVEN

0-1/4"

EXPEDITING 5' SSWT WARMING SHELF

5 SSSWC

5-309

PRINT

HS

R

OTB

HS

R

HS

R

HS

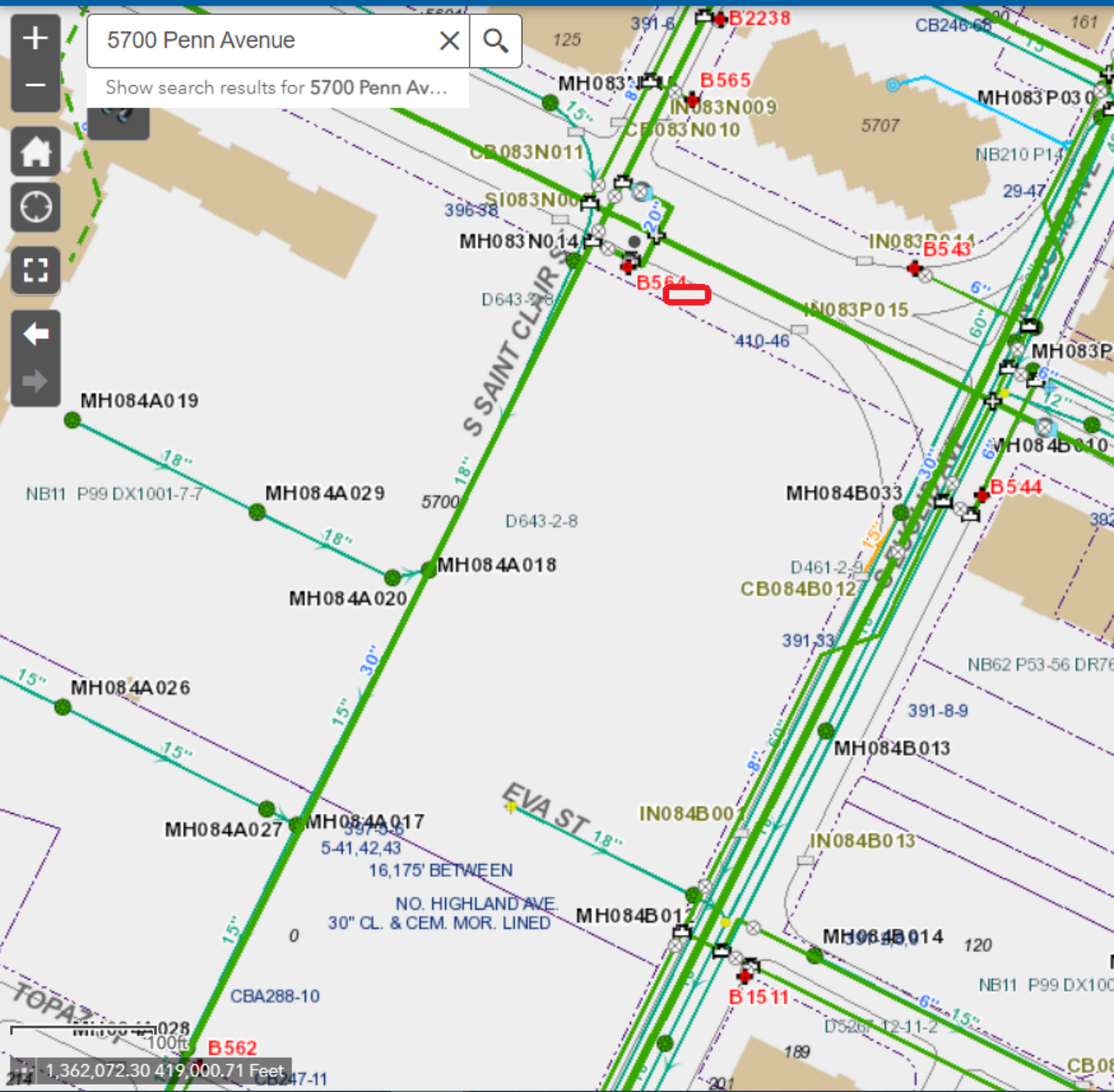
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PRINT

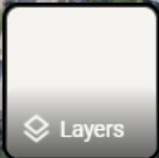
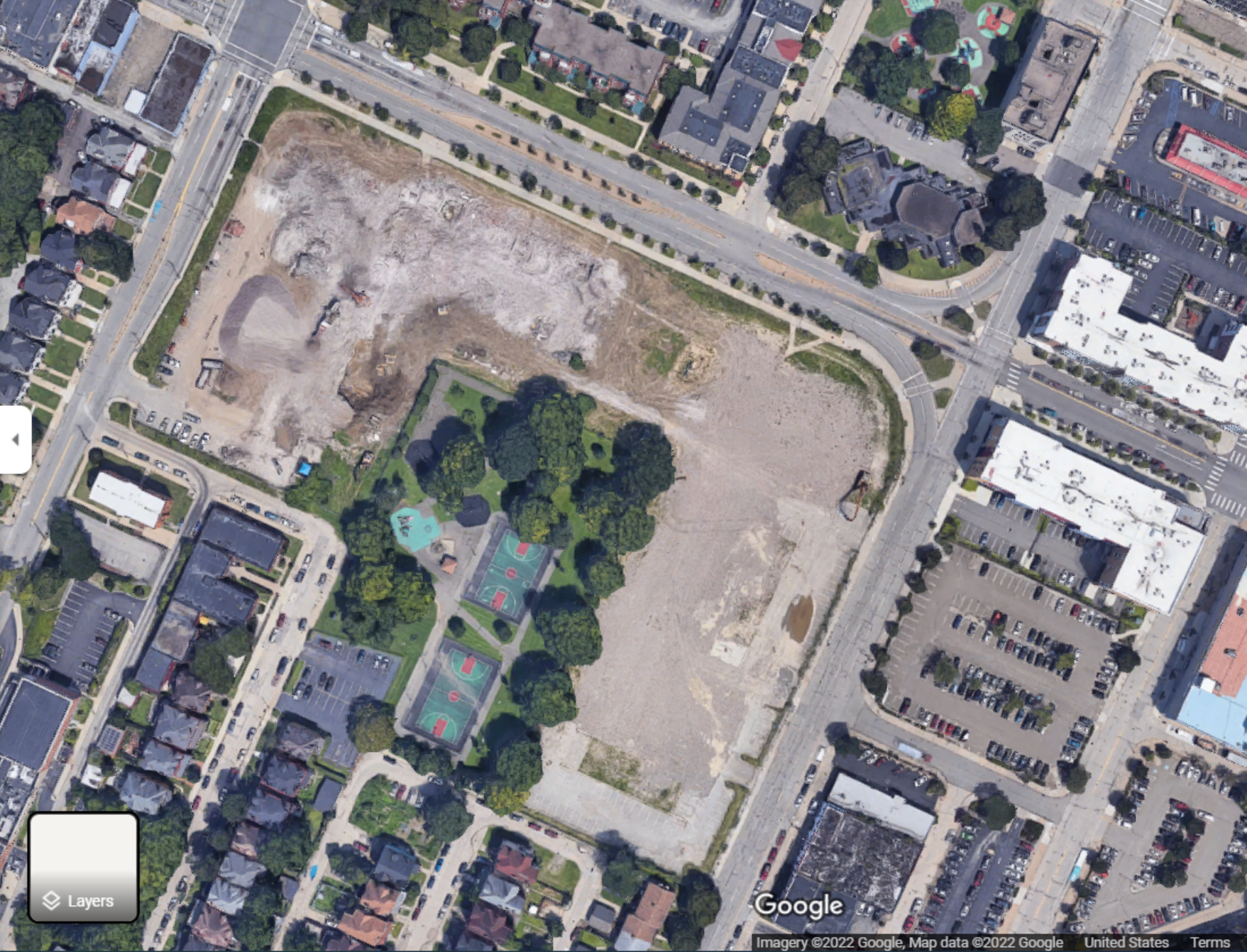


5700 Penn Avenue ✕ 🔍

Show search results for 5700 Penn Av...



Scale bar: 0 to 100 feet  
 Coordinates: 1,362,072.30 419,000.71 Feet



Google

**To:** Kim Lucas, Acting Director of the Department of Mobility and Infrastructure  
**From:** William J. Pickering, PWSA Chief Executive Officer  
**Date:** April 12, 2022  
**Subject:** Proposed Encroachment at 5700 Penn Avenue

The following is in response to the attached 3/10/2022 request regarding the encroachment at 5700 Penn Avenue in the 8th Ward of the City of Pittsburgh.

1. The Water Mapping (attached) indicates that there are no known PWSA waterlines within the area of the proposed encroachment.
2. The Sewer Mapping (attached) indicates that there are no known PWSA sewerlines within the area of the proposed encroachment that will be impacted during construction of project. Please note, PWSA does not maintain records of sewer service laterals and the property owner is responsible for maintenance. We cannot confirm if the private service lateral will be affected.

*PWSA has no objection to the proposed encroachment under the conditions set forth above.*

JAT

Attachment



**Michael Bichsel**  
*Engineering*

469 Hershey Rd, Penn Hills 15235 | Mail Drop PH-TD  
Tel 412-393-2827 | Email: mbichsel@duqlight.com

**VIA EMAIL: [mdischner@mbmcontracting.com](mailto:mdischner@mbmcontracting.com)**

**Re: Pittsburgh DOMI Encroachment Application (Whole Foods, East Liberty, Concrete Ramp)**

Dear Mike Dischner:

Duquesne Light has reviewed this request, and we have no issues. Based on your plans, there is no encroachment on DLC facilities.

This letter is not intended as a full recitation of the facts or a complete review of applicable law. Nothing contained in or omitted from this letter is or shall be deemed to be a limitation, restriction, modification, or waiver of any of Duquesne Light's rights or remedies, either at law or in equity, in connection with any of the matters raised, all of which are expressly reserved.

Sincerely,

**Michael Bichsel**  
*Supervisor, Engineering*  
412.393.2827 (Office)  
[mbichsel@duqlight.com](mailto:mbichsel@duqlight.com)

Duquesne Light Company  
469 Hersey Rd. Penn Hill, PA 15235  
[DuquesneLight.com](http://DuquesneLight.com)



March 4, 2022

Mike Dischner  
MBM Contracting, Inc.  
4999 Old Clairton Road  
Pittsburgh, PA 15236

Dear Mr. Dischner:

As the construction contact for Comcast, I am responding to your inquiry regarding an encroachment at 5700 Penn Avenue, Pittsburgh, PA 15206, in the City of Pittsburgh, as described in your March 3, 2022, inquiry to Comcast.

Comcast has no known conflicts at this location.

Thank you.

*Gene Levi*

Eugene Levi  
Comcast Cable Communications Inc  
Construction / Engineering  
[Eugene\\_Levi@cable.comcast.com](mailto:Eugene_Levi@cable.comcast.com)  
412-996-4188 (c)

Cc: Jennifer M. Cloonan, Director, External & Government Affairs  
Comcast – Keystone Region  
[Jennifer\\_Cloonan@comcast.com](mailto:Jennifer_Cloonan@comcast.com)

