

WILLIAM PEDUTO  
MAYOR



KARINA RICKS  
DIRECTOR

August , 2021

President and Members  
City Council  
City of Pittsburgh

**RE: 3213 PENN AVENUE  
ENCROACHMENT**

Dear President and Members of City Council:

We have a request for an encroachment permit at 3213 Penn Ave in the 6<sup>th</sup> Ward, 7<sup>th</sup> Council District, as shown on the attached plan. A copy of the request is also attached.

3213 PENN LLC, is proposing to install canopies over the residential entrance, as well as the bus stop, to provide shade and protection from the elements. They will be approximately 13 feet high from grade.

Your favorable approval of this proposed Resolution is hereby recommended.

Sincerely,

A handwritten signature in black ink, appearing to be "K. Ricks", written over a horizontal line.

Karina Ricks  
Director

KR:JM  
Attachments


WILLIAM PEDUTO  
MAYOR



KARINA RICKS  
DIRECTOR

## MEMORANDUM

To: Acting-Director Chris Hornstein - Public Works  
Director Sarah Kinter - PLI  
Director Douglas Anderson- Finance  
Anthony Bilan - Law

From: Director Karina Ricks 

CC: Jen Massacci

Date: July 29, 2021

Re: Encroachment Permit

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3213 PENN LLC, is proposing to install canopies over the residential entrance, as well as the bus stop, to provide shade and protection from the elements. They will be approximately 13 feet high from grade.

KR/JM

Attachments

WILLIAM PEDUTO  
MAYOR



KARINA RICKS  
DIRECTOR

CITY OF PITTSBURGH  
**DEPARTMENT OF MOBILITY & INFRASTRUCTURE**  
CITY-COUNTY BUILDING

**Application for an Encroachment on City Dedicated Right-Of-Way**

**Date:** \_June 14, 2021\_\_\_\_\_

**Applicant Name:** \_3213 Penn LLC\_\_\_\_\_

**Property Owner's Name (if different from Applicant):** \_\_\_\_\_

**Address:** \_3700 Butler Street Pittsburgh, PA 15201

**Phone Number:** 724-212-9270 **Alternate Phone Number:** \_412-315-4731\_\_\_\_\_

**Location of Proposed Encroachment:** \_3213 Penn Avenue Pittsburgh, PA 15201

**Ward:** \_6th\_\_\_\_\_ **Council District:** \_\_\_7\_\_\_\_\_ **Lot and Block:** 25-D-61 & 25-D-68

**What is the properties zoning district code:** RIV-IMU (zoning office 255-2241)

**Planning/Zoning Case OneStop Number (if applicable):** ZDR-2020-06481\_\_\_\_\_

**Is the existing right-of-way, a street or a sidewalk?** \_sidewalk\_\_\_\_\_

**Width of Existing Right-of-Way (sidewalk or street):** Penn Ave- 12.3 Ft, 32<sup>nd</sup> St- 9.8 Ft. (Before encroachment)

**Length of Existing Right-of-Way (sidewalk or street):** Penn Ave- 176 Ft, 32<sup>nd</sup> St- 129 Ft. (Before encroachment)

**Width of Proposed Encroachment:** Sidewalk Planter Box- 2 ft, Building Planter Box- 1.5 ft, Bench- 1.9 ft, Bike Rack- 2ft, Canopy- 4.5 ft

**Length of Proposed Encroachment:** Sidewalk Planter Box- 8 ft, Building Planter Box- 10 ft, Bench- 7.9 ft, Bike Rack-6 in, Canopy on Penn- 42 Ft, Canopy on 32<sup>nd</sup>- 39 ft, Bus Stop Canopy- 8 ft

**Number of feet the proposed object will encroach into the ROW:** Sidewalk Planter Box- 2ft, Building Planter Box- 0.7 ft, Bench- 1 ft, Bike Rack- 6 in, Canopy- 4.5 ft

**Description of encroachment:**

- Canopies- We plan on installing canopies over the residential entrance as well as the bus stop to provide shade and protection from the elements.

April 8, 2021

Karina Ricks, Director  
Department of Mobility and Infrastructure  
City County Building  
414 Grant Street  
Pittsburgh, PA 15219

Dear Ms. Ricks,

It is our pleasure to submit this letter of intent with our encroachment permit applications for our project located at 3213 Penn Avenue in the Strip District. The project will redevelop what is now an automotive service station at the corner of Penn Avenue and 32nd Street into a six-story, boutique 112-unit apartment building. We hope to liven up this stretch of Penn Avenue between Doughboy Square and the Strip District proper with good design to heighten the pedestrian experience. The residential entrance will be located on Penn Avenue with the vehicle garage entrances on 32<sup>nd</sup> Street and Mulberry Way.

Along with 112 units, we will provide 44 parking spaces onsite. Also, included in the project is a secure bike parking room for tenants. We are planning to start construction in June of 2021 with an estimated duration of 14 months.

**We plan on enhancing the pedestrian experience in this corridor by incorporating these design elements into our project:**

- *Canopies*- We plan on installing canopies over the residential entrance to provide shade and protection from the elements.
- *Planters*- So as to not block the site lines of the intersection, we plan on providing planters in lieu of street trees in those locations.
- *Benches*- There is an existing bus stop that will be decommissioned during construction but will reopen once the building is complete. We will provide benches with canopies to enhance the usability of this stop.
- *Bike Racks*- Tenants will have access to a secure indoor bike parking room; however, we are providing exterior bike parking for visitors.

The project will invigorate this area of the Strip District, providing a vital link from Lawrenceville to the Strip District proper. We chose this location due to its walkability, close proximity to 4 major bus lines, and bicycle infrastructure. We believe these encroachments will enhance the pedestrian experience and encourage the use of public transportation options, walking, and cycling to activate the streetscape.

Sincerely,

Shawn Kichline  
Oxide Real Estate Development

NOTE: ALL SIGNATURES MUST BE MADE WITH A BLUE FELT TIP INK PEN!

BL: 25-D-61 & 25-D-68

3213 PENN, LLC, a limited liability company formed in the State of Pennsylvania, owner of the land shown on THE 3213 PENN PLAN, is hereby dedicating to the City of Pittsburgh, PA, the easements and interests therein shown on the property identified for dedication on the plan to the City of Pittsburgh. This adoption and dedication shall be binding upon our heirs, executors, and assigns.

IN WITNESS WHEREOF, I, the undersigned, have set our hand and seal this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

ATTEST:

Natary Public: SHAWNA KICHLINE

Before me, the undersigned Natary Public in and for the Commonwealth of Pennsylvania and County of Allegheny, personally appeared the above named SHAWNA KICHLINE, agent for 3213 PENN, LLC, who acknowledged the foregoing adoption and dedication to be the act of the company.

Witness my hand and notarial seal this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

My commission expires the \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

I hereby certify that the title to the property contained in THE 3213 PENN PLAN of LOTS is in the name of 3213 PENN, LLC and is recorded in deed book volume 18303, page 106. I further certify that there is no mortgage, lien or other encumbrance against this property.

Witness: SHAWNA KICHLINE

Lee A. Tait, PLS  
Reg. No. SJ-05571-E

I, LEE A. TAIT, certify that, to the best of my information, knowledge and belief the survey and plan shown hereon are correct and accurate to the standards required.

04/05/2021

Date

Recorded in the Department of Real Estate of the County of Allegheny, Commonwealth of Pennsylvania, in Plan Book Volume \_\_\_\_\_ Page(s) \_\_\_\_\_.

Given under my hand and seal this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Manager, Dept. of Real Estate



- Legend**
- ELECTRIC LINE
  - GAS LINE
  - WATER LINE
  - WATER SENSER
  - STORM SENSER
  - OVERHEAD UTILITIES
  - CHAINLINK FENCE
  - MAJOR CONTIGUES (2')
  - MAJOR CONTIGUES (10')
  - GAS VALVE
  - WATER VALVE
  - CATCH BASIN
  - FIRE HYDRANT
  - H.Y.D.
  - MONITORING WELL
  - MANHOLE
  - CURB INLET
  - UTILITY BOX
  - SANITARY MANHOLE
  - TELEPHONE POLE
  - LIGHT POST (STANDARD)
  - PIPE BOLLARD

- BELL
- MH
- UB
- SAN
- POLE
- LIGHT POST (STANDARD)
- LT
- PIPE BOLLARD

**Notes**

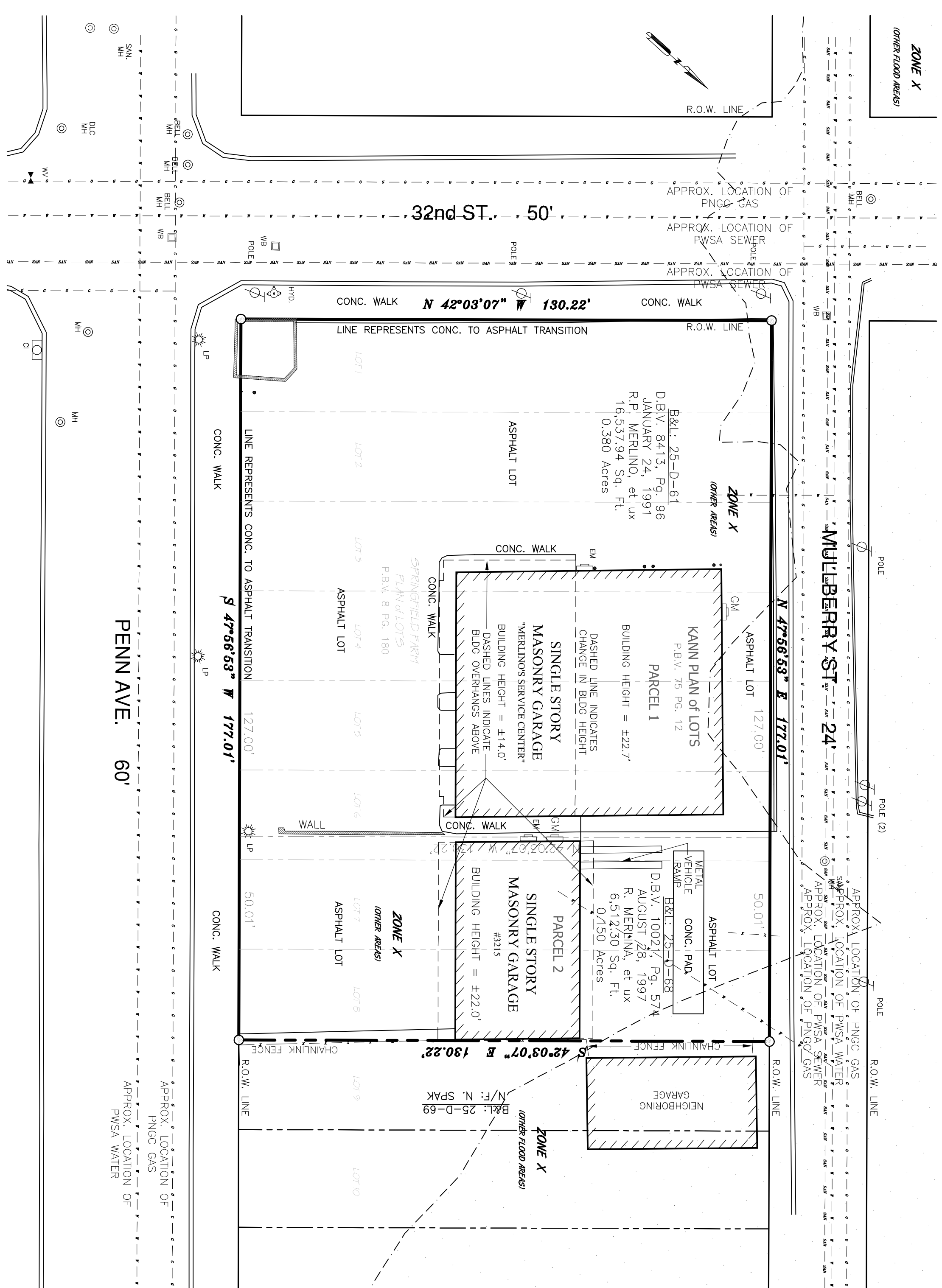
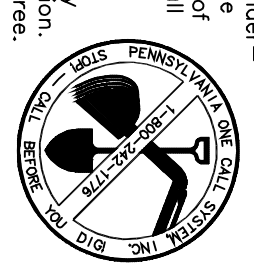
1. Declaration is made to the original purchaser of the survey. It is not transferable to additional institutions or subsequent owners. Copies of this plan without an impression seal are void and are for reference only.
2. Not all utility companies have responded to placement of PA One Call. Additional utilities may exist. All shown utilities are from previous mapping and must be considered approximate.
3. Property subject to any issues that may be revealed by a current and complete the report.
4. Subject property currently being Parcel 1 & Parcel 2 in the Kann Plan of Lots.

Underground utilities have been plotted from available information and the locations must be considered approximate. Other underground utilities may exist. The contractor is responsible for the placement of utility lines prior to the time of construction. In no way shall the contractor hold the surveyor responsible for any utility locations shown or not shown on this plan.

Pennsylvania legislation, act 38, requires notification to utility companies prior to any digging, drilling, blasting, or excavation. For location requests in the state of Pennsylvania call toll free:

1-800-242-1776

S/N: 20200092499

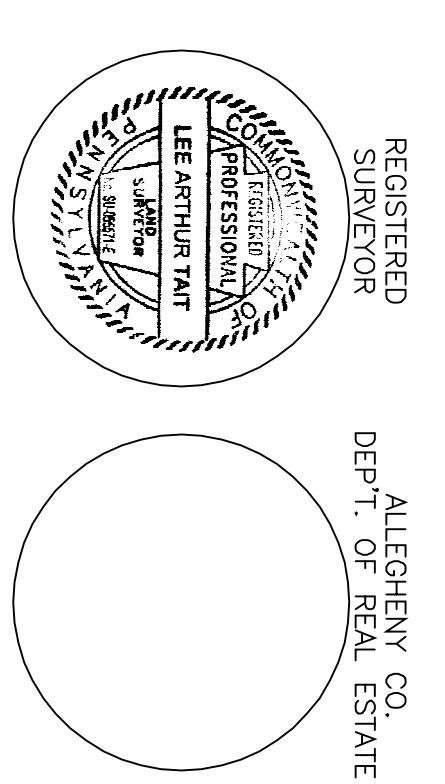


**RIV-JMU RIVERVIEW DISTRICT**  
**INDUSTRIAL MIXED-USE SUBDISTRICT**

The Riv-JMU Industrial Mixed-Use Subdistrict is intended to address areas of the riverfront that are diversifying from their original, strictly industrial nature. It accommodates a variety of higher intensity uses, including light industrial, commercial, and high density residential development. The Riv-JMU Subdistrict also intends to address industrial areas that are transitioning to higher density and technology-oriented industries.

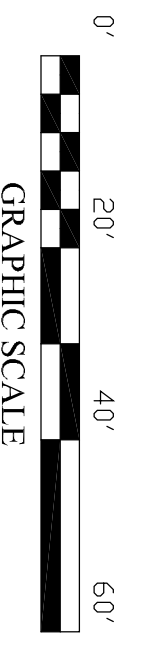
\* See Chapter 905 - Special Purpose Districts, (602.000), (602.001) of City of Pittsburgh zoning code for complete zoning regulations.

\*Areas of minimal flood hazard damage  
FLOOD INFORMATION BASED ON FLOOD INSURANCE RATE MAP 420202353N, WITH A REVISED DATE OF SEPTEMBER 26, 2014.



REGISTERED SURVEYOR  
ALLEGHENY CO.  
DEPT. OF REAL ESTATE

**TOTAL PLAN AREA**  
23,050.24 Sq. Feet  
0.529 Acres



GRAPHC SCALE

SITE ADDRESS:  
25-D-61  
25-D-68  
PITTSBURGH, PA 15201

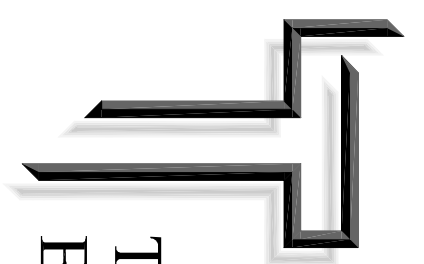
25-D-68  
3213 PENN AVENUE  
PITTSBURGH, PA 15201

SURVEYOR:  
TAIT ENGINEERING, INC.  
PITTSBURGH, PA 15229  
412.364.6090

**THE 3213 PENN PLAN of LOTS**  
BEING A CONSOLIDATION OF ALLEGHENY COUNTY  
BLOCK & LOT PARCELS 25-D-61 & 25-D-68  
SITUATE IN  
**6th WARD, CITY of PITTSBURGH**  
**ALLEGHENY COUNTY, PA.**  
MADE FOR  
**OXIDE REAL ESTATE DEVELOPMENT**

LOT AREA TABULATION	
25-D-61 16,230.24 Sq. Feet 0.370 Acres	25-D-68 6,819.99 Sq. Feet 0.159 Acres
TOTAL 23,050.24 Sq. Feet 0.529 Acres	

Date: March 31, 2021  
Scale: 1"=50'  
Drawn By: CSA  
Reviewed By: LMT  
File Number: 36179  
CAD File: 210057  
Revisions: 04/05/2021



908 Perry Highway  
Pittsburgh, Pennsylvania 15229  
tel: 412.364.6090  
fax: 412.364.6716  
e: taiteng@taiteengineering.net

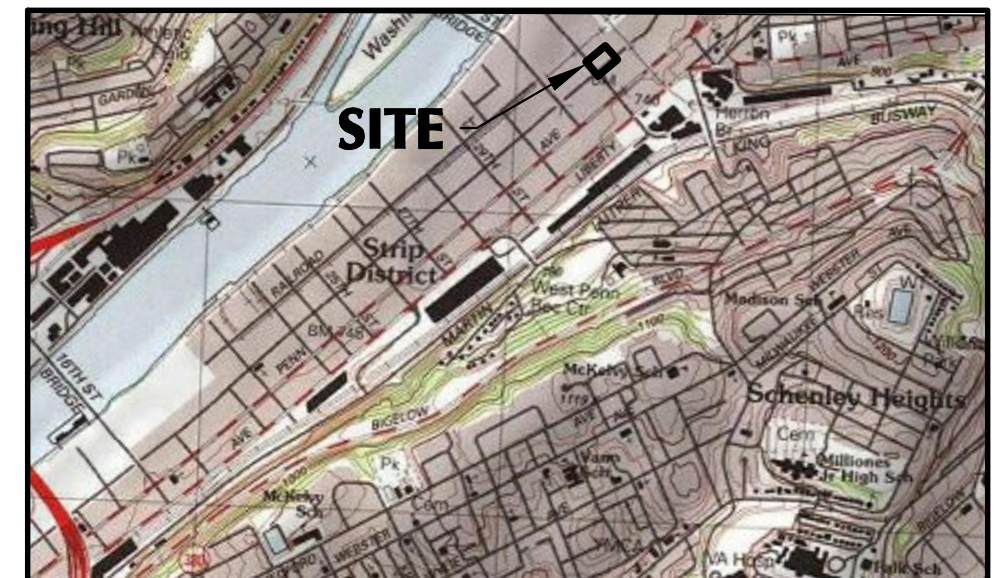
CITY OF PITTSBURGH  
DEPARTMENT OF CITY PLANNING

APPROVED:  
CITY PLANNING COMMISSION

CHARIRMAN

SECRETARY

ATTEST:



**PROJECT LOCATION MAP**

SCALE: 1"=2000'

USGS PITTSBURGH EAST QUADRANGLE

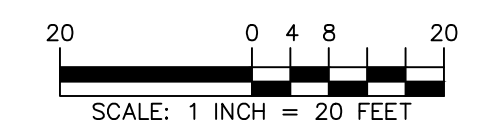
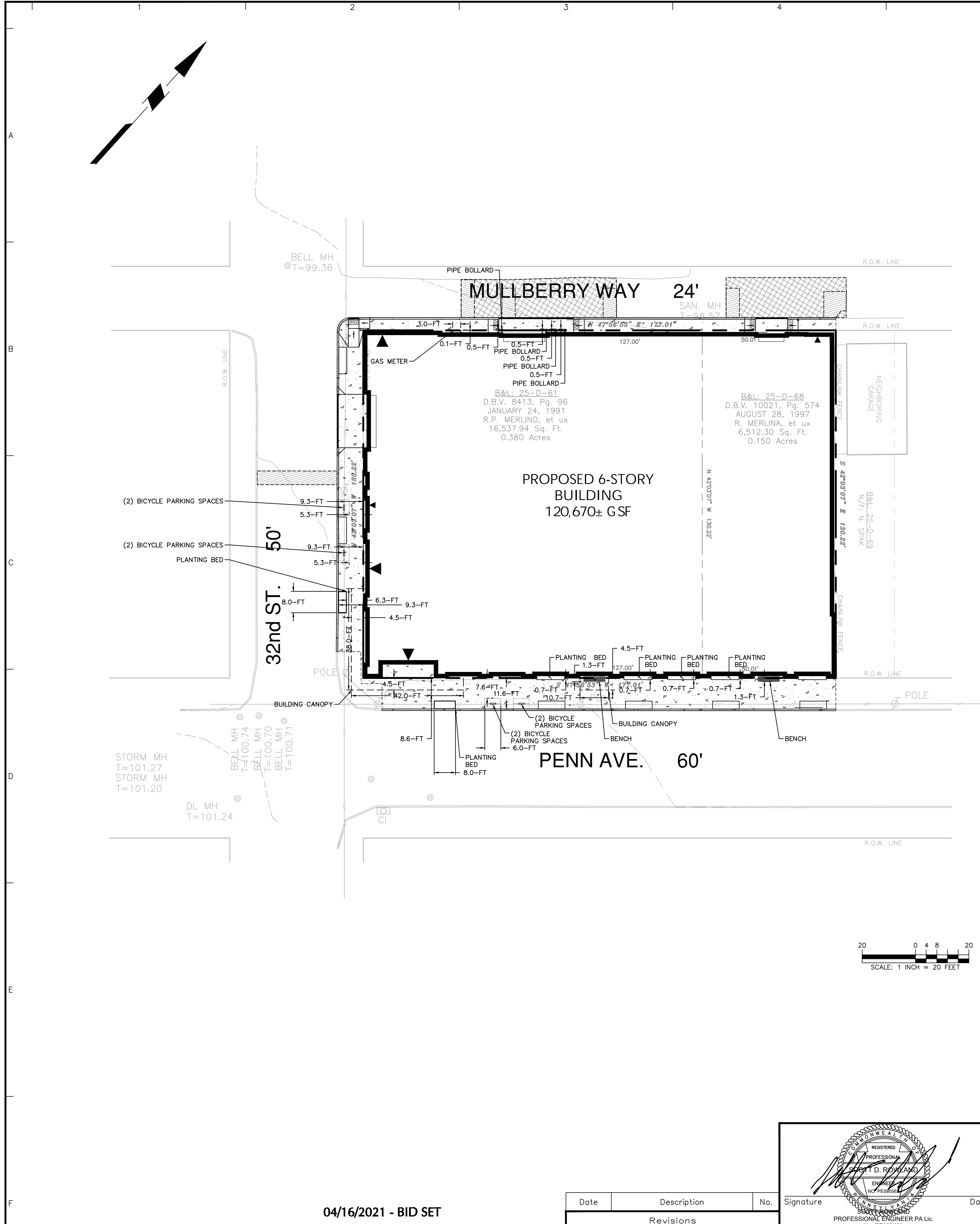
**GENERAL NOTES**

- EXISTING BOUNDARY AND TOPOGRAPHY IS BASED ON A SURVEY DRAWING TITLED "PLAN OF TOPOGRAPHY, SITUATE IN 6TH WARD, CITY OF PITTSBURGH, ALLEGHENY COUNTY, PA. MADE FOR OXIDE REAL ESTATE DEVELOPMENT 3213 & 3215 PENN AVENUE, FILE NUMBERED "36179", DRAFTED BY TAIT ENGINEERING, INC. DATED JUNE 22, 2020, AND LAST REVISED SEPTEMBER 21, 2020. THE SURVEYOR OF RECORD IS RESPONSIBLE FOR THE ACCURACY OF EXISTING CONDITIONS WHICH THE DESIGN AND PERMITTING ACTIVITIES WILL BE BASED UPON.
- THESE PLANS REPRESENT THE OVERALL SITEWORK IMPROVEMENTS REQUIRED FOR PROJECT CONSTRUCTION. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL MAKE ADDITIONAL TOPOGRAPHIC SURVEYS HE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
- THE CONTRACTOR SHALL, WHEN THEY DEEM NECESSARY, PROVIDE WRITTEN REQUESTS FOR INFORMATION (RFIS) TO THE OWNER AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE RFI SHALL BE IN A FORM ACCEPTABLE TO OWNER AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF TWO WORK DAYS OR ADDITIONAL REASONABLE TIME FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
- INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO CONSTRUCTION. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO CONSTRUCTION.
- STREET PAVEMENT AFFECTED BY TRENCHING, CURB REMOVAL OR OTHER CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO ITS ORIGINAL AND PROPER CONDITION. ALL WORK PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY AND ALL RESTORATION OF STREET PAVEMENTS SHALL ABIDE BY THE POLICIES SET FORTH BY THE LOCAL MUNICIPALITY.
- THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
- SEE LANDSCAPE DOCUMENTS FOR MATERIALS UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL COORDINATE RELOCATION OF EXISTING STRUCTURES WITH THE OWNER OF EACH STRUCTURE PRIOR TO RELOCATION WORK COMMENCING
- THESE PLANS ARE SUBJECT TO CHANGE PENDING THE FOLLOWING REGULATORY AGENCY REVIEW AND APPROVAL
  - PENNSYLVANIA DEP
  - ALLEGHENY COUNTY HEALTH DEPARTMENT
  - ALLEGHENY COUNTY CONSERVATION DISTRICT
  - MUNICIPAL ZONING REVIEW
  - PITTSBURGH WATER & SEWER AUTHORITY

PITTSBURGH CITY ZONING TABLE - 3213-3215 PENN AVENUE		
LOTS 25-D-61 & 25-D-68		
ZONING DISTRICT: RIV-IMU: Riverfront Industrial Mixed Use District (1)		
<b>SITE</b>	<b>ITEM</b>	<b>PERMITTED/REQUIRED</b>
<b>LAND USE:</b>	MULTI-UNIT RESIDENTIAL	MULTI-UNIT RESIDENTIAL
	MINIMUM LOT SIZE	0 AC
<b>BUILDING</b>	BUILDING SETBACKS:	
	MIN. EXTERIOR/INTERIOR SIDE	0 FT
	MIN. REAR (COMMERCIAL)	0 FT
MIN. FRONT	0 FT	
<b>PARKING AND ACCESS (2)</b>	CAR PARKING SPACE SIZE:	
	STANDARD (MIN.):	8.5 FT x 19 FT
	COMPACT:	7.5 FT x 16.5 FT
	CAR PARKING SPACES:	41 SPACES
	MIN. NUMBER OF OFF-STREET SPACES	50% OF 1 SPACE PER UNIT = 58 SPACES
BICYCLE REDUCTION	1 SPACE/BICYCLE UP TO 30% OF THE TOTAL REQUIRED SPACES = 17 SPACES	
MIN. NUMBER OF HANDICAPPED SPACES	2 SPACES	
MIN. BICYCLE PARKING SPACES	1 PER EVERY 3 UNITS = 38 SPACES	
LOADING AREAS:		
MULTI-UNIT RESIDENTIAL	2 SPACES (120,001 to 160,000 SF)	2 SPACES (INTERNAL)
<b>NOTES</b>	(1) ALL DATA REFERENCED FROM PITTSBURGH ZONING CODE (2) PARKING SPACES, BICYCLE PARKING, AND LOADING AREAS INTERNAL TO PROPOSED STRUCTURE. REFER TO ARCHITECTURAL FIRST FLOOR AND PARKING GARAGE PLANS	

BIKE PARKING LOCATION TABLE	
LOCATION	COUNT
EXTERNAL - PENN AVENUE	4
EXTERNAL - 32ND STREET	4
INTERNAL (PROTECTED)	30
<b>TOTAL</b>	<b>38</b>

	LEGEND	
	EXISTING	PROPOSED
PROPERTY LINE	---	---
YARD SETBACK LINE	---	---
BUILDING	▨	▨
BUILDING DOOR		▼
DEPRESSED CURB	---	---
CURB LINE	---	---
SIGN	⊕	⊕
UTILITY POLE	⊕	⊕
DETECTABLE WARNING STRIP		▨
RADIUS (IN FEET)		R15
CONCRETE PAVEMENT		▨
ASPHALT PAVEMENT - FULL DEPTH		▨
ASPHALT PAVEMENT - OVERLAY		▨
ACCESSIBLE RAMP		▨



04/16/2021 - BID SET

Date	Description	No.
Revisions		

Scott D. Rowland  
 PROFESSIONAL ENGINEER PA Lic.  
 No. PE090563

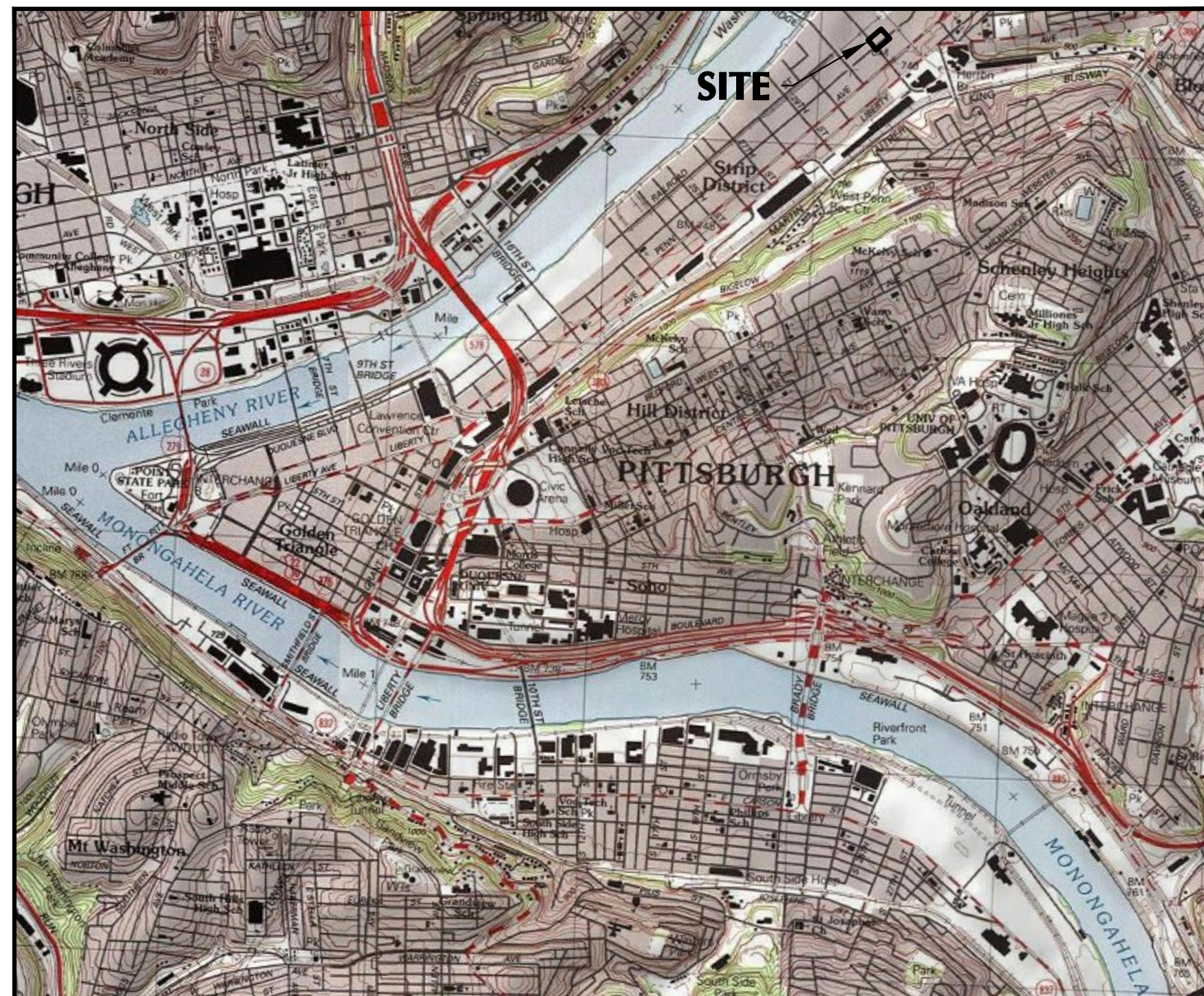
**LANGAN**  
 Langan Engineering and Environmental Services, Inc.  
 2400 Ansys Drive, Suite 403  
 Canonsburg, PA 15317  
 T: 724.514.5100 F: 724.514.5101 www.langan.com

Project  
**3213-3215 PENN AVENUE**  
 PN: 25-D-61 & 25-D-68  
 PITTSBURGH  
 ALLEGHENY COUNTY PENNSYLVANIA

Drawing Title  
**ENCROACHMENT FIGURE**

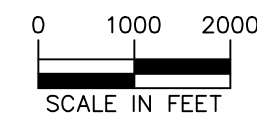
Project No.	250107301	Drawing No.	1
Date	APRIL 19, 2021	Drawn By	RSG
Checked By	BDH		

# PLAN APPROVAL DRAWINGS FOR 3213-3215 PENN AVENUE 3213 PENN AVENUE CITY OF PITTSBURGH, ALLEGHENY COUNTY, PENNSYLVANIA



**PROJECT LOCATION MAP**

SCALE: 1" = 2000'



NOTES:  
PROJECT SITE IS LOCATED IN CENSUS TRACT 203, ALLEGHENY COUNTY, PENNSYLVANIA  
SOURCE: USGS PITTSBURGH EAST TOPOGRAPHIC QUADRANGLE

**DECLARATION OF RESPONSIBLE CHARGE**

I HEREBY DECLARE THAT I AM THE SITE/CIVIL ENGINEER OF RECORD FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE SITE/CIVIL DESIGN OF THE PROJECT, AND THAT THE SITE/CIVIL DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF PITTSBURGH IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS SITE/CIVIL ENGINEER OF RECORD, OF MY RESPONSIBILITIES FOR SITE/CIVIL PROJECT DESIGN.

DATE \_\_\_\_\_ LICENSE NO. \_\_\_\_\_ SIGNATURE \_\_\_\_\_

**LANGAN CIVIL DRAWINGS**

NUMBER	TITLE	DATE	LAST REVISED
CS001	SITE COVER SHEET	MARCH 26, 2021	--
CD101	DEMOLITION PLAN	JANUARY 29, 2021	MARCH 25, 2021
CS101	SITE PLAN	JANUARY 29, 2021	MARCH 25, 2021
CG101	GRADING PLAN	JANUARY 29, 2021	MARCH 25, 2021
CG102	POST-CONSTRUCTION MANAGEMENT PLAN	AUGUST 19, 2020	MARCH 25, 2021
CG201	CURB PROFILES	JANUARY 29, 2021	MARCH 25, 2021
CU101	UTILITY PLAN	JANUARY 29, 2021	MARCH 25, 2021
CS501	SITE DETAILS	JANUARY 29, 2021	MARCH 25, 2021
CS502	SITE DETAILS	JANUARY 29, 2021	MARCH 25, 2021
CS503	SITE DETAILS	JANUARY 29, 2021	MARCH 25, 2021
CS504	SITE DETAILS	JANUARY 29, 2021	MARCH 25, 2021
LP101	LANDSCAPE PLAN	MARCH 8, 2021	MARCH 25, 2021
LP501	LANDSCAPE DETAILS	MARCH 8, 2021	MARCH 25, 2021

**SURVEY DRAWINGS BY OTHERS**

NUMBER	TITLE	DATE	LAST REVISED
--	PLAN OF TOPOGRAPHY	JUNE 22, 2020	JUNE 22, 2020

**OWNER**

3213 PENN LLC  
421 W State Street  
Columbus, OH 43215  
Tel: 412.315.4731  
**CONTACT:**  
Shawn Kichline, Principal / Founder  
skichline@oxforddev.com

**ARCHITECT**

NAME: INDOVINA ASSOCIATES ARCHITECTS  
3185 PENN AVENUE  
PITTSBURGH, PA 15201  
Office: 412.363.3800  
Direct: 412.745.4227  
Fax: 412.248.4185  
**CONTACT:**  
Ryan D. Indovina  
rdi@indovina.net

**SITE INFORMATION**

ADDRESS: 3213 PENN AVENUE  
PITTSBURGH, PA 15201  
  
LOT AREA: 23,100 SQ. FT, 0.53 AC  
PN: 25-D-61 AND 25-D-68

**CIVIL/TRAFFIC ENGINEER**

LANGAN ENGINEERING &  
ENVIRONMENTAL SERVICES, INC.  
2400 Ansys Drive, Suite 403  
Canonsburg, Pennsylvania 15317  
Tel: 724.514.5100  
Fax: 724.514.5101  
**CONTACT:**  
Scott Rowland  
srowland@Langan.com

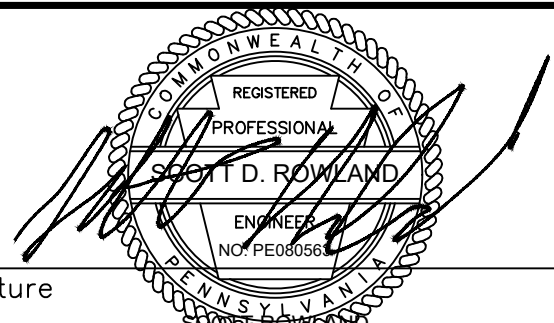
**SURVEYOR**

TAIT ENGINEERING, Inc.  
908 Perry Highway  
Pittsburgh, Pennsylvania 15229  
Tel: 412.364.6090  
**CONTACT:**  
Lee A. Tait, PLS  
taiteng@taitengineering.net

**CITY OF PITTSBURGH**

MUNICIPAL TRAFFIC ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
CHIEF ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
DIRECTOR OF DOMI \_\_\_\_\_ DATE \_\_\_\_\_

Date	Description	No.
Revisions		

  
 Scott D. Rowland  
 PROFESSIONAL ENGINEER PA Lic.  
 No. PE090563

**LANGAN**  
 Langan Engineering and  
 Environmental Services, Inc.  
 2400 Ansys Drive, Suite 403  
 Canonsburg, PA 15317  
 T: 724.514.5100 F: 724.514.5101 www.langan.com

Project  
**3213-3215 PENN AVENUE**  
 PITTSBURGH  
 ALLEGHENY COUNTY PENNSYLVANIA

Drawing Title  
**COVER SHEET**

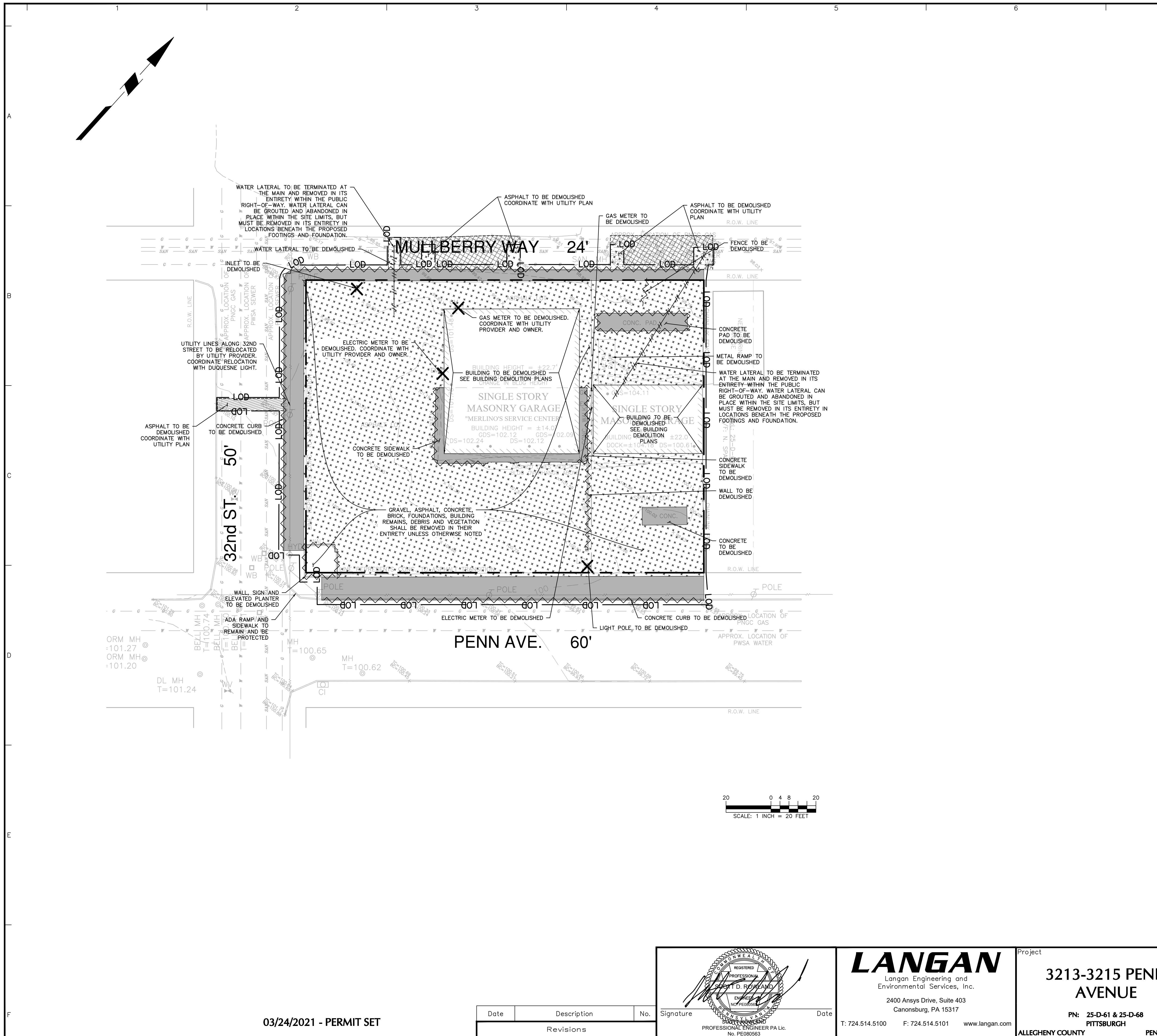
Project No. <b>250107301</b>	<b>CS001</b>
Date <b>MARCH 16, 2021</b>	
Drawn By <b>AXJ</b>	
Checked By <b>BDH</b>	

# SITE DEMOLITION NOTES

- EXISTING BOUNDARY AND TOPOGRAPHY IS BASED ON A SURVEY DRAWING TITLED "ALTA/NSPS LAND TITLE SURVEY, SITUATE IN 6TH WARD, CITY OF PITTSBURGH, ALLEGHENY COUNTY, PA." MADE FOR OXIDE REAL ESTATE DEVELOPMENT 3213 & 3215 PENN AVENUE, FILE NUMBERED "36179", DRAFTED BY TAIT ENGINEERING, INC., DATED JANUARY 2, 2020. THE SURVEYOR OF RECORD IS RESPONSIBLE FOR THE ACCURACY OF EXISTING CONDITIONS WHICH THE DESIGN AND PERMITTING ACTIVITIES WILL BE BASED UPON.
- BACKFILLING SHALL BE DONE IN 8-INCH THICK MAXIMUM LOOSE LIFTS. EACH LIFT SHALL BE COMPACTED TO OBTAIN A MINIMUM OF 95% OF THE SOIL'S MAXIMUM DENSITY AS DETERMINED BY ASTM D1557. MODIFIED PROCTOR METHOD.
- AFTER EXISTING UTILITY ABANDONMENT, THE AREA OF CONSTRUCTION SHOULD BE BROUGHT TO THE REQUIRED SUBGRADE LEVEL. WHERE EXCAVATION IS REQUIRED, THE AREA SHOULD BE PROOF-ROLLED (AFTER CUTTING TO THE REQUIRED GRADE LEVEL). SHOULD ANY SOFT OR OTHERWISE UNSUITABLE CONDITIONS BE OBSERVED, THE MATERIAL SHOULD BE REMOVED AND REPLACED WITH APPROVED PROPERLY COMPACTED FILL. IN ADDITION THE SUBGRADE SOIL SHOULD BE COMPACTED TO OBTAIN A MINIMUM OF 95% OF THE SOIL'S MAXIMUM DENSITY AS DETERMINED BY ASTM D1557 MODIFIED PROCTOR METHOD.
- OFF SITE FILL MATERIAL, IF REQUIRED, SHOULD CONSIST OF WELL GRADED SAND AND/OR GRAVEL HAVING NOT MORE THAN 15% BY DRY WEIGHT PASSING THE NO. 200 SIEVE. ALL IMPORTED FILL SHOULD BE FREE OF ORGANICS AND OTHER DELETERIOUS MATERIALS, AND SHOULD HAVE A MAXIMUM PARTICLE SIZE OF NO GREATER THAN 3 INCHES. ANY IMPORTED FILL PROPOSED FOR USE AT THE SITE SHOULD BE FREE OF ALL HAZARDOUS OR REGULATED SUBSTANCES. THE CONTRACTOR SHOULD PROVIDE DOCUMENTATION OF COMPLIANCE PRIOR TO DELIVERY OF ANY FILL TO THE SITE. GRAIN-SIZE DISTRIBUTION, MAXIMUM DRY DENSITY AND THE OPTIMUM MOISTURE CONTENT DETERMINATIONS SHOULD BE MADE ON RESPECTIVE SAMPLES OF THE BACKFILL MATERIALS PROPOSED BY THE CONTRACTOR.
- THESE PLANS REPRESENT THE OVERALL DEMOLITION REQUIRED FOR PROJECT CONSTRUCTION. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITE WORK CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
- AT LEAST SEVEN DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES (INCLUDING DEMOLITION), THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE SOIL EROSION AND SEDIMENT CONTROL PREPARER, AND A REPRESENTATIVE FROM THE ALLEGHENY COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING.
- THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER MAKES NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY AVAILABLE INFORMATION WHICH WAS OBTAINED DURING INVESTIGATION. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL MAKE ADDITIONAL TOPOGRAPHIC SURVEYS HE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
- ANY UTILITY SERVICES NOT REUSED SHALL BE TERMINATED OR CUT/CAPPED PER UTILITY AND REGULATORY REQUIREMENTS.
- THE CONTRACTOR SHALL, WHEN THEY DEEM NECESSARY, PROVIDE WRITTEN REQUESTS FOR INFORMATION (RFIS) TO THE OWNER AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITE WORK ITEM. THE RFI SHALL BE IN A FORM ACCEPTABLE TO OWNER AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF TWO WORK DAYS OR ADDITIONAL REASONABLE TIME FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE WORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
- INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL THOROUGHLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO CONSTRUCTION. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO CONSTRUCTION.
- THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
- IF FOUND, ALL EXISTING WELLS SHALL BE PROPERLY ABANDONED AND SEALED BY A LICENSED WELL CONTRACTOR.
- ALL CONSTRUCTION AND DEMOLITION DEBRIS GENERATED BY THIS PROJECT SHALL BE PROPERLY DISPOSED OF AT AN ACCEPTABLE OFF-SITE FACILITY IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- THE CONTRACTOR SHALL COORDINATE WITH THE MUNICIPALITY AND/OR PENNDOT, AND OBTAIN ALL NECESSARY PERMITS AND CERTIFICATES ASSOCIATED WITH ROAD CLOSURES IF REQUIRED.
- IF ANY UTILITIES OR SITE FEATURES NOT NOTED ON THE DEMOLITION PLAN ARE ENCOUNTERED DURING DEMOLITION, THE CONTRACTOR SHALL ISSUE AN RFI TO THE OWNER.
- CONTRACTOR SHALL SAWCUT EXISTING PAVEMENT AS NECESSARY FOR DEMOLITION. ALL PAVEMENT REMOVED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE REPLACED IN KIND WITH EXISTING CONDITIONS.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL AND OSHA REGULATIONS WHEN OPERATING DEMOLITION EQUIPMENT AROUND UTILITIES.
- ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUDED IF UNDER BUILDING.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES AS APPROVED BY CONSTRUCTION MANAGER.

## LEGEND

ASPHALT PAVEMENT TO BE DEMOLISHED	
ASPHALT WEARING COURSE TO BE DEMOLISHED FOR MILL/OVERLAY	
CONCRETE PAVEMENT TO BE DEMOLISHED	
LINEAR DEMOLITION OF UTILITY	
LINEAR SITE STRUCTURE TO BE DEMOLISHED	
SITE FEATURE TO BE DEMOLISHED	
SAWCUT	



03/24/2021 - PERMIT SET

Date	Description	No.
Revisions		

**LANGAN**
  
 Langan Engineering and Environmental Services, Inc.

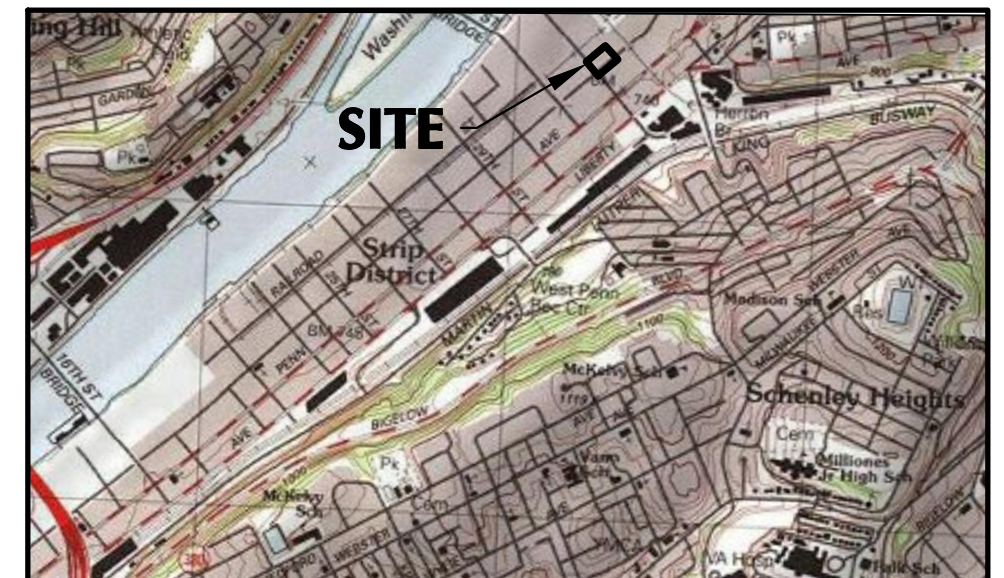
**LANGAN**
  
 Langan Engineering and Environmental Services, Inc.

Project  
**3213-3215 PENN AVENUE**  
 PN: 25-D-61 & 25-D-68  
 PITTSBURGH  
 ALLEGHENY COUNTY PENNSYLVANIA

Drawing Title  
**DEMOLITION PLAN**

Project No.	250107301	Drawing No.	<b>CD101</b>
Date	January 29, 2021		
Drawn By	RSG		
Checked By	BDH		





**PROJECT LOCATION MAP**

SCALE: 1"=2000'

USGS PITTSBURGH EAST QUADRANGLE

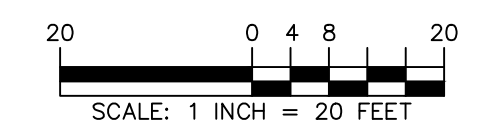
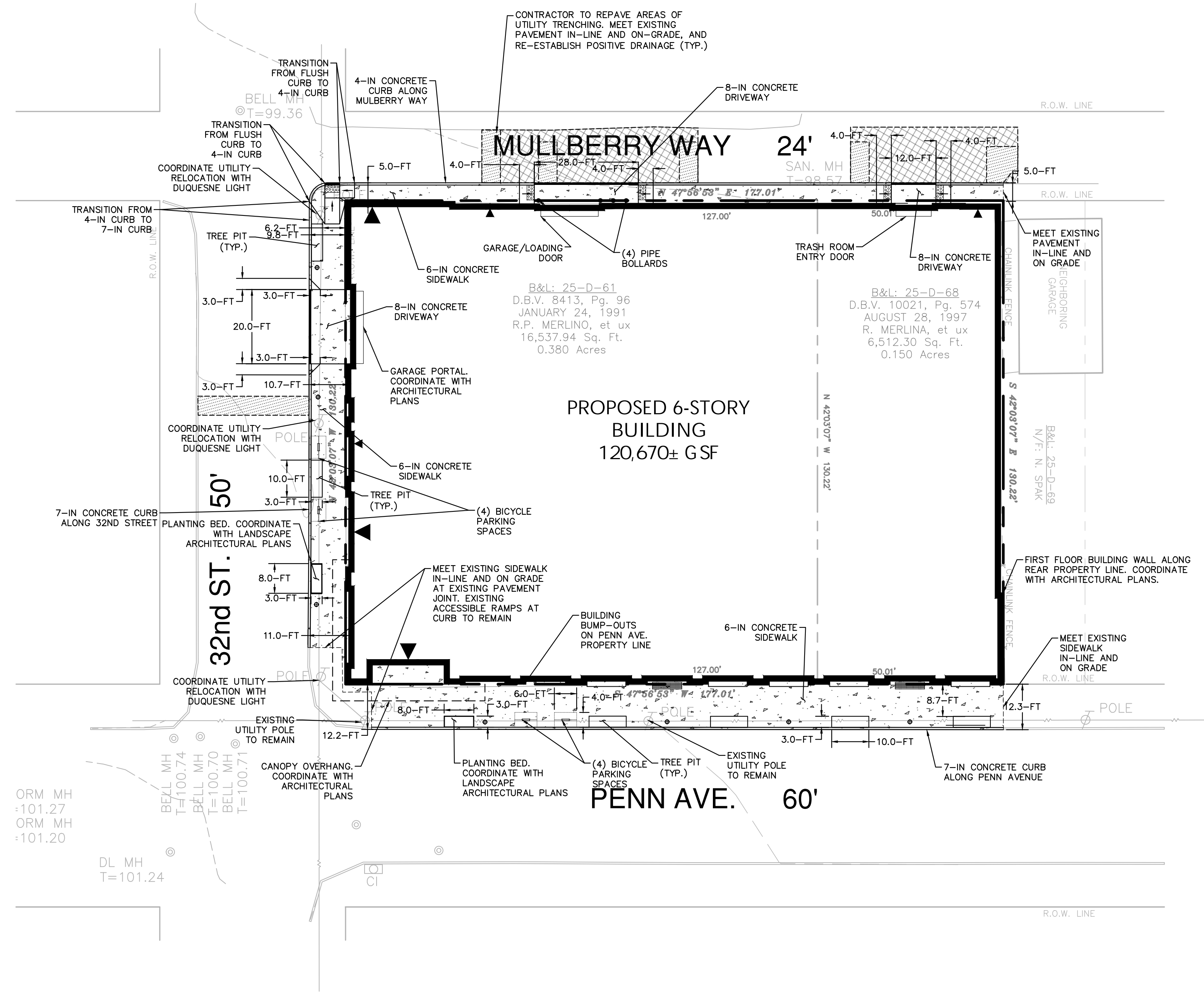
**GENERAL NOTES**

- EXISTING BOUNDARY AND TOPOGRAPHY IS BASED ON A SURVEY DRAWING TITLED "PLAN OF TOPOGRAPHY, SITUATE IN 6TH WARD, CITY OF PITTSBURGH, ALLEGHENY COUNTY, PA," MADE FOR OXIDE REAL ESTATE DEVELOPMENT 3213 & 3215 PENN AVENUE, FILE NUMBERED "36179", DRAFTED BY TAIT ENGINEERING, INC. DATED JUNE 22, 2020, AND LAST REVISED SEPTEMBER 21, 2020. THE SURVEYOR OF RECORD IS RESPONSIBLE FOR THE ACCURACY OF EXISTING CONDITIONS WHICH THE DESIGN AND PERMITTING ACTIVITIES WILL BE BASED UPON.
- THESE PLANS REPRESENT THE OVERALL SITEWORK IMPROVEMENTS REQUIRED FOR PROJECT CONSTRUCTION. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
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- STREET PAVEMENT AFFECTED BY TRENCHING, CURB REMOVAL, OR OTHER CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO ITS ORIGINAL AND PROPER CONDITION. ALL WORK PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY AND ALL RESTORATION OF STREET PAVEMENTS SHALL ABIDE BY THE POLICIES SET FORTH BY THE LOCAL MUNICIPALITY.
- THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
- SEE LANDSCAPE DOCUMENTS FOR MATERIALS UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL COORDINATE RELOCATION OF EXISTING STRUCTURES WITH THE OWNER OF EACH STRUCTURE PRIOR TO RELOCATION WORK COMMENCING
- THESE PLANS ARE SUBJECT TO CHANGE PENDING THE FOLLOWING REGULATORY AGENCY REVIEW AND APPROVAL
  - PENNSYLVANIA DEP
  - ALLEGHENY COUNTY HEALTH DEPARTMENT
  - ALLEGHENY COUNTY CONSERVATION DISTRICT
  - MUNICIPAL ZONING REVIEW
  - PITTSBURGH WATER & SEWER AUTHORITY

PITTSBURGH CITY ZONING TABLE - 3213-3215 PENN AVENUE		
LOTS 25-D-61 & 25-D-68		
ZONING DISTRICT: RIV-IMU: Riverfront Industrial Mixed Use District <sup>(1)</sup>		
<b>SITE</b>	<b>ITEM</b>	<b>PERMITTED/REQUIRED</b>
<b>BUILDING</b>	LAND USE:	MULTI-UNIT RESIDENTIAL
	MINIMUM LOT SIZE:	0 AC
	BUILDING SETBACKS:	
<b>PARKING AND ACCESS <sup>(2)</sup></b>	CAR PARKING SPACE SIZE: STANDARD (MIN.): COMPACT:	8.5 FT x 19 FT 7.5 FT x 16.5 FT
	CAR PARKING SPACES:	41 SPACES
	MIN. NUMBER OF OFF-STREET SPACES:	50% OF 1 SPACE PER UNIT = 58 SPACES
<b>NOTES</b>	MIN. EXTERIOR/INTERIOR SIDE	0 FT
	MIN. REAR (COMMERCIAL)	0 FT
	MIN. FRONT	0 FT
<b>PARKING AND ACCESS <sup>(2)</sup></b>	BICYCLE REDUCTION	1 SPACE/BICYCLE UP TO 30% OF THE TOTAL REQUIRED SPACES = 17 SPACES
	MIN. NUMBER OF HANDICAPPED SPACES	2 SPACES
	MIN. BICYCLE PARKING SPACES	1 PER EVERY 3 UNITS = 38 SPACES
<b>NOTES</b>	LOADING AREAS:	2 SPACES (INTERNAL)
	MULTI-UNIT RESIDENTIAL	2 SPACES (120,001 to 160,000 SF)
	(1) ALL DATA REFERENCED FROM PITTSBURGH ZONING CODE	
	(2) PARKING SPACES, BICYCLE PARKING, AND LOADING AREAS INTERNAL TO PROPOSED STRUCTURE. REFER TO ARCHITECTURAL FIRST FLOOR AND PARKING GARAGE PLANS	

BIKE PARKING LOCATION TABLE	
LOCATION	COUNT
EXTERNAL - PENN AVENUE	4
EXTERNAL - 32ND STREET	4
INTERNAL (PROTECTED)	30
<b>TOTAL</b>	<b>38</b>

	LEGEND	
	EXISTING	PROPOSED
PROPERTY LINE	---	---
YARD SETBACK LINE	---	---
BUILDING	▨	▨
BUILDING DOOR		▼
DEPRESSED CURB	---	---
CURB LINE	---	---
SIGN	⊕	⊕
UTILITY POLE	⊕	⊕
DETECTABLE WARNING STRIP		▨
RADIUS (IN FEET)		R15
CONCRETE PAVEMENT		▨
ASPHALT PAVEMENT - FULL DEPTH		▨
ASPHALT PAVEMENT - OVERLAY		▨
ACCESSIBLE RAMP		▨



03/24/2021 - PERMIT SET

Date	Description	No.
Revisions		

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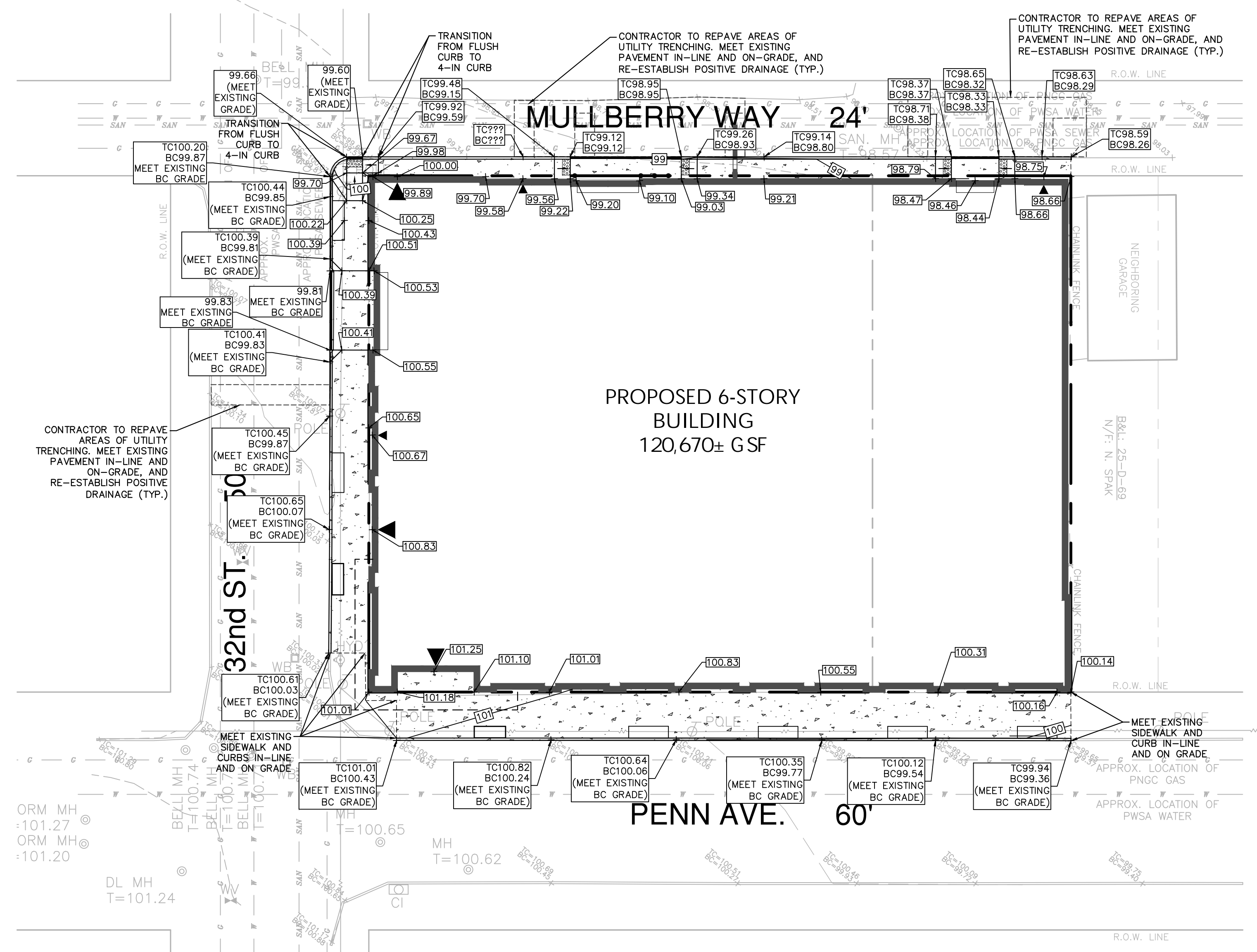
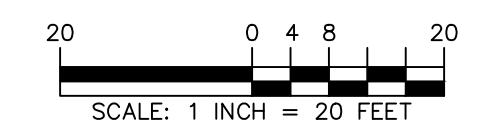
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Project No.	250107301	Drawing No.	CS101
Date	January 29, 2021		
Drawn By	RSB		
Checked By	BDH		

### GRADING NOTES

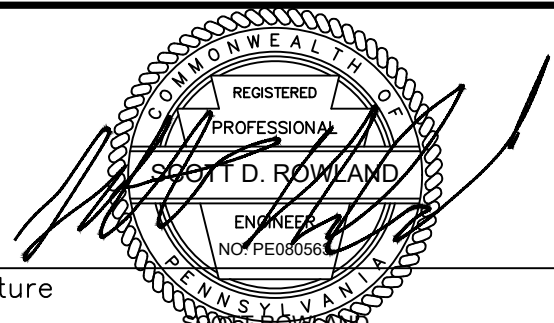
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- DATUM FOR THIS GRADING PLAN IS THE SAME AS THE ABOVE-MENTIONED SURVEY
- ONCE EXISTING UTILITIES TO REMAIN ARE LOCATED, ANY POTENTIAL CONFLICTS WITH OTHER UTILITIES, RELOCATED UTILITY POLES, ETC. SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL ALL THE APPROPRIATE UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAYS AT LEAST 72 HOURS BEFORE ANY EXCAVATION OR GRADING TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, DEPTHS AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THESE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF LANGAN ENGINEERING. CALL PENNSYLVANIA ONE CALL SYSTEM- 1-800-242-1776.
- ADJUST ALL EXISTING UTILITY FRAMES, GRATES, MANHOLE COVERS, VALVE BOXES, ETC. TO BE FLUSH WITH THE PROPOSED SURFACE ELEVATIONS WITHIN THE LIMITS OF CONSTRUCTION.
- THESE PLANS REPRESENT THE OVERALL SITE WORK IMPROVEMENTS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITE WORK CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
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- SPOT ELEVATIONS IN ROADWAYS REPRESENT SURFACE PAVEMENT ELEVATIONS.
- ALL ADA PEDESTRIAN FACILITIES CONSTRUCTED ON SITE AND WITHIN PUBLIC RIGHTS-OF-WAYS OR EASEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH FEDERAL ADA STANDARDS. COMPLIANT DESIGN AND CONSTRUCTION CERTIFICATIONS FOR PEDESTRIAN FACILITIES WITHIN PUBLIC RIGHT-OF-WAYS MUST BE COMPLETED AND SUBMITTED TO THE MUNICIPAL ENGINEER.

	LEGEND	
	EXISTING	PROPOSED
MAJOR CONTOUR	--- 100 ---	[100]
MINOR CONTOUR	--- 99 ---	[99]
SPOT ELEVATION	x 101.25	99.12 TC100.13 BC99.55
TOP/BOTTOM OF CURB ELEVATION		
STORM SEWER	D+	
COMBINED/ SANITARY SEWER	SAN	



03/24/2021 - PERMIT SET

Date	Description	No.
Revisions		

  
 Scott D. Rowland  
 PROFESSIONAL ENGINEER PA Lic.  
 No. PE090563

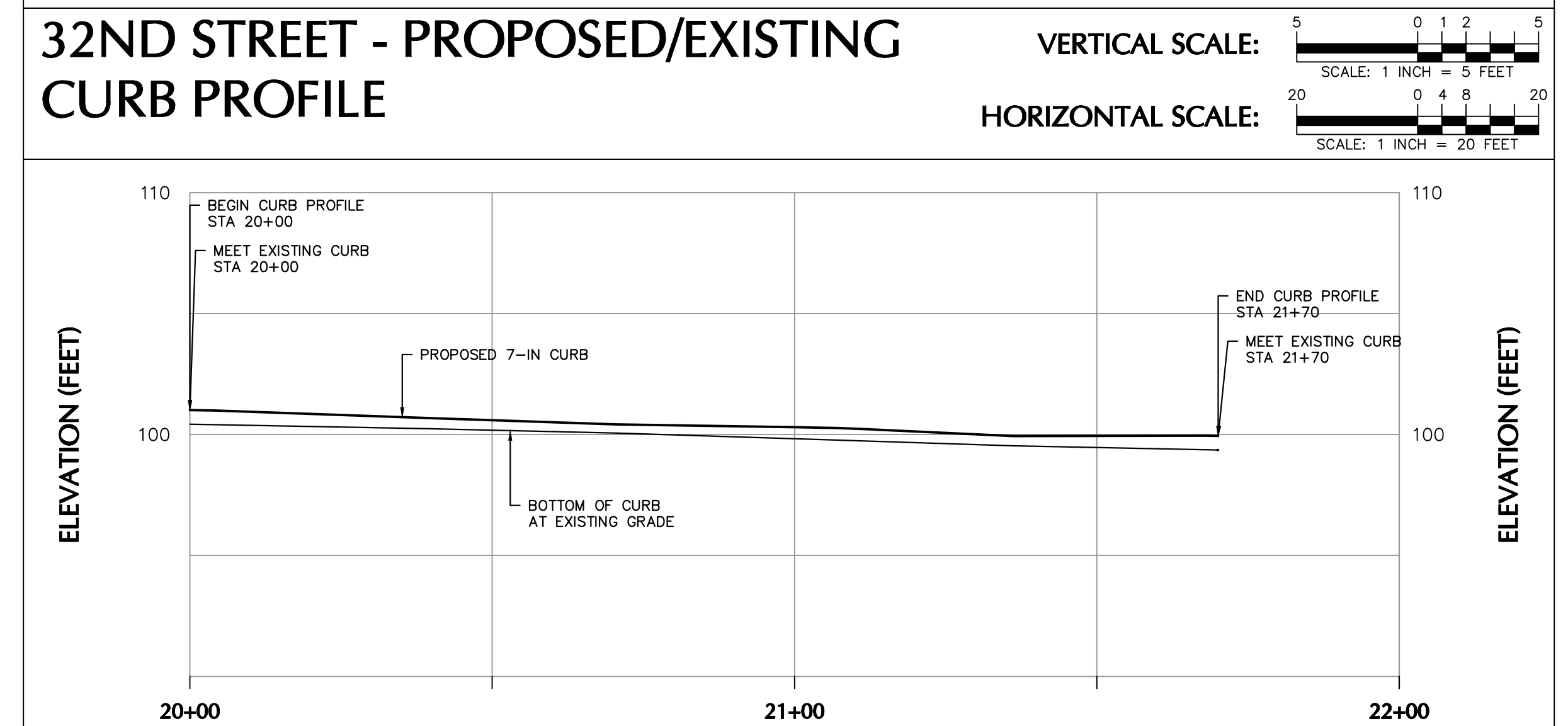
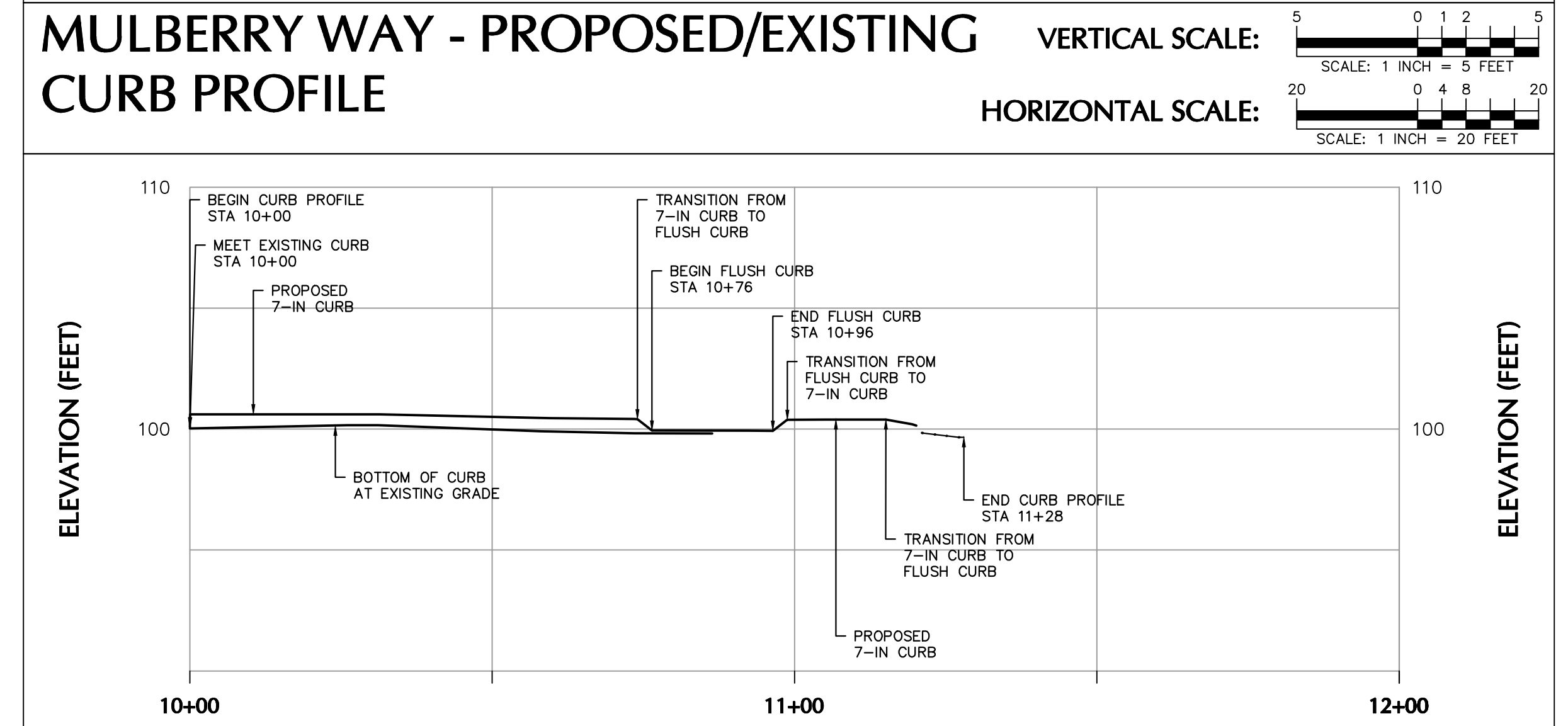
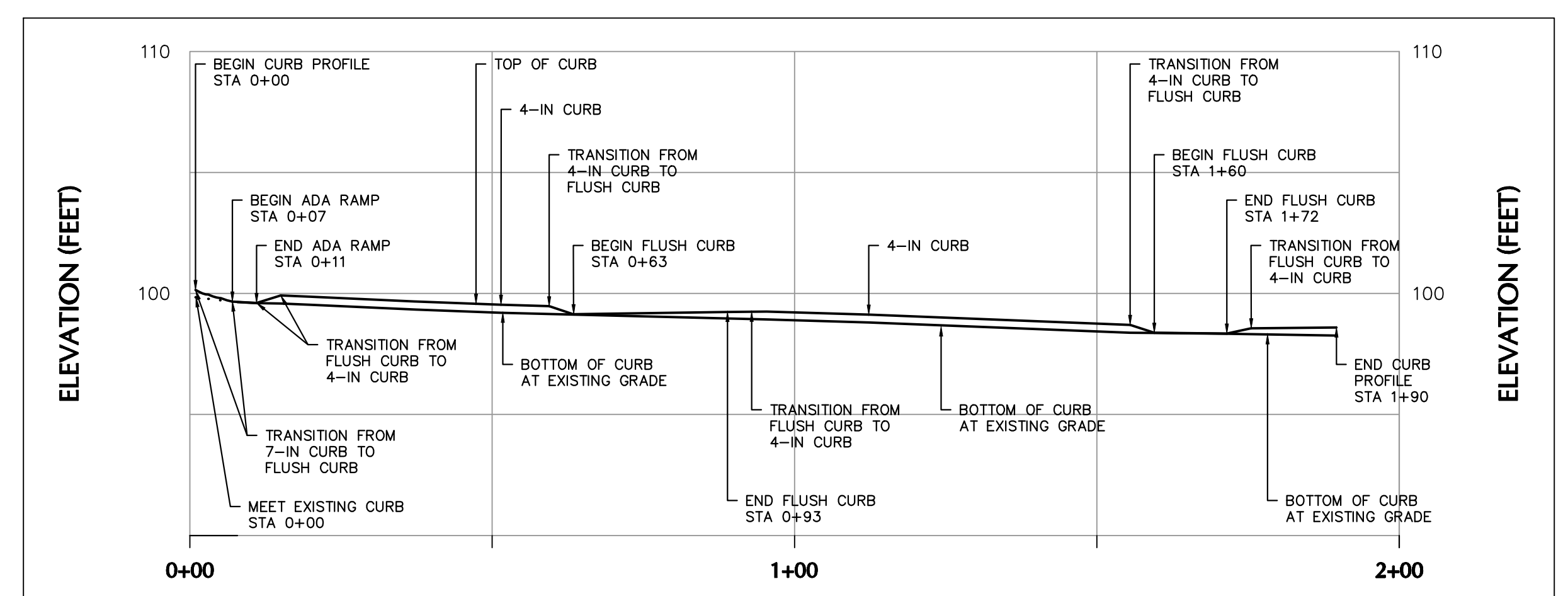
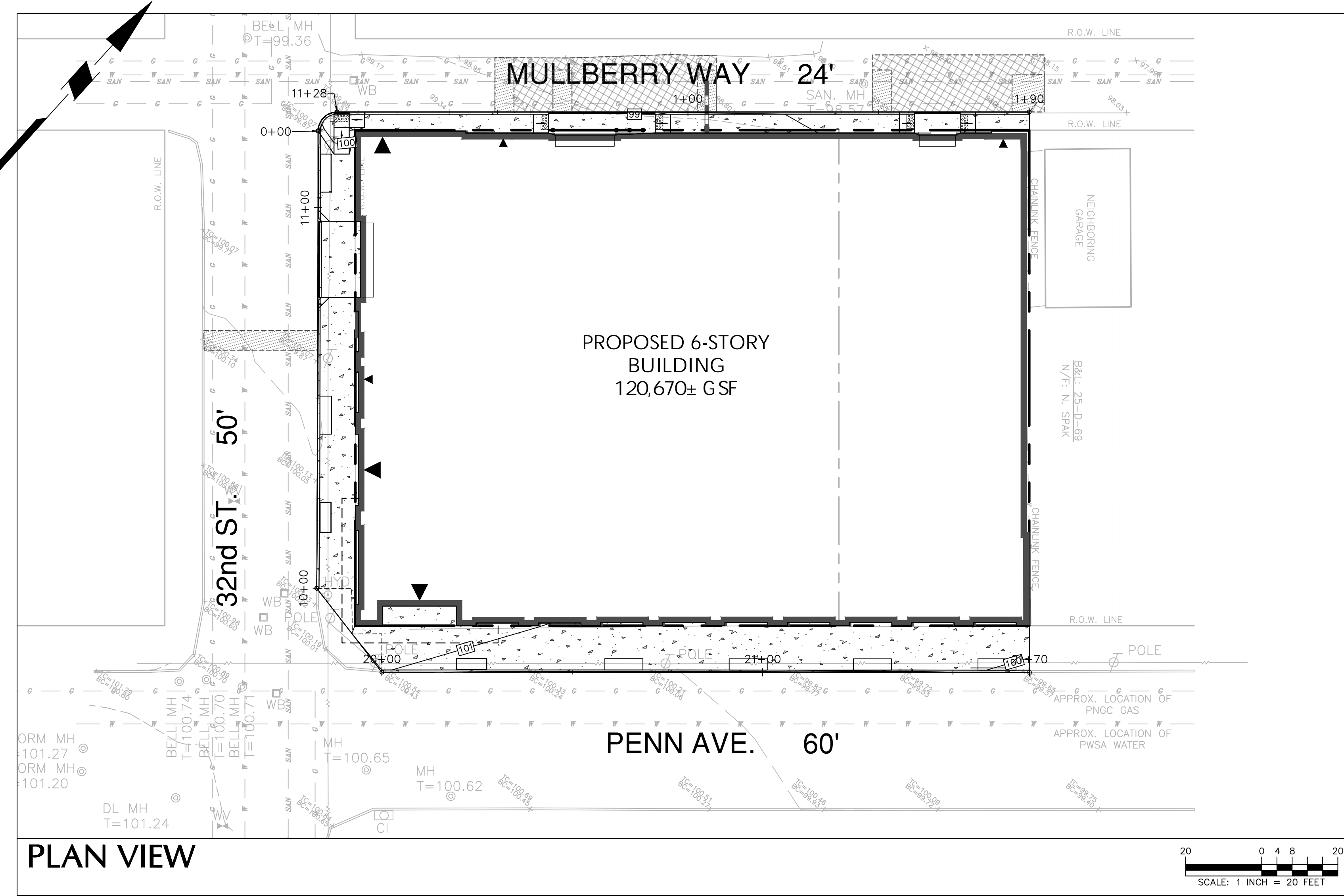
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Project  
**3213-3215 PENN AVENUE**  
 PN: 25-D-61 & 25-D-68  
 PITTSBURGH  
 ALLEGHENY COUNTY PENNSYLVANIA

Drawing Title  
**GRADING PLAN**

Project No.	250107301	Drawing No.	<b>CG101</b>
Date	January 29, 2021		
Drawn By	RSG		
Checked By	BDH		





Date	Description	No.
Revisions		

Signature: *[Signature]* Date: \_\_\_\_\_

PROFESSIONAL ENGINEER PA Lic.  
No. PE090563

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Project  
**3213-3215 PENN AVENUE**  
PITTSBURGH ALLEGHENY COUNTY PENNSYLVANIA

Drawing Title  
**CURB PROFILES**

Project No. 250107301  
Date MARCH 16, 2021  
Drawn By AXJ  
Checked By BDH  
Drawing No. CG201

# SITE UTILITY NOTES

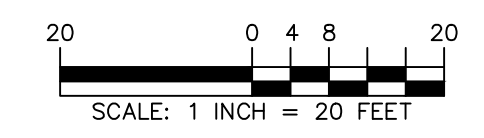
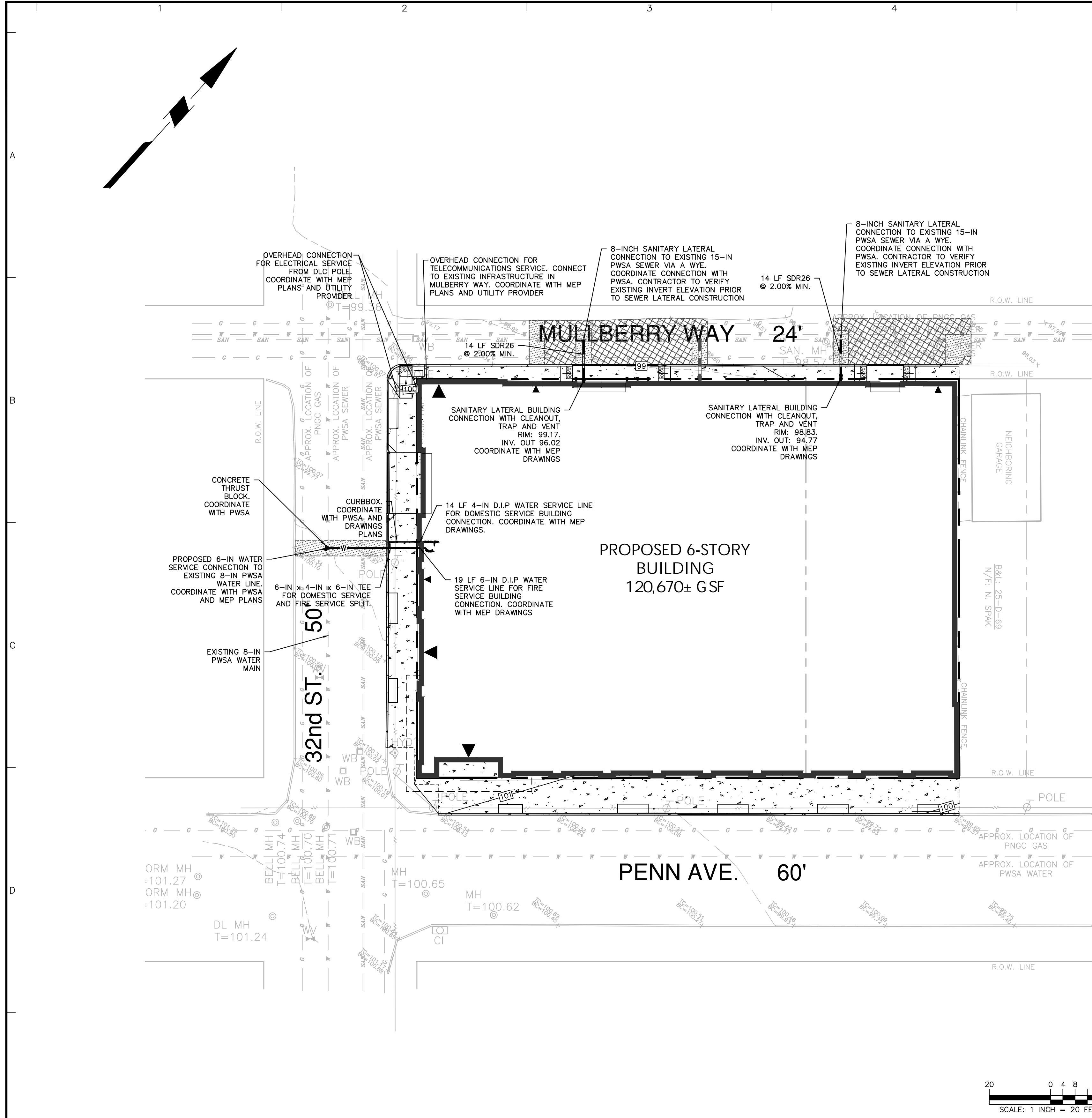
- EXISTING BOUNDARY AND TOPOGRAPHY IS BASED ON A SURVEY DRAWING TITLED "ALTA/NSPS LAND TITLE SURVEY, SITUATE IN 6TH WARD, CITY OF PITTSBURGH, ALLEGHENY COUNTY, PA." MADE FOR OXIDE REAL ESTATE DEVELOPMENT 3213 & 3215 PENN AVENUE. FILE NUMBERED "36179". DRAFTED BY TAIT ENGINEERING, INC. DATED JANUARY 2, 2020. THE SURVEYOR OF RECORD IS RESPONSIBLE FOR THE ACCURACY OF EXISTING CONDITIONS WHICH THE DESIGN AND PERMITTING ACTIVITIES WILL BE BASED UPON.
- ONCE EXISTING UTILITIES TO REMAIN ARE LOCATED, ANY POTENTIAL CONFLICTS WITH OTHER UTILITIES, RELOCATED UTILITY POLES, ETC. SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL ALL THE APPROPRIATE UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAYS AT LEAST 72 HOURS BEFORE ANY EXCAVATION OR GRADING TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, DEPTHS AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THESE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER. CALL PENNSYLVANIA ONE CALL SYSTEM - 1-800-242-1776.
- ADJUST ALL EXISTING AND PROPOSED UTILITY FRAMES, GRATES, MANHOLE COVERS, VALVE BOXES, ETC. TO BE FLUSH WITH THE PROPOSED SURFACE ELEVATIONS WITHIN THE LIMITS OF CONSTRUCTION.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS AND ANY LOCAL AUTHORITIES.
- THESE PLANS REPRESENT THE OVERALL SITE WORK IMPROVEMENTS REQUIRED FOR PROJECT CONSTRUCTION. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITE WORK CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER AND ENGINEER MAKE NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY AVAILABLE INFORMATION WHICH WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL MAKE ADDITIONAL TOPOGRAPHIC SURVEYS HE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
- THE CONTRACTOR SHALL, WHEN THEY DEEM NECESSARY, PROVIDE WRITTEN REQUESTS FOR INFORMATION (RFIS) TO THE OWNER AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITE WORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF TWO WORK DAYS OR ADDITIONAL REASONABLE TIME FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE WORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
- INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES, SPECIFICATIONS, AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO CONSTRUCTION. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO CONSTRUCTION.
- THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
- WATER, SANITARY, AND STORM LINES THAT HAVE LESS THAN 18 INCHES OF CLEARANCE (OUTSIDE OF PIPE TO OUTSIDE OF PIPE) TO SANITARY OR STORM LINES SHALL BE CONCRETE ENCASED.
- ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 4-FOOT ABOVE TOP OF PIPE.
- ALL DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTINGS.
- WATER SERVICE SHALL BE HYDROSTATICALLY TESTED AND DISINFECTED BEFORE ACCEPTANCE. THIS PROCEDURE WILL CONFORM TO LOCAL AUTHORITY AND HEALTH DEPARTMENT SPECIFICATIONS.
- CONTRACTOR TO VERIFY PIPE TRENCHING AND BEDDING MATERIAL REQUIREMENTS WITH EACH UTILITY PROVIDER. THIS INCLUDES, BUT IS NOT LIMITED TO WATER, SEWERAGE, ELECTRIC, GAS, AND COMMUNICATIONS.
- ALL DRAINAGE STRUCTURES SHALL BE PRE-CAST.
- ALL INLET FRAMES, GRATES, TOP UNITS, AND BOXES SHALL BE IN ACCORDANCE WITH PENNDOT PUBLICATION 408, AND COMPLY WITH ADA AND BICYCLE SAFE SPECIFICATIONS.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (HS20) LOADING AND BE INSTALLED ACCORDINGLY. ALL PROPOSED ROOF LEADERS SHALL BE TIED TO THE STORM SEWER SYSTEM.
- SITE FILL SHALL CONSIST OF MATERIAL FROM APPROVED ONSITE SOURCES OR APPROVED OFFSITE MATERIAL. THE GEOTECHNICAL ENGINEER OR INSPECTOR WILL REVIEW AND APPROVE ALL SOIL TO BE USED AS SITE FILL.
- STREET PAVEMENT AFFECTED BY TRENCHING OR OTHER CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO ITS ORIGINAL AND PROPER CONDITION. ALL WORK PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY AND ALL RESTORATION OF STREET PAVEMENTS SHALL ABIDE BY THE POLICIES SET FORTH IN THE CITY OF PITTSBURGH RIGHT-OF-WAY PROCEDURES.
- A LICENSED PROFESSIONAL ENGINEER MUST BE ONSITE DURING THE CRITICAL STAGES OF THE CONNECTION TO THE EXISTING COMBINED SEWER.
- A LICENSED PROFESSIONAL ENGINEER MUST CERTIFY THAT ALL STORMWATER BMPs WE INSTALLED IN ACCORDANCE WITH THE APPROVED NPDES PLANS. CONTRACTOR TO NOTIFY DESIGN ENGINEER OF INSPECTION(S) PRIOR TO STORMWATER FACILITY INSTALLATION.
- CONTRACTOR SHALL FIELD LOCATE AND VERIFY EXISTING PIPE INVERTS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL MAXIMIZE THE PROTECTION OF EXISTING DRAINAGE FEATURES AND EXISTING VEGETATION TO THE EXTENT POSSIBLE.
- THE CONTRACTOR SHALL MINIMIZE LAND CLEARING AND GRADING TO THE EXTENT POSSIBLE.

### LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
BUILDING LINE	---	---
SANITARY SEWER	--- SAN --- SAN	---
SANITARY MANHOLE	⊙	●
CLEANOUT	⊙	●
STORM SEWER	---	---
WATER LINE (REFERENCE)	--- W --- W	---
WATER LINE	---	---
WATER LINE FOR FIRE SERVICE	---	---
GAS LINE	--- G --- G	---
UNDERGROUND ELECTRIC LINE	---	---
ELECTRIC METER	⊙	---
COMMUNICATIONS LINE	---	---
COMMUNICATIONS MANHOLE	⊙	---
UTILITY VAULT	⊙	---

### UTILITY PROVIDERS

WATER	SEWER	GAS	ELECTRICITY	TELEPHONE/COMMUNICATIONS
THE PITTSBURGH WATER AND SEWER AUTHORITY ADDRESS: PENN LIBERTY PLAZA I 1200 PENN AVENUE PITTSBURGH, PA 15222 PHONE: 412-255-8800 CONTACT: JORDAN TREASTER	THE PITTSBURGH WATER AND SEWER AUTHORITY ADDRESS: PENN LIBERTY PLAZA I 1200 PENN AVENUE PITTSBURGH, PA 15222 PHONE: 412-255-8800 CONTACT: JORDAN TREASTER	PEOPLES NATURAL GAS COMPANY LLC ADDRESS: 375 NORTH SHORE DRIVE PITTSBURGH, PA 15212 PHONE: 412-258-4709 CONTACT: BRANDON DATZ	DUQUESNE LIGHT COMPANY ADDRESS: 2825 NEW BEAVER AVENUE PITTSBURGH, PA 15233 PHONE: 412-393-7812 CONTACT: EARL ELDER	COMCAST BUSINESS SERVICES - KEYSTONE REGION ADDRESS: 2994 INDUSTRIAL BOULEVARD BETHEL PARK, PA 15102 PHONE: 412-580-1442 CONTACT: WALT KASIEVICH III



03/24/2021 - PERMIT SET

Date	Description	No.
Revisions		

SCOTT D. ROWLAND  
REGISTERED PROFESSIONAL ENGINEER  
No. PE080563

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Project  
**3213-3215 PENN AVENUE**  
PN: 25-D-61 & 25-D-68  
PITTSBURGH  
ALLEGHENY COUNTY PENNSYLVANIA

Drawing Title  
**UTILITY PLAN**

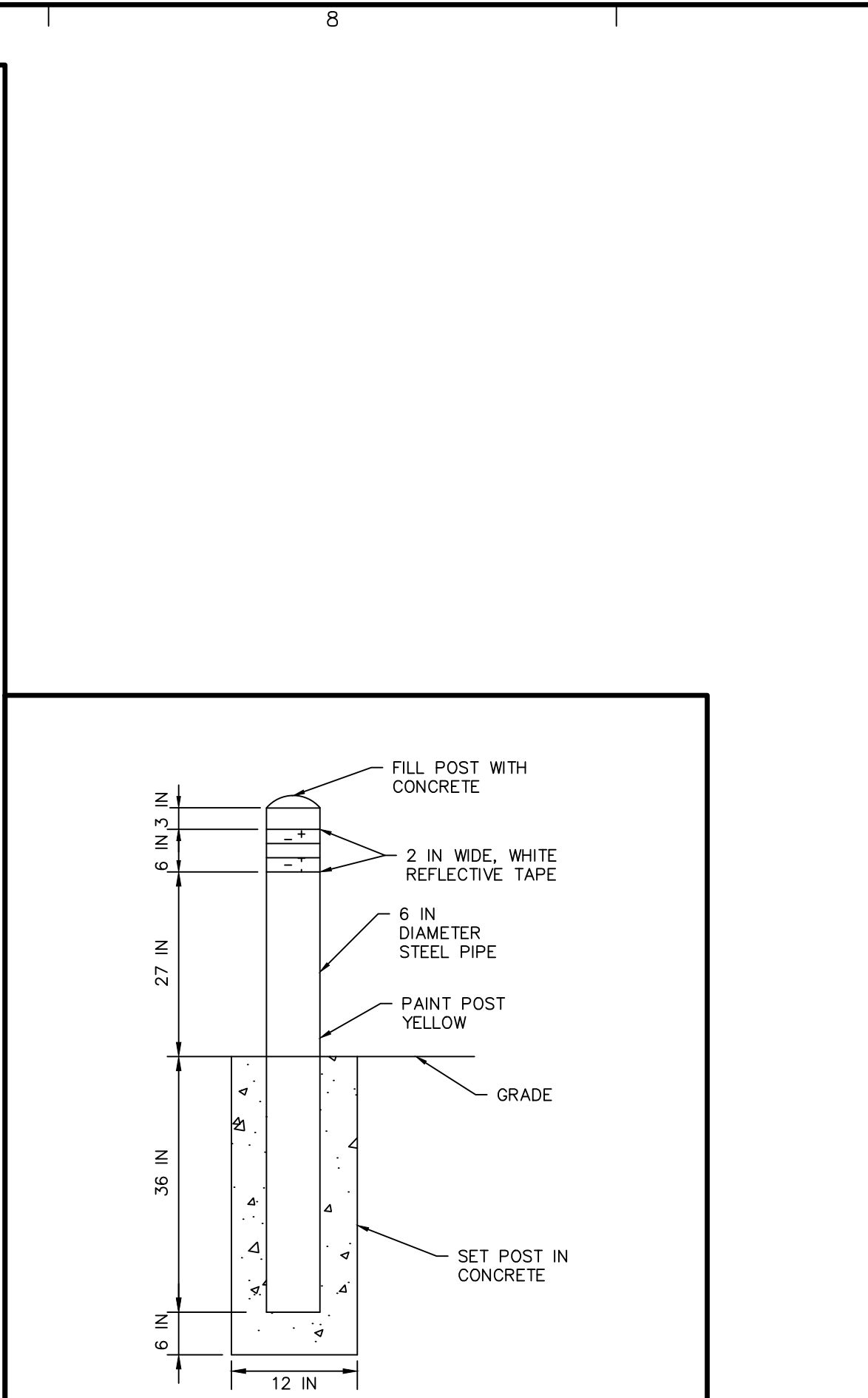
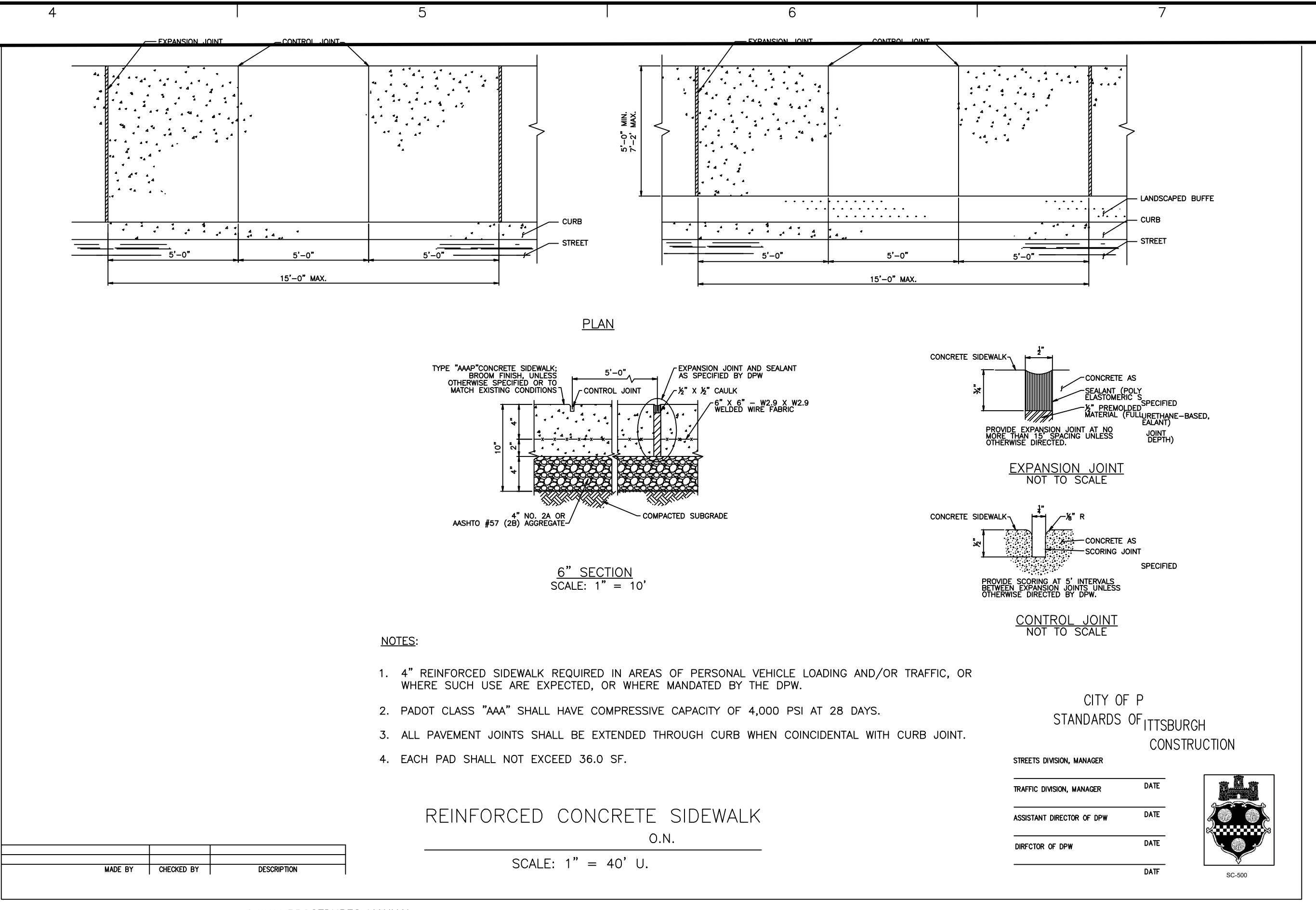
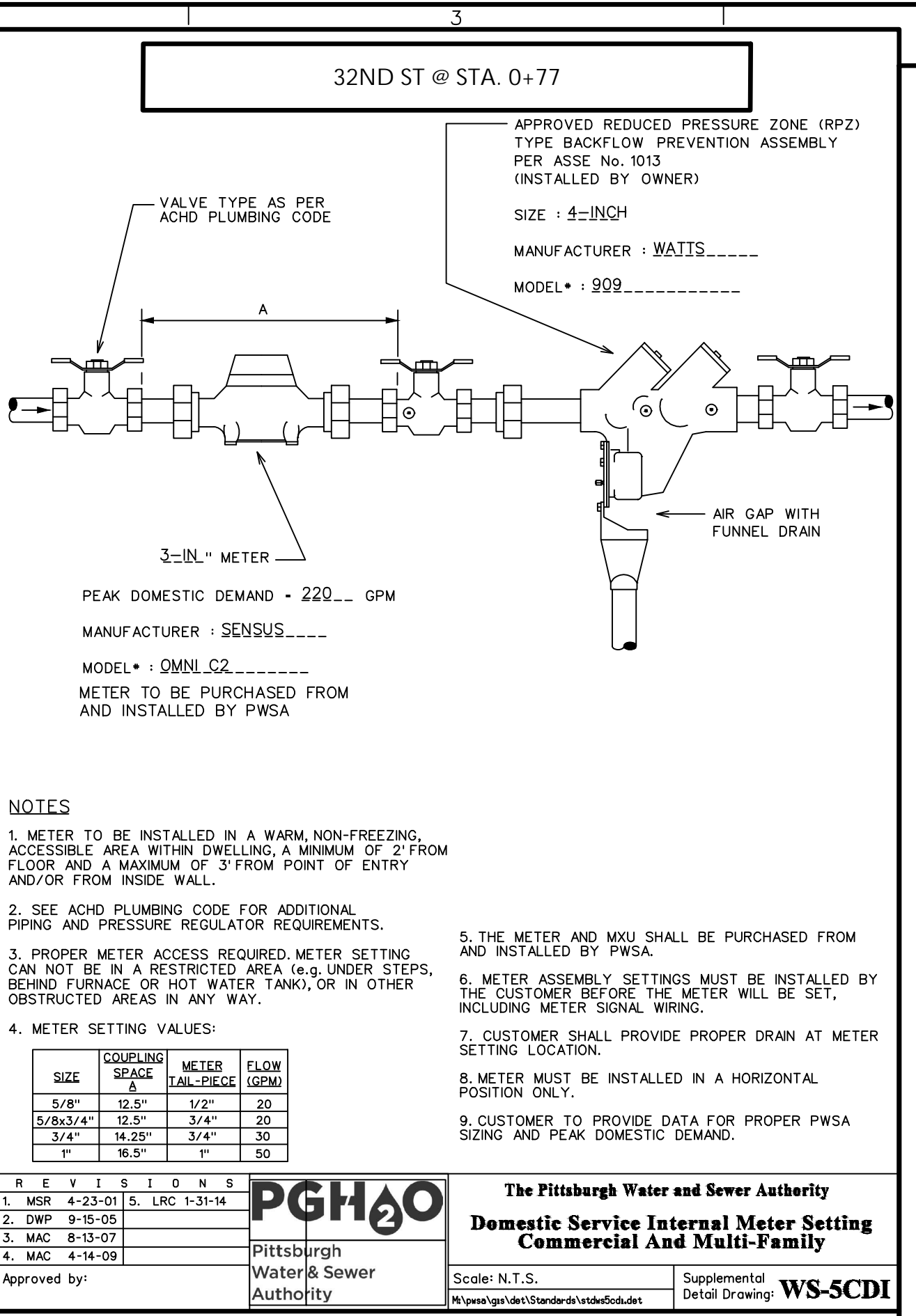
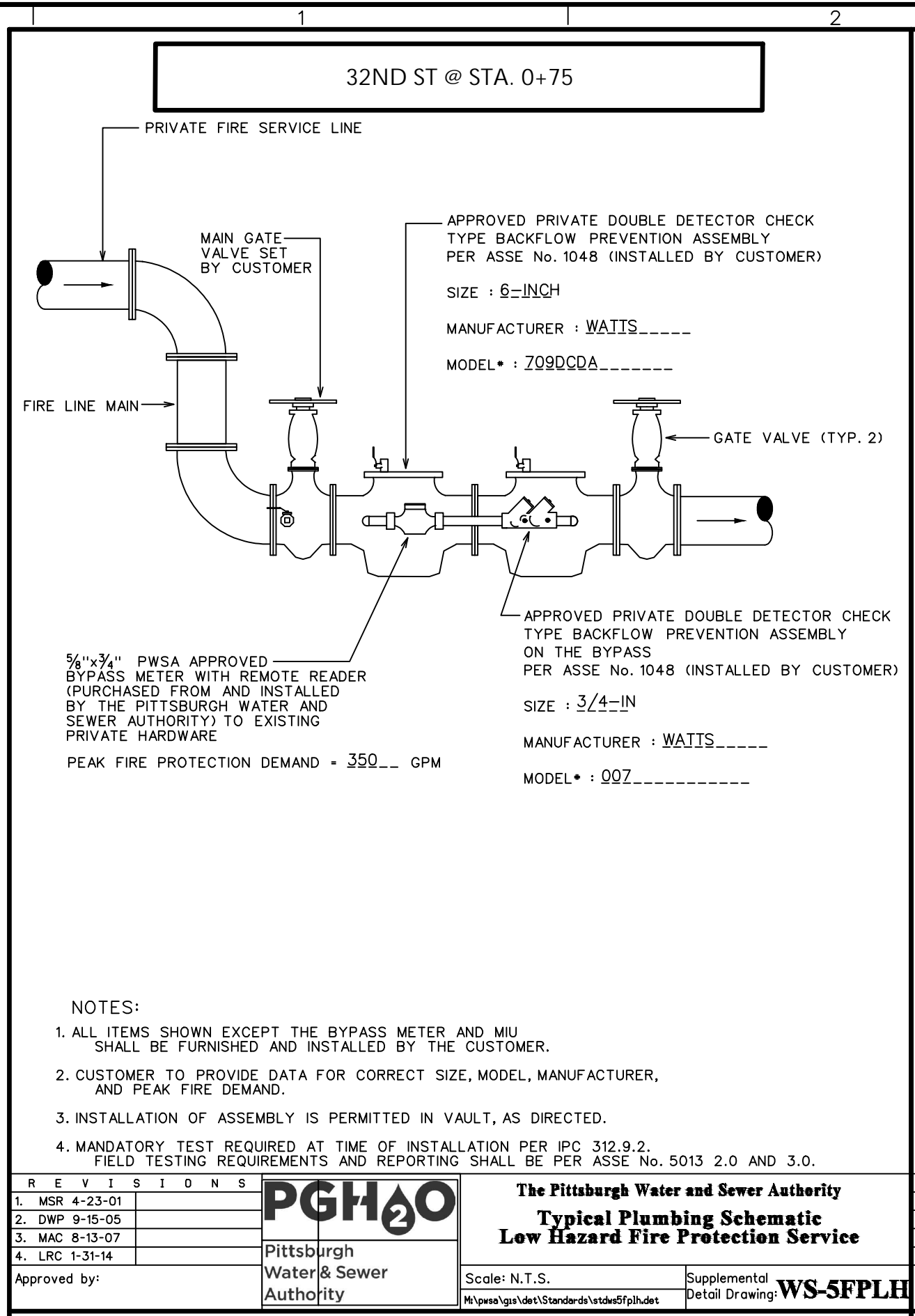
Project No.  
**250107301**

Date  
**January 29, 2021**

Drawn By  
**RSB**

Checked By  
**BDH**

Drawing No.  
**CU101**

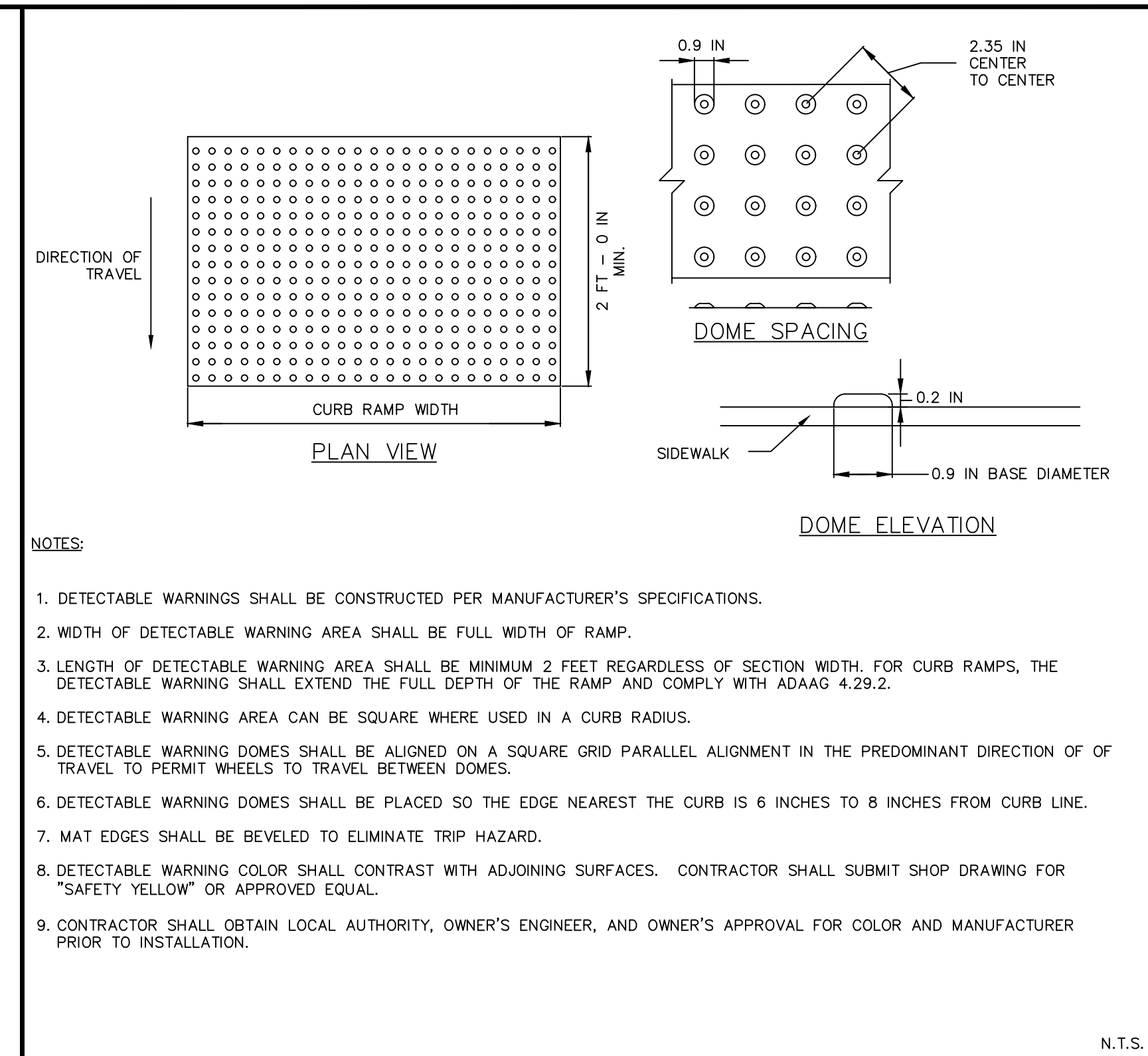
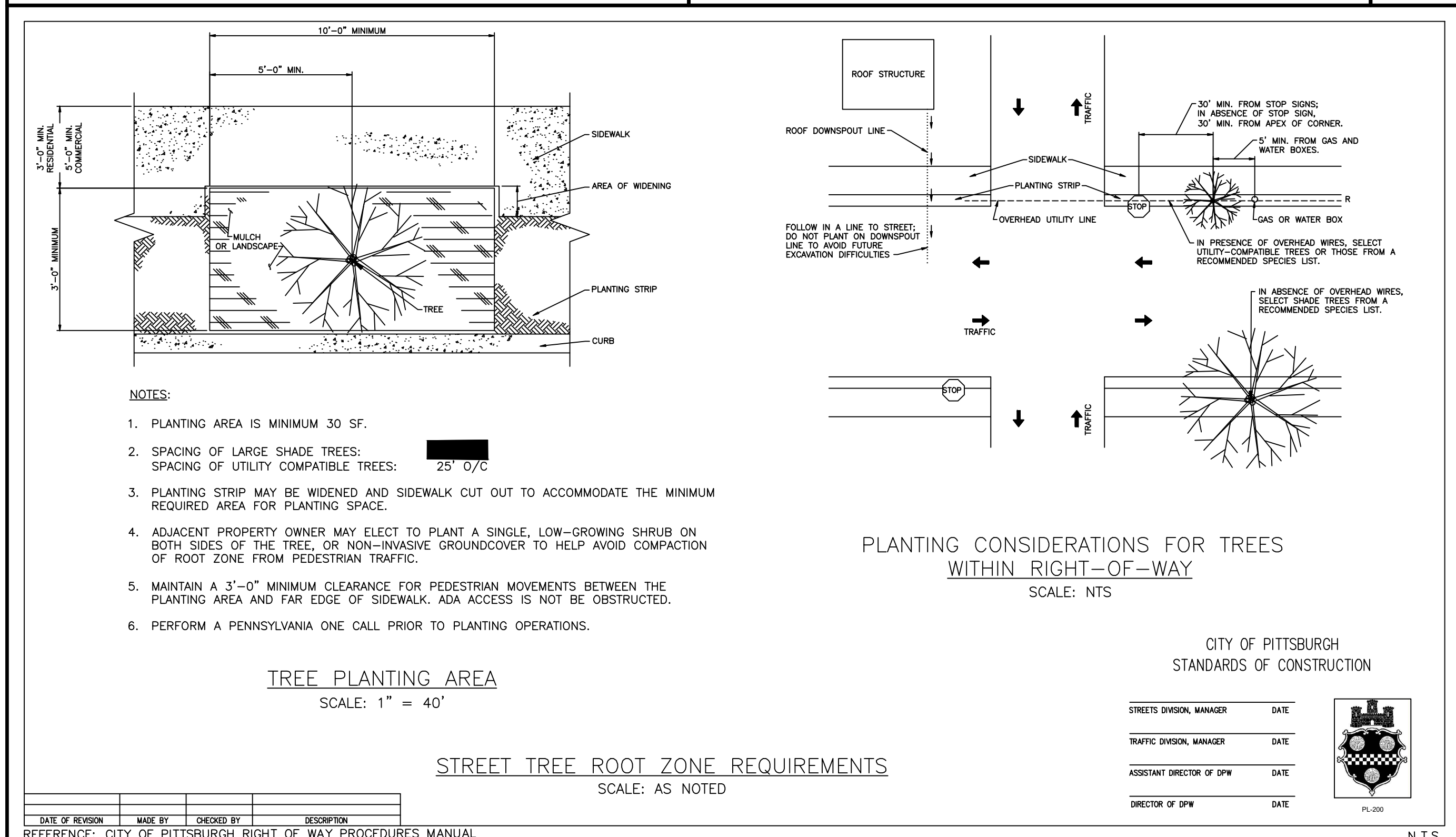


**1. TYPICAL PLUMBING SCHEMATIC LOW HAZARD FIRE PROTECTION SERVICE**

**2. DOMESTIC SERVICE INTERNAL METER SETTING COMMERCIAL AND MULTI-FAMILY**

**3. REINFORCED CONCRETE SIDEWALK**

**4. 6-IN STANDARD BOLLARD**



**5. STREET TREE ROOT ZONE REQUIREMENTS**

**6. ADA DETECTABLE WARNING SURFACE**

DATE OF REVISION

DATE OF REVISION	MADE BY	CHECKED BY	DESCRIPTION

REFERENCE: CITY OF PITTSBURGH RIGHT OF WAY PROCEDURES MANUAL

**03/24/2021 - PERMIT SET**

Date	Description	No.

**LANGAN**

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REGISTERED PROFESSIONAL ENGINEER PA Lic. No. PE090563

Project: **3213-3215 PENN AVENUE**

Drawing Title: **SITE DETAILS**

Project No.: **250107301**

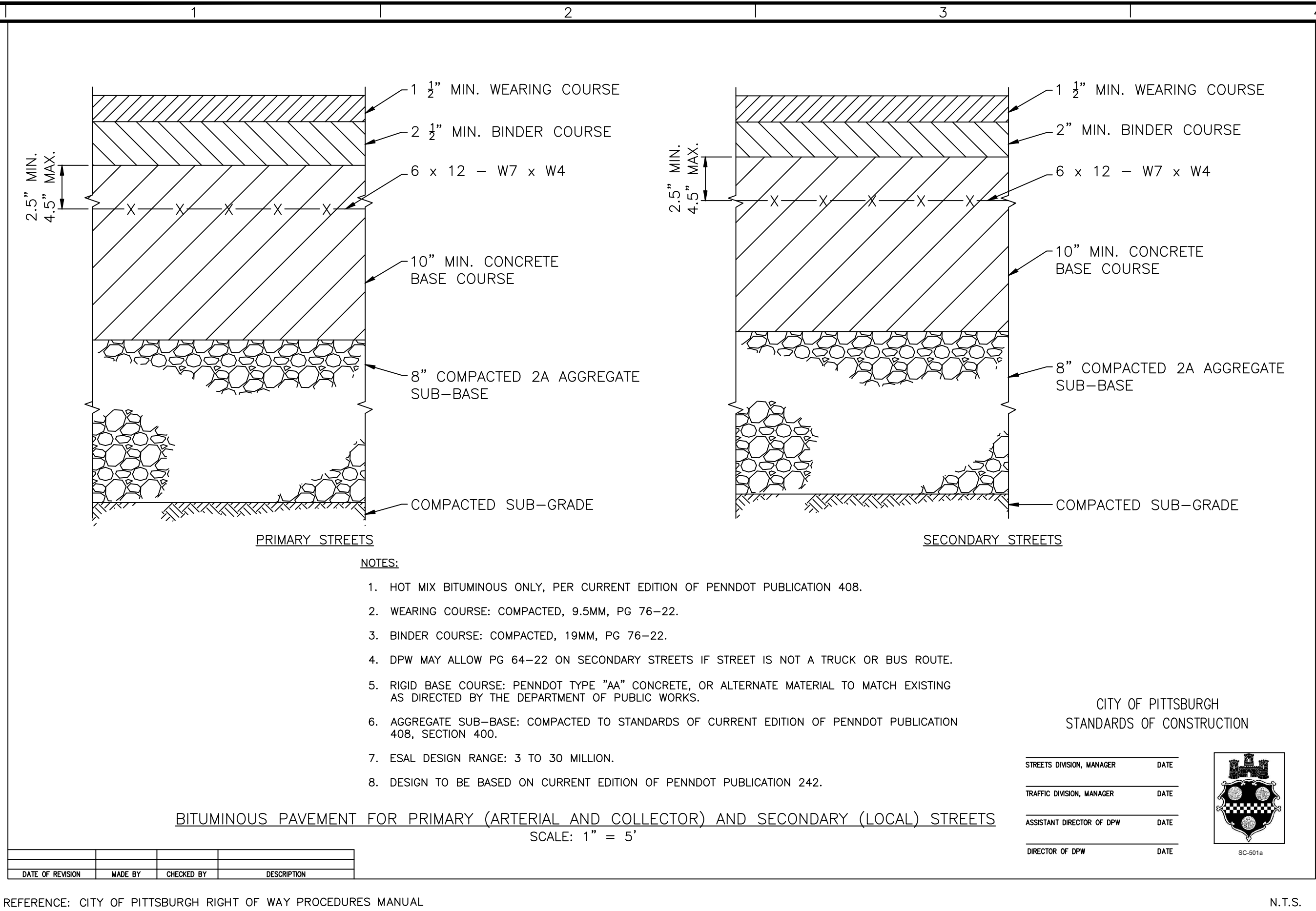
Date: **January 29, 2021**

Drawn By: **RSB**

Checked By: **BDH**

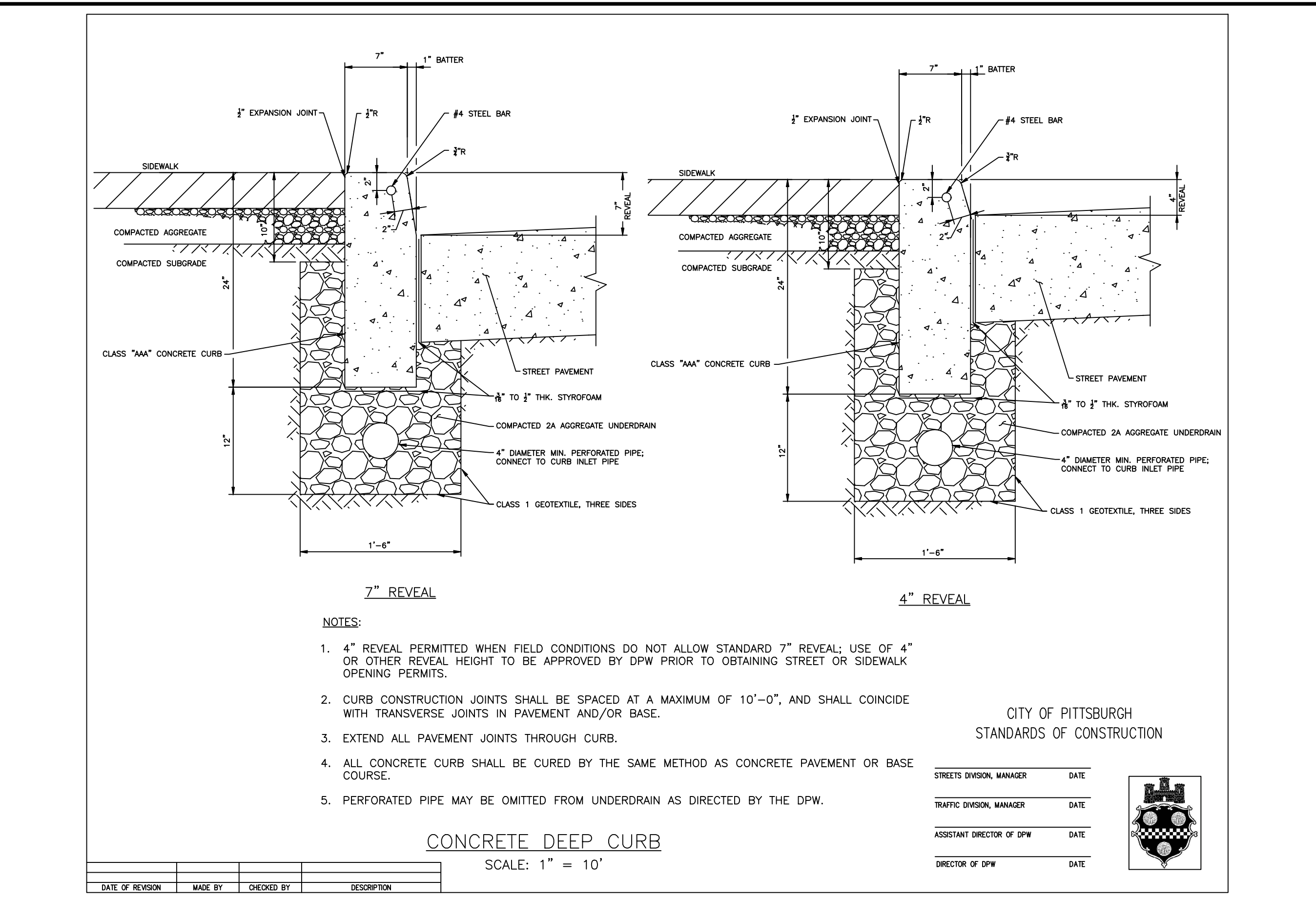
Drawing No.: **CS501**

Project Location: **ALLEGHENY COUNTY PENNSYLVANIA**



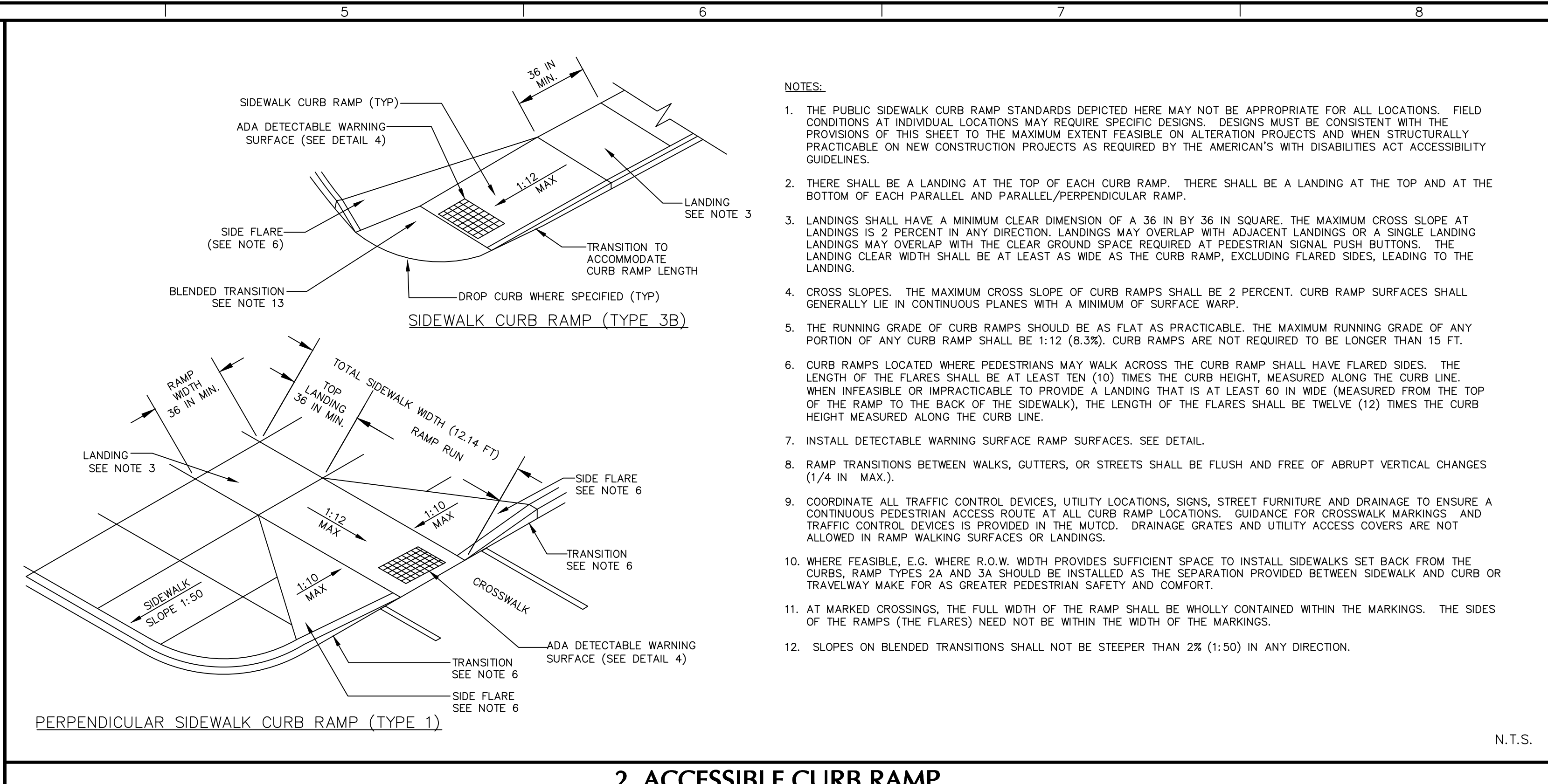
DATE OF REVISION    MADE BY    CHECKED BY    DESCRIPTION

**1. BITUMINOUS PAVEMENT FOR PRIMARY AND SECONDARY STREETS**



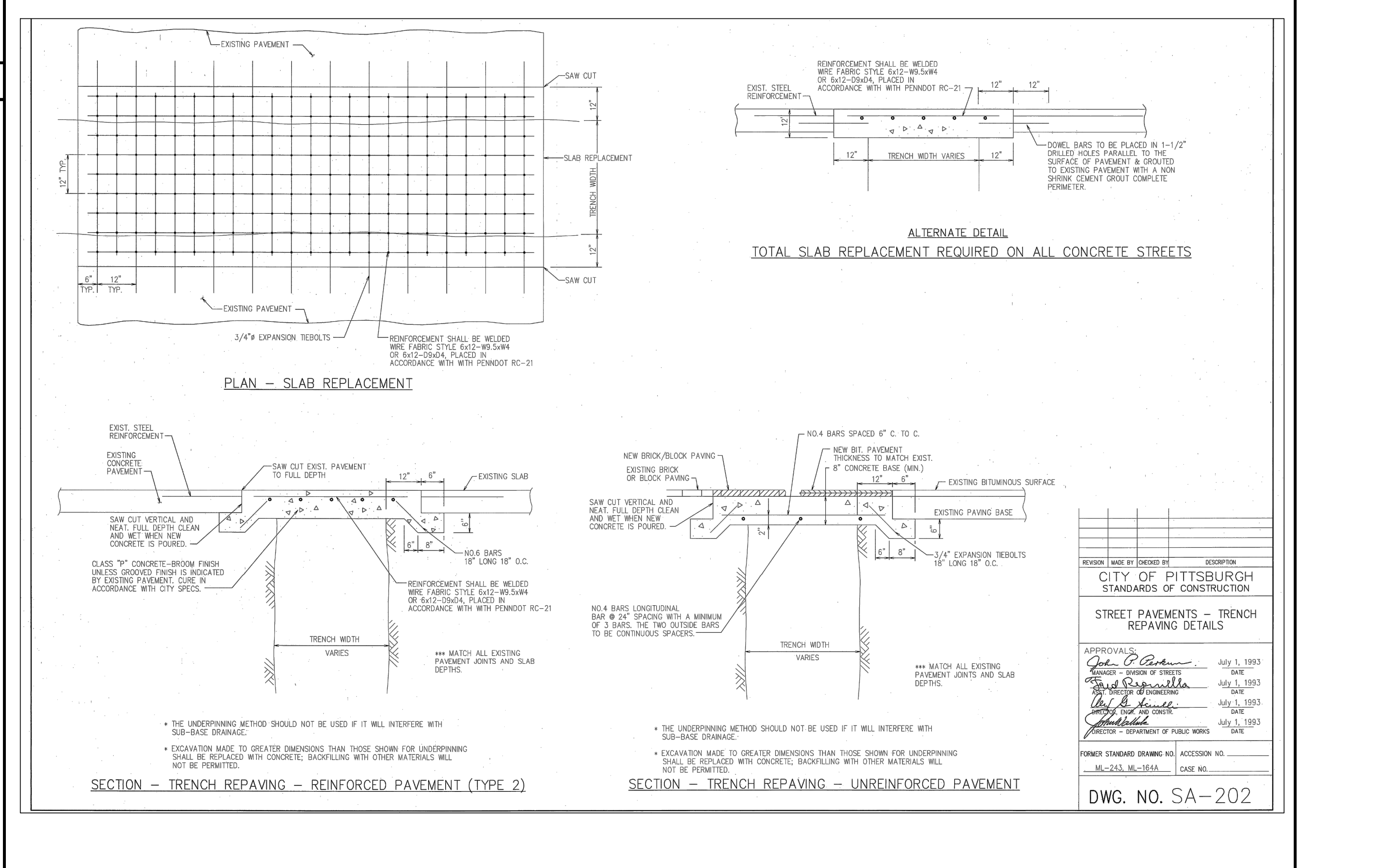
DATE OF REVISION    MADE BY    CHECKED BY    DESCRIPTION

**3. 7-IN & 4-IN CONCRETE CURB**



- NOTES:**
- THE PUBLIC SIDEWALK CURB RAMP STANDARDS DEPICTED HERE MAY NOT BE APPROPRIATE FOR ALL LOCATIONS. FIELD CONDITIONS AT INDIVIDUAL LOCATIONS MAY REQUIRE SPECIFIC DESIGNS. DESIGNS MUST BE CONSISTENT WITH THE PROVISIONS OF THIS SHEET TO THE MAXIMUM EXTENT FEASIBLE ON ALTERATION PROJECTS AND WHEN STRUCTURALLY PRACTICABLE ON NEW CONSTRUCTION PROJECTS AS REQUIRED BY THE AMERICAN'S WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES.
  - THERE SHALL BE A LANDING AT THE TOP OF EACH CURB RAMP. THERE SHALL BE A LANDING AT THE TOP AND AT THE BOTTOM OF EACH PARALLEL AND PARALLEL/PERPENDICULAR RAMP.
  - LANDINGS SHALL HAVE A MINIMUM CLEAR DIMENSION OF A 36 IN BY 36 IN SQUARE. THE MAXIMUM CROSS SLOPE AT LANDINGS IS 2 PERCENT IN ANY DIRECTION. LANDINGS MAY OVERLAP WITH ADJACENT LANDINGS OR A SINGLE LANDING LANDINGS MAY OVERLAP WITH THE CLEAR GROUND SPACE REQUIRED AT PEDESTRIAN SIGNAL PUSH BUTTONS. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE CURB RAMP, EXCLUDING FLARED SIDES, LEADING TO THE LANDING.
  - CROSS SLOPES. THE MAXIMUM CROSS SLOPE OF CURB RAMP SURFACES SHALL BE 2 PERCENT. CURB RAMP SURFACES SHALL GENERALLY LIE IN CONTINUOUS PLANES WITH A MINIMUM OF SURFACE WARP.
  - THE RUNNING GRADE OF CURB RAMP SHOULD BE AS FLAT AS PRACTICABLE. THE MAXIMUM RUNNING GRADE OF ANY PORTION OF ANY CURB RAMP SHALL BE 1:12 (8.3%). CURB RAMP ARE NOT REQUIRED TO BE LONGER THAN 15 FT.
  - CURB RAMP LOCATED WHERE PEDESTRIANS MAY WALK ACROSS THE CURB RAMP SHALL HAVE FLARED SIDES. THE LENGTH OF THE FLARES SHALL BE AT LEAST TEN (10) TIMES THE CURB HEIGHT, MEASURED ALONG THE CURB LINE. WHEN INFEASIBLE OR IMPRACTICABLE TO PROVIDE A LANDING THAT IS AT LEAST 60 IN WIDE (MEASURED FROM THE TOP OF THE RAMP TO THE BACK OF THE SIDEWALK), THE LENGTH OF THE FLARES SHALL BE TWELVE (12) TIMES THE CURB HEIGHT MEASURED ALONG THE CURB LINE.
  - INSTALL DETECTABLE WARNING SURFACE RAMP SURFACES. SEE DETAIL.
  - RAMP TRANSITIONS BETWEEN WALKS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES (1/4 IN. MAX.).
  - COORDINATE ALL TRAFFIC CONTROL DEVICES, UTILITY LOCATIONS, SIGNS, STREET FURNITURE AND DRAINAGE TO ENSURE A CONTINUOUS PEDESTRIAN ACCESS ROUTE AT ALL CURB RAMP LOCATIONS. GUIDANCE FOR CROSSWALK MARKINGS AND TRAFFIC CONTROL DEVICES IS PROVIDED IN THE MUTCO. DRAINAGE GRATES AND UTILITY ACCESS COVERS ARE NOT ALLOWED IN RAMP WALKING SURFACES OR LANDINGS.
  - WHERE FEASIBLE, E.G. WHERE R.O.W. WIDTH PROVIDES SUFFICIENT SPACE TO INSTALL SIDEWALKS SET BACK FROM THE CURBS, RAMP TYPES 2A AND 3A SHOULD BE INSTALLED AS THE SEPARATION PROVIDED BETWEEN SIDEWALK AND CURB OR TRAVELWAY MAKE FOR AS GREATER PEDESTRIAN SAFETY AND COMFORT.
  - AT MARKED CROSSINGS, THE FULL WIDTH OF THE RAMP SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS. THE SIDES OF THE RAMP (THE FLARES) NEED NOT BE WITHIN THE WIDTH OF THE MARKINGS.
  - SLOPES ON BLENDED TRANSITIONS SHALL NOT BE STEEPER THAN 2% (1:50) IN ANY DIRECTION.

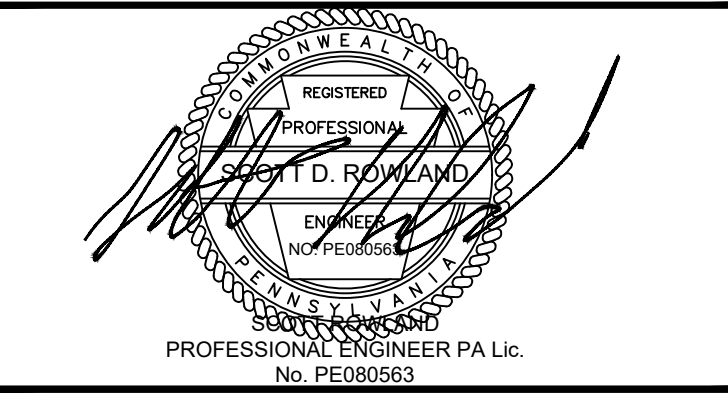
**2. ACCESSIBLE CURB RAMP**



DATE OF REVISION    MADE BY    CHECKED BY    DESCRIPTION

**4. TRENCH REPAVING DETAILS**

Date	Description	No.
03/24/2021	PERMIT SET	
Revisions		



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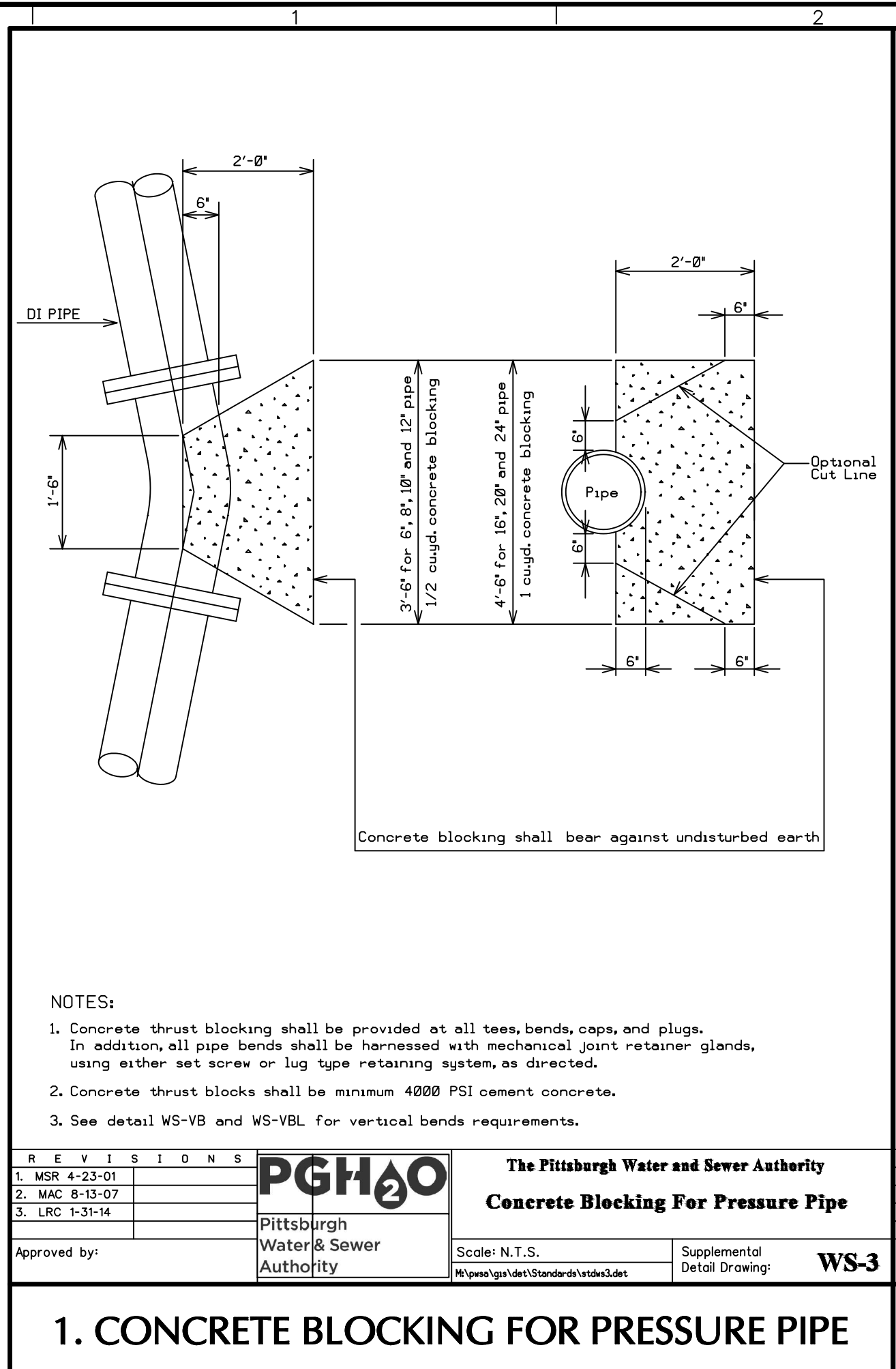
Project  
**3213-3215 PENN AVENUE**  
 PN: 25-D-61 & 25-D-68  
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 ALLEGHENY COUNTY PENNSYLVANIA

Drawing Title  
**SITE DETAILS**

Project No.  
**250107301**  
 Date  
**January 29, 2021**  
 Drawn By  
**RSG**  
 Checked By  
**BDH**

Drawing No.  
**CS502**

Project No. 250107301 © 2020 Langan



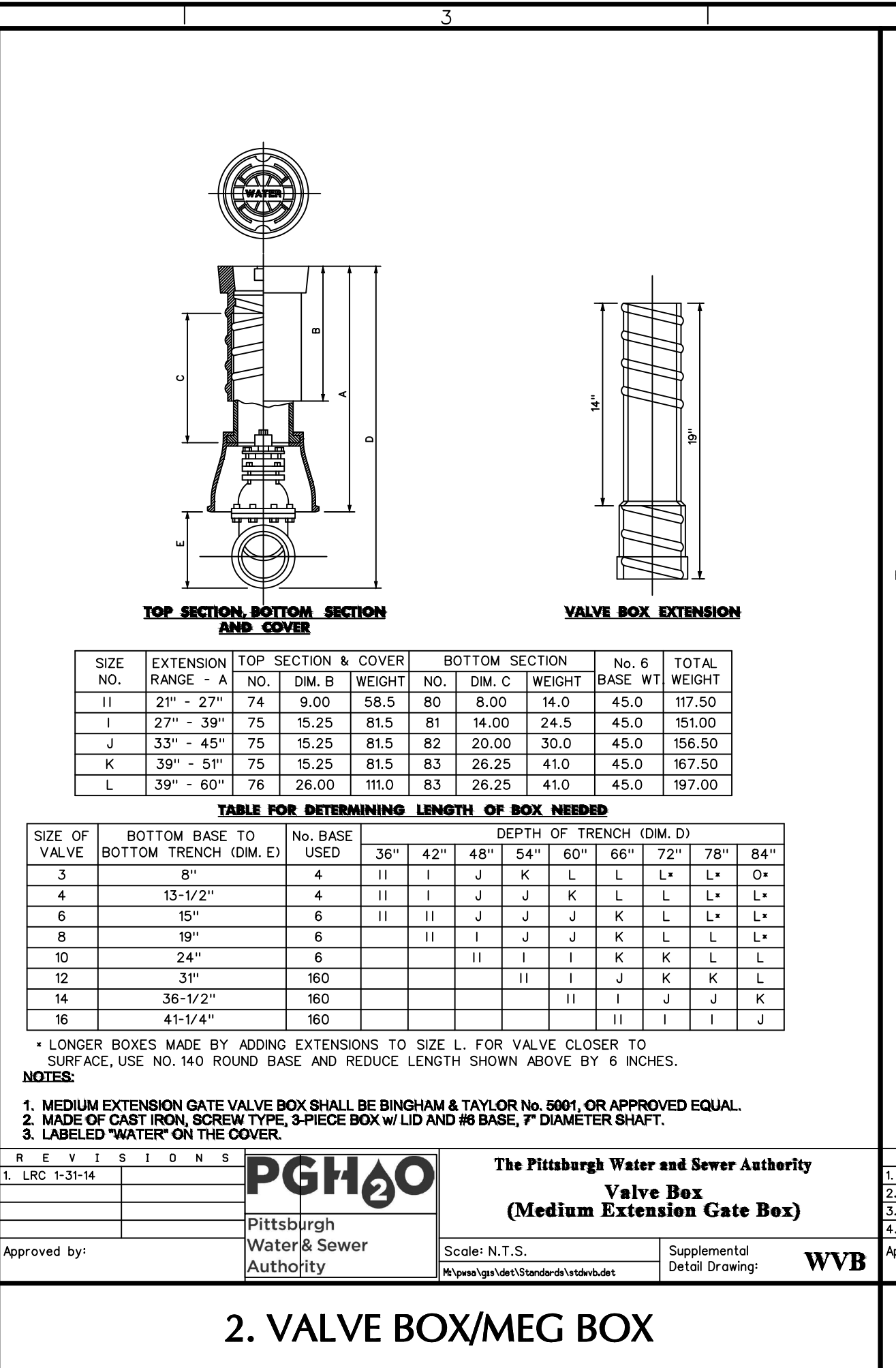
REVISIONS

1.	MSR	4-23-01	
2.	MAC	8-13-07	
3.	LRG	1-31-14	

Approved by: [Signature]

**PGH&O** The Pittsburgh Water and Sewer Authority  
**Concrete Blocking For Pressure Pipe**  
 Scale: N.T.S. Supplemental Detail Drawing: **WS-3**

**1. CONCRETE BLOCKING FOR PRESSURE PIPE**



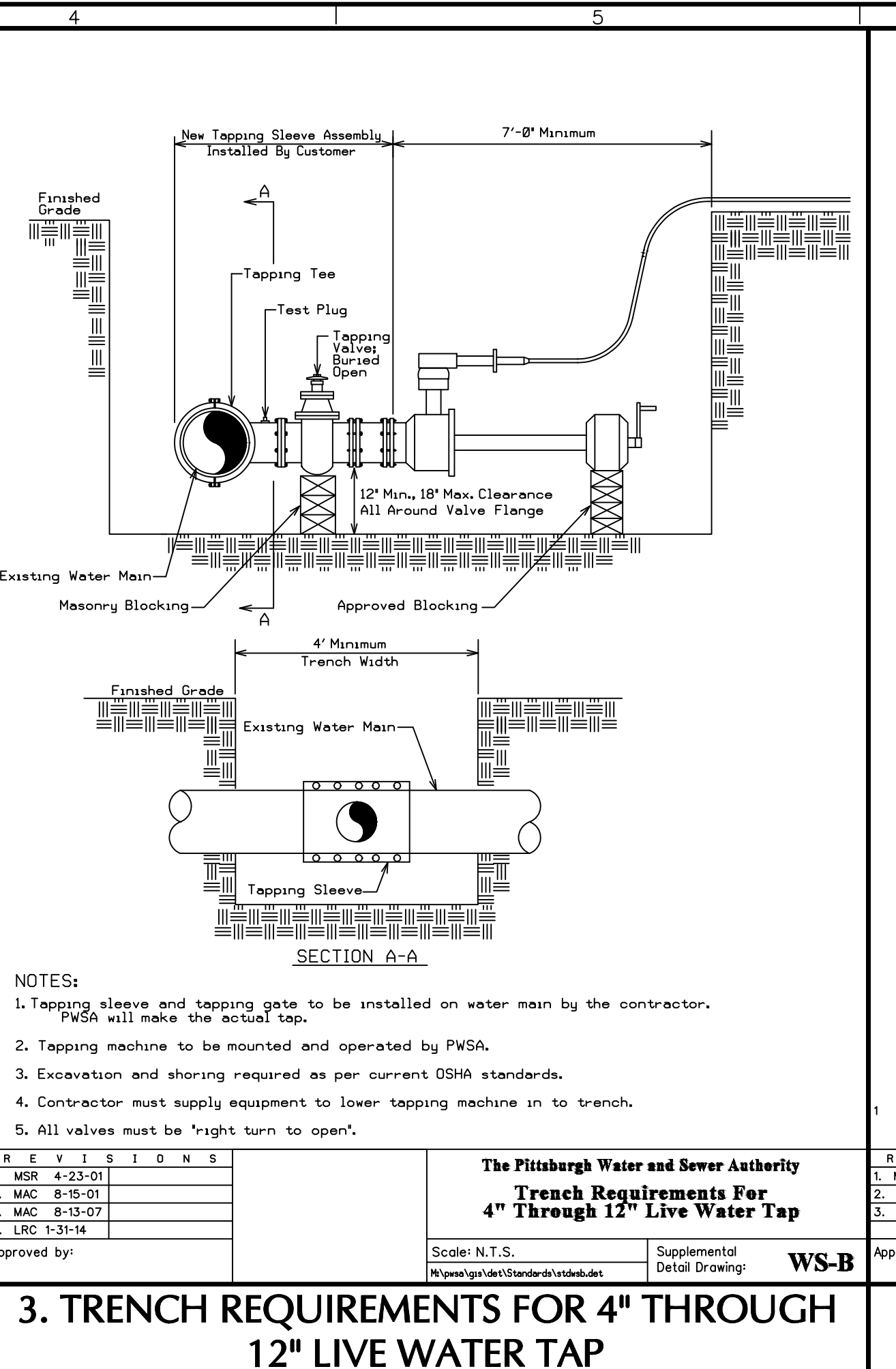
REVISIONS

1.	LRG	1-31-14	
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Approved by: [Signature]

**PGH&O** The Pittsburgh Water and Sewer Authority  
**Valve Box (Medium Extension Gate Box)**  
 Scale: N.T.S. Supplemental Detail Drawing: **WVB**

**2. VALVE BOX/MEG BOX**



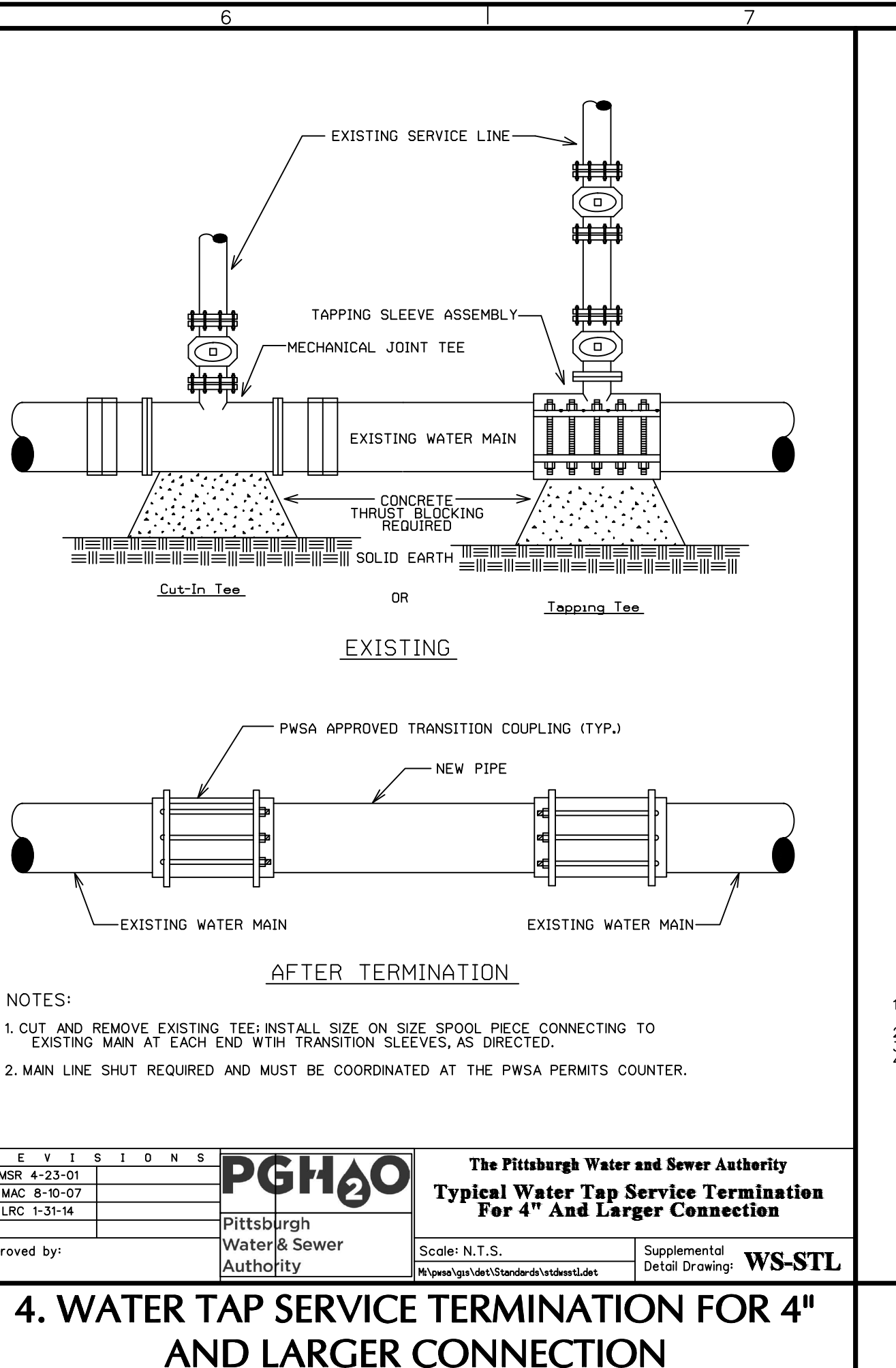
REVISIONS

1.	MSR	4-23-01	
2.	MAC	8-15-01	
3.	MAC	8-13-07	
4.	LRG	1-31-14	

Approved by: [Signature]

The Pittsburgh Water and Sewer Authority  
**Trench Requirements For 4" Through 12" Live Water Tap**  
 Scale: N.T.S. Supplemental Detail Drawing: **WS-B**

**3. TRENCH REQUIREMENTS FOR 4" THROUGH 12" LIVE WATER TAP**



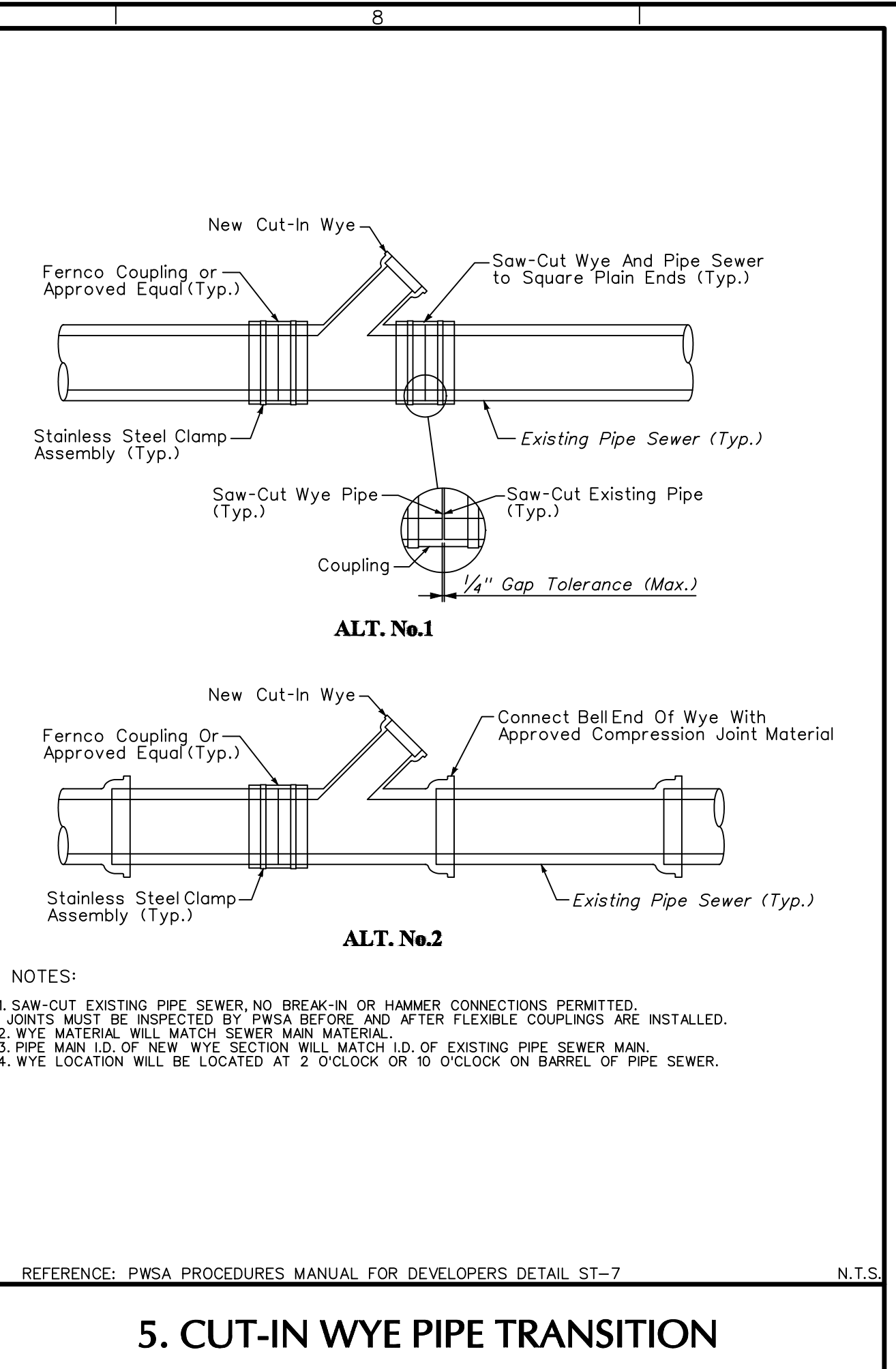
REVISIONS

1.	MSR	4-23-01	
2.	MAC	8-10-07	
3.	LRG	1-31-14	

Approved by: [Signature]

The Pittsburgh Water and Sewer Authority  
**Typical Water Tap Service Termination For 4" And Larger Connection**  
 Scale: N.T.S. Supplemental Detail Drawing: **WS-STL**

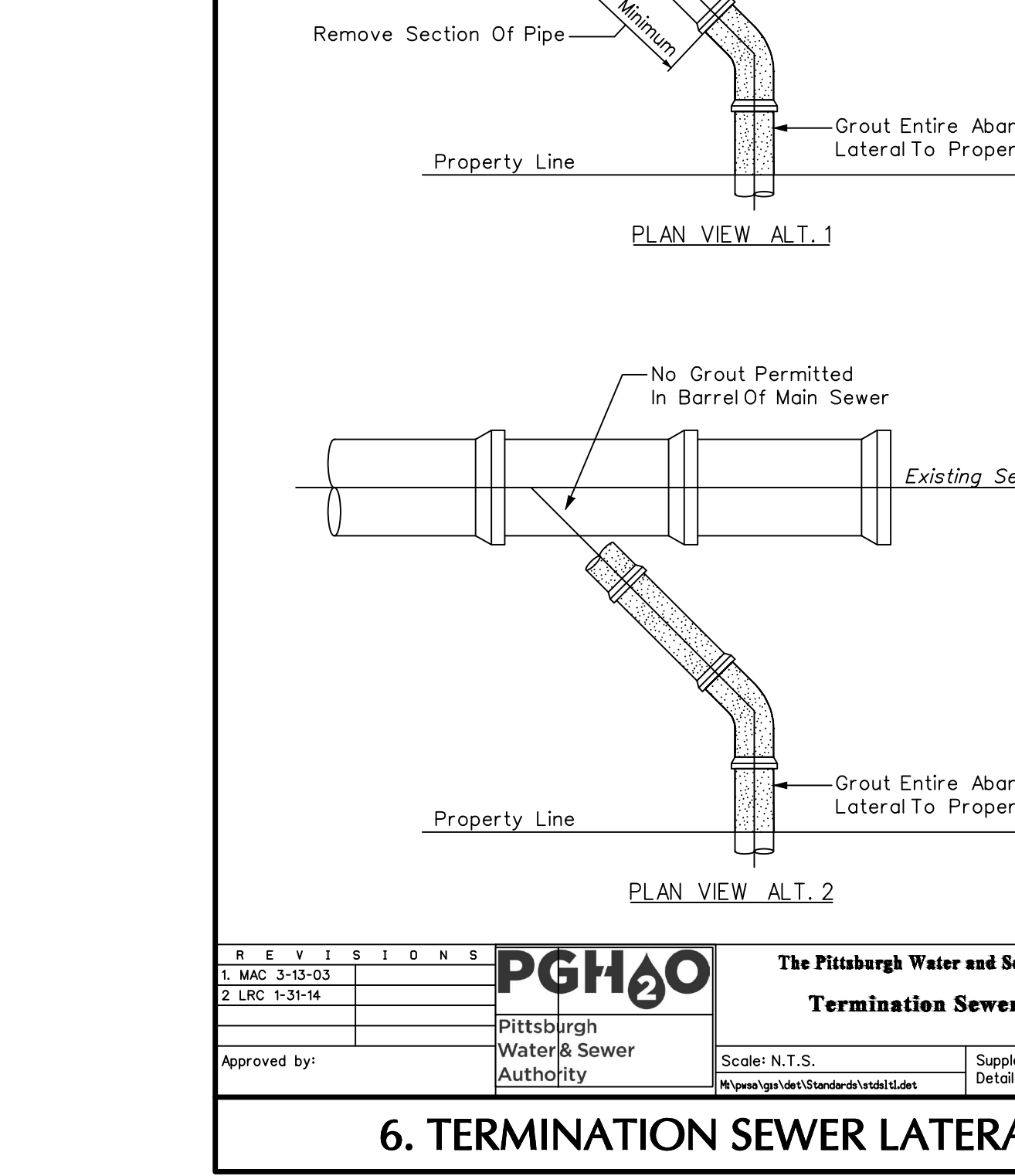
**4. WATER TAP SERVICE TERMINATION FOR 4" AND LARGER CONNECTION**



REFERENCE: PWSA PROCEDURES MANUAL FOR DEVELOPERS DETAIL ST-7

N.T.S.

**5. CUT-IN WYE PIPE TRANSITION**



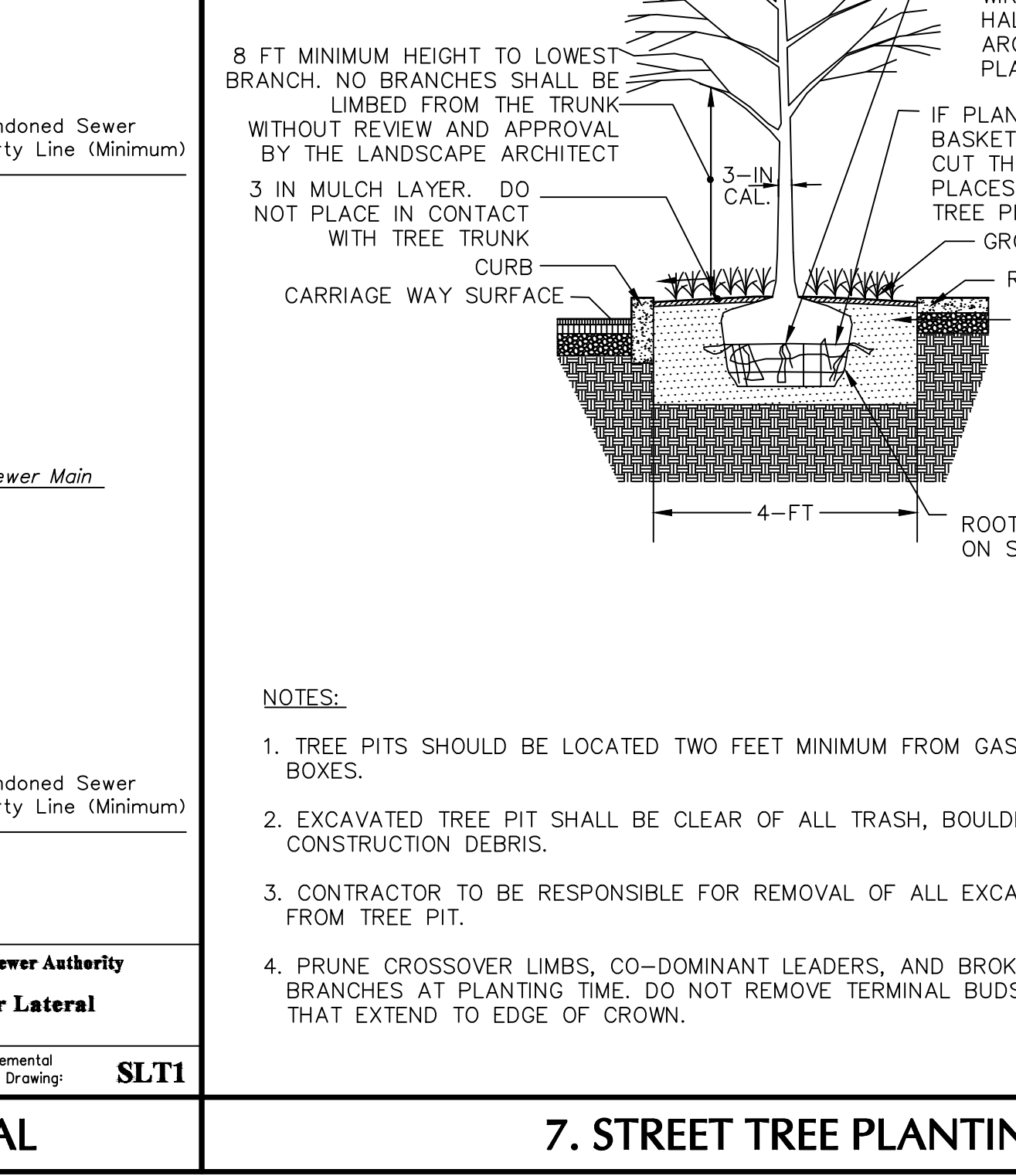
REVISIONS

1.	MAC	3-13-03	
2.	LRG	1-31-14	

Approved by: [Signature]

**PGH&O** The Pittsburgh Water and Sewer Authority  
**Termination Sewer Lateral**  
 Scale: N.T.S. Supplemental Detail Drawing: **SLT1**

**6. TERMINATION SEWER LATERAL**

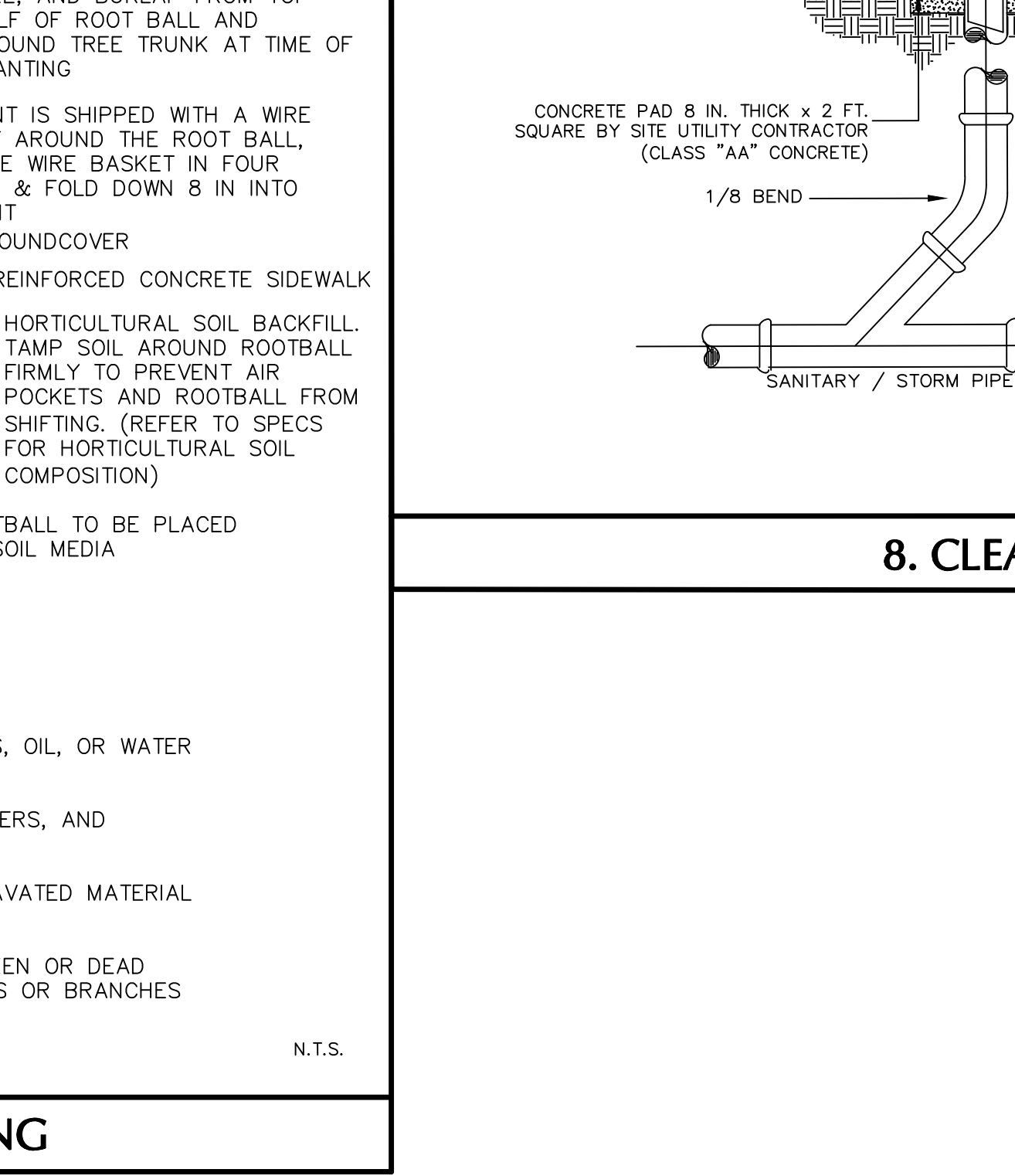


NOTES:

- TREE PITS SHOULD BE LOCATED TWO FEET MINIMUM FROM GAS, OIL, OR WATER BOXES.
- EXCAVATED TREE PIT SHALL BE CLEAR OF ALL TRASH, BOULDERS, AND CONSTRUCTION DEBRIS.
- CONTRACTOR TO BE RESPONSIBLE FOR REMOVAL OF ALL EXCAVATED MATERIAL FROM TREE PIT.
- PRUNE CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES AT PLANTING TIME. DO NOT REMOVE TERMINAL BUDS OR BRANCHES THAT EXTEND TO EDGE OF CROWN.

N.T.S.

**7. STREET TREE PLANTING**

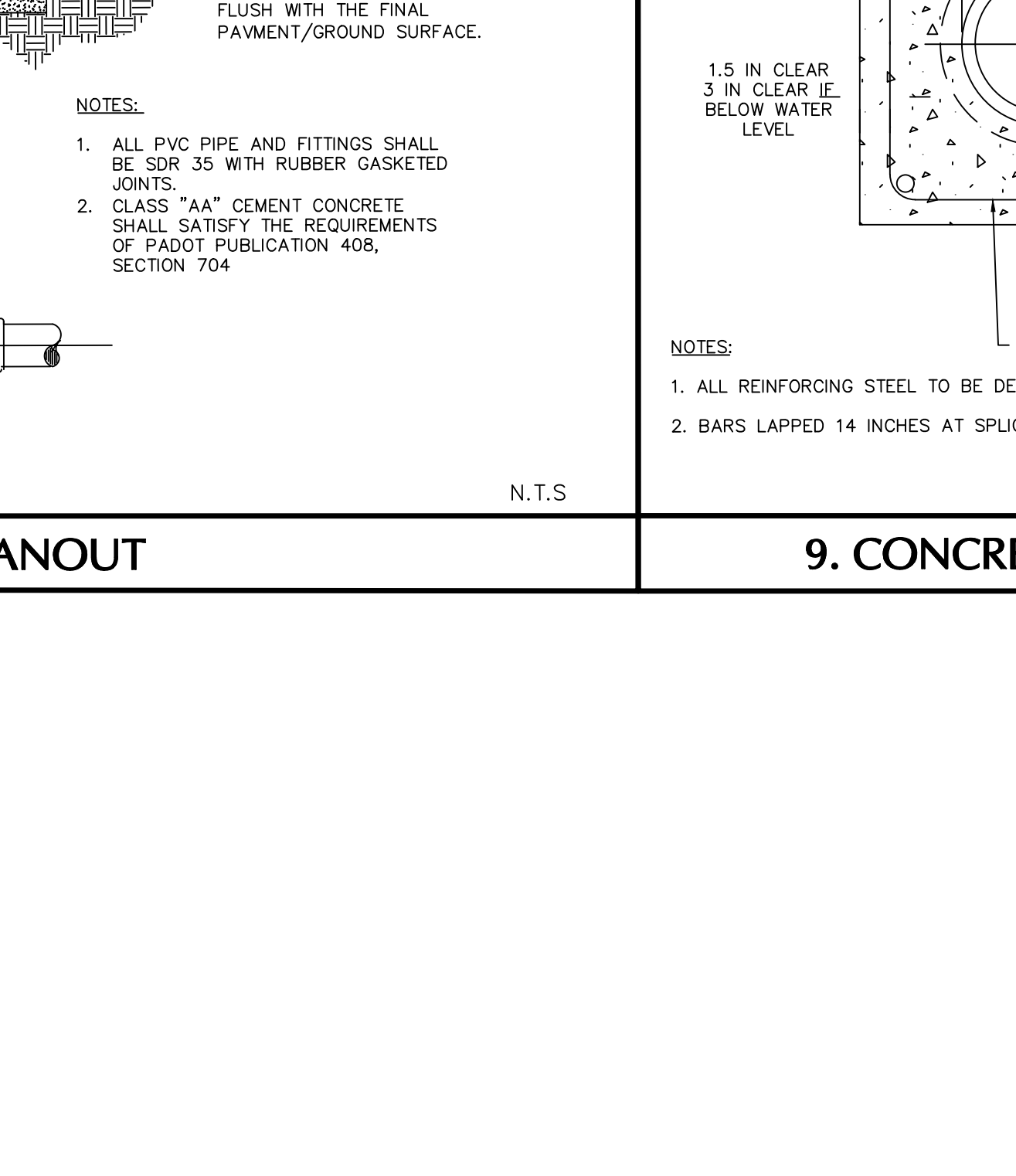


NOTES:

- ALL PVC PIPE AND FITTINGS SHALL BE SDR 35 WITH RUBBER GASKETED JOINTS.
- CLASS "AA" CEMENT CONCRETE SHALL SATISFY THE REQUIREMENTS OF PDOT PUBLICATION 408, SECTION 704.

N.T.S.

**8. CLEANOUT**



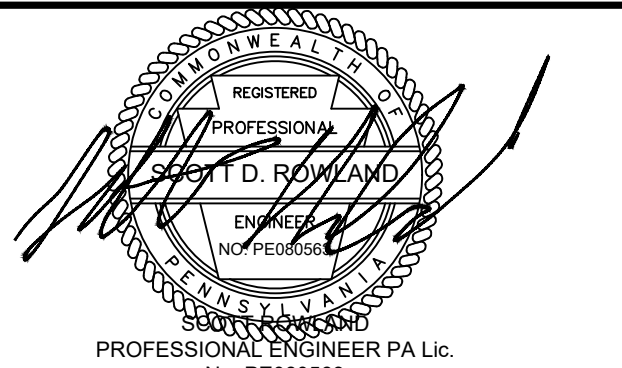
NOTES:

- ALL REINFORCING STEEL TO BE DEFORMED.
- BARS LAPPED 14 INCHES AT SPLICES.

N.T.S.

**9. CONCRETE ENCASEMENT**

Date	Description	No.
Revisions		



**LANGAN**  
 Langan Engineering and Environmental Services, Inc.  
 2400 Ansys Drive, Suite 403  
 Canonsburg, PA 15317  
 T: 724.514.5100 F: 724.514.5101 www.langan.com

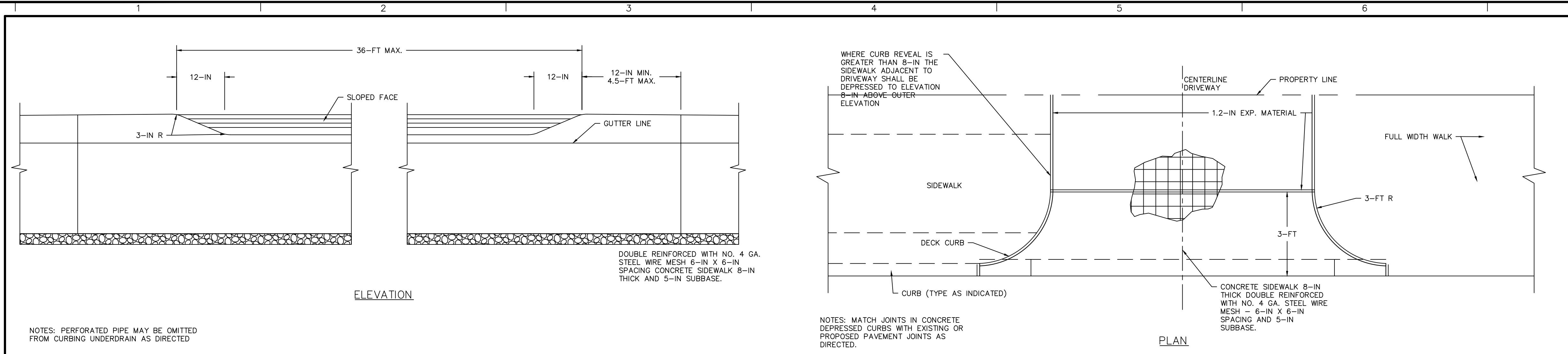
Project  
**3213-3215 PENN AVENUE**  
 PN: 25-D-61 & 25-D-68  
 PITTSBURGH  
 ALLEGHENY COUNTY PENNSYLVANIA

Drawing Title  
**SITE DETAILS**

Project No. **250107301**  
 Date **January 29, 2021**  
 Drawn By **RSG**  
 Checked By **BDH**

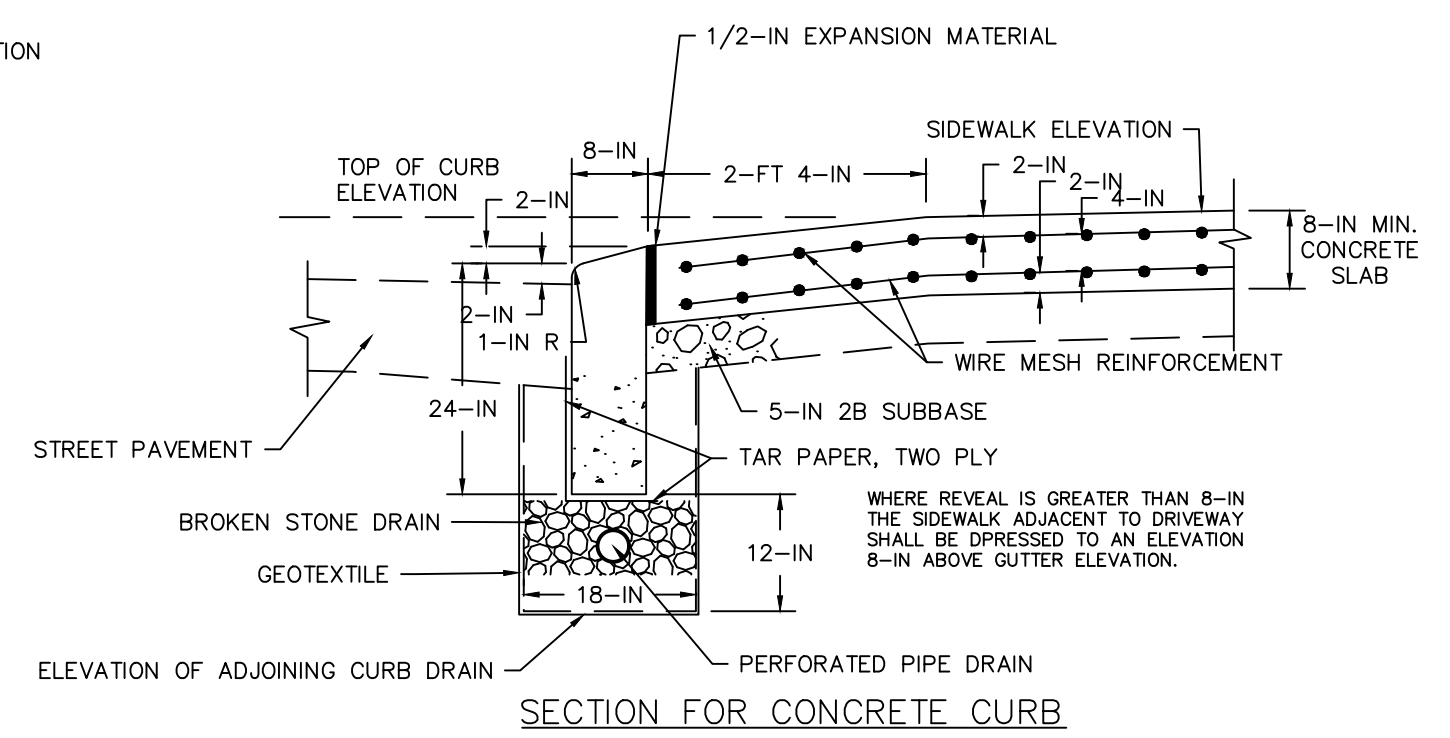
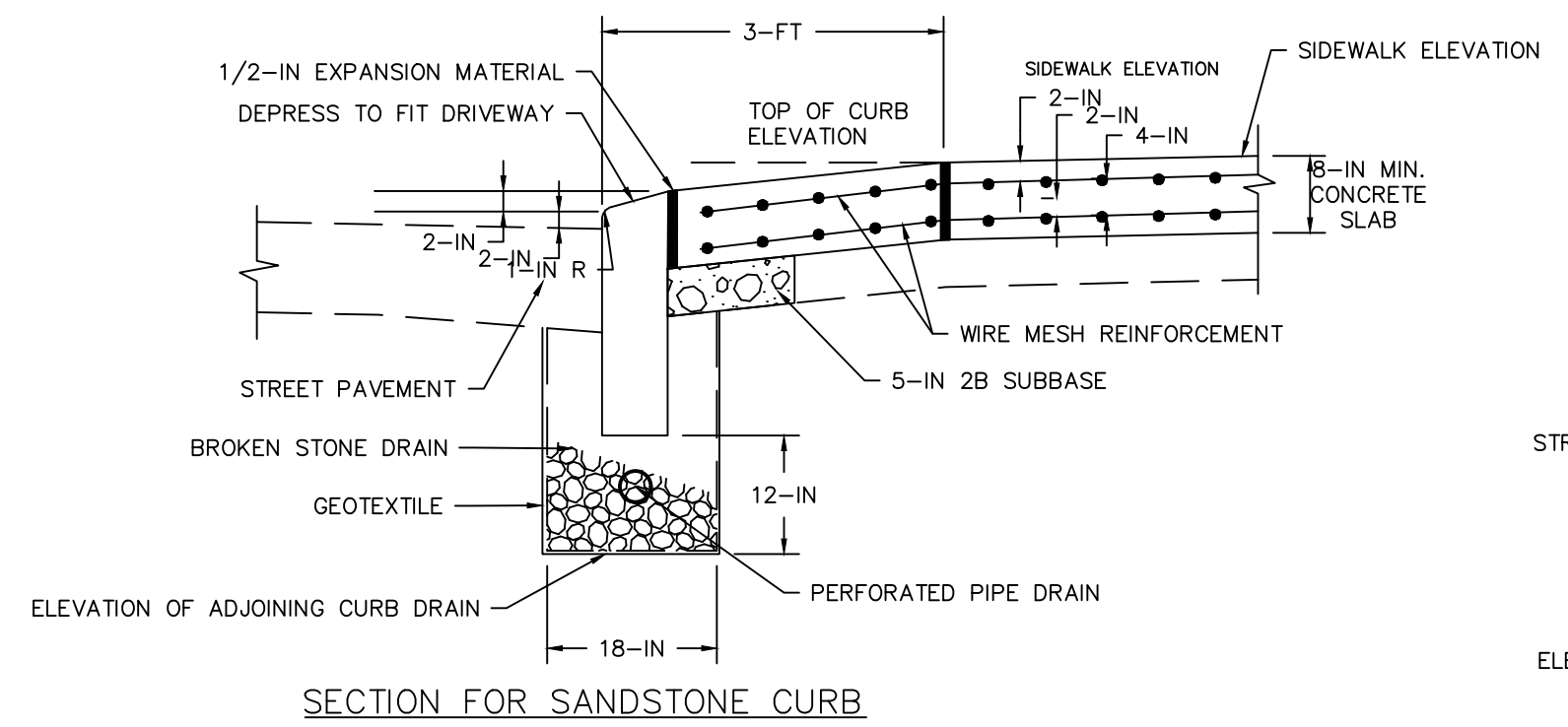
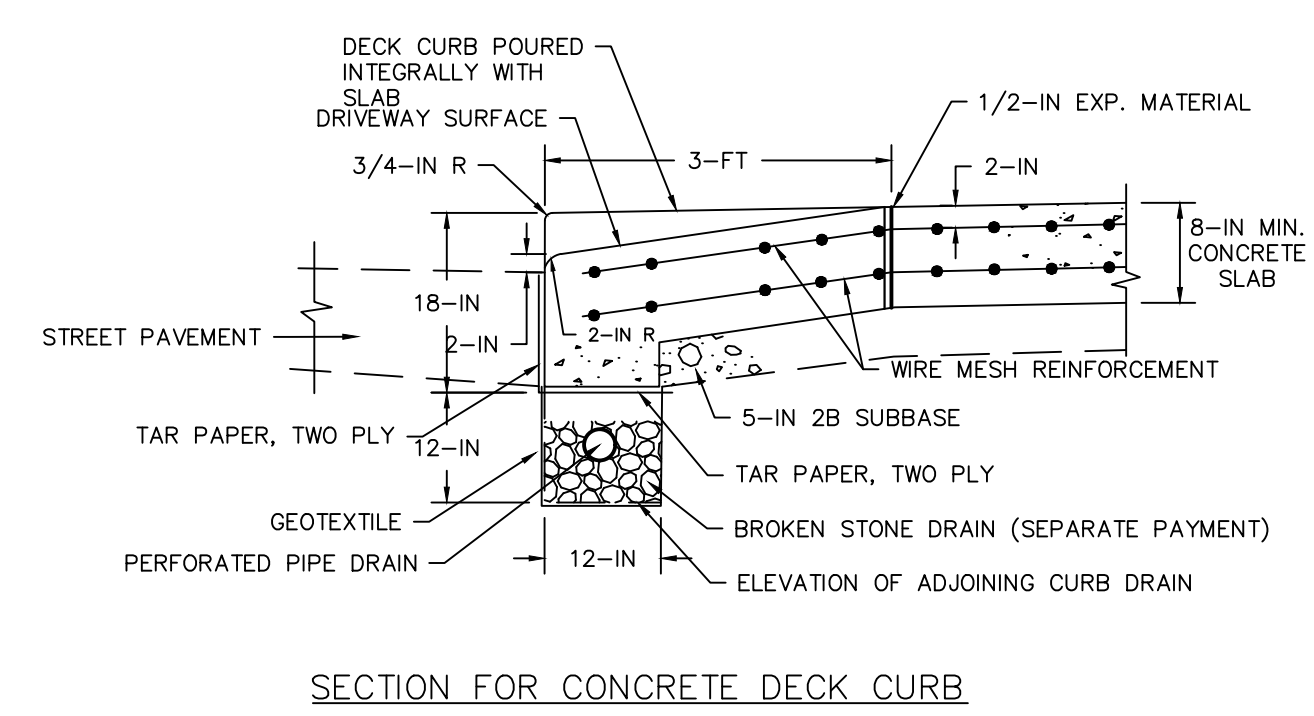
Drawing No. **CS503**





NOTES: PERFORATED PIPE MAY BE OMITTED FROM CURBING UNDERDRAIN AS DIRECTED

NOTES: MATCH JOINTS IN CONCRETE DEPRESSED CURBS WITH EXISTING OR PROPOSED PAVEMENT JOINTS AS DIRECTED.



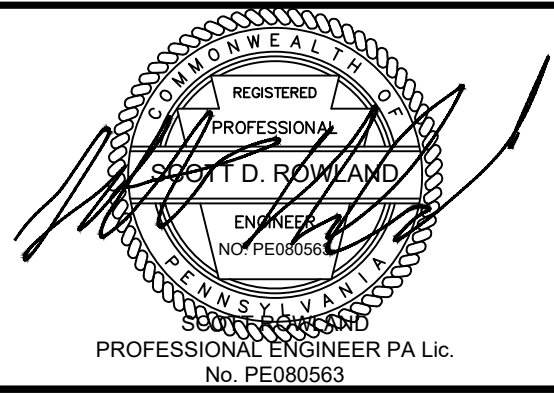
REFERENCE: CITY OF PITTSBURGH STANDARDS OF CONSTRUCTION

N.T.S.

**1. DEPRESSED CURBS FOR COMMERCIAL GRADE DRIVEWAYS**

03/24/2021 - PERMIT SET

Date	Description	No.
Revisions		



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**3213-3215 PENN AVENUE**  
 PN: 25-D-61 & 25-D-68  
 PITTSBURGH  
 ALLEGHENY COUNTY PENNSYLVANIA

Drawing Title  
**SITE DETAILS**

Project No.	250107301	Drawing No. <b>CS504</b>
Date	January 29, 2021	
Drawn By	RSG	
Checked By	BDH	

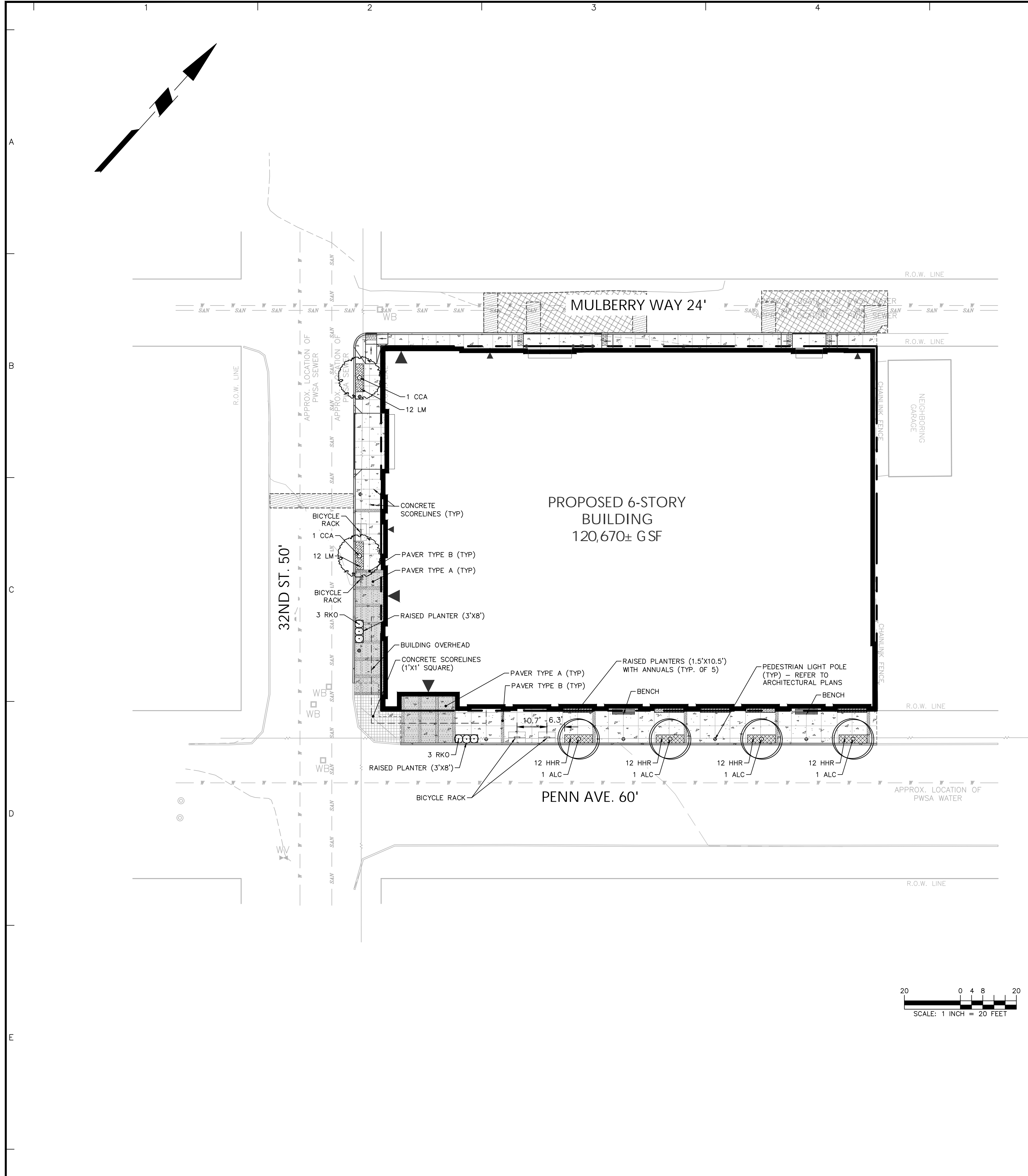
### LANDSCAPE PLANTING NOTES

- NAMES OF PLANTS AS DESCRIBED ON THIS PLAN CONFORM TO THOSE GIVEN IN "STANDARDIZED PLANT NAMES", 1942 EDITION, PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE. NAMES OF PLANT VARIETIES NOT INCLUDED THEREIN CONFORM TO NAMES GENERALLY ACCEPTED IN NURSERY TRADE.
- ALL EXPOSED GROUND SURFACES THAT ARE NOT PAVED WITHIN THE CONTRACT LIMIT LINE, AND THAT ARE NOT COVERED BY LANDSCAPE PLANTING OR SEEDING AS SPECIFIED, SHALL BE COVERED BY A NATURAL MULCH THAT WILL PREVENT SOIL EROSION AND THE EMANATION OF DUST..
- NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR PROJECT ENGINEER.
- STANDARDS FOR TYPE, SPREAD, HEIGHT, ROOT BALL AND QUALITY OF NEW PLANT MATERIAL SHALL BE IN ACCORDANCE WITH GUIDELINES AS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN. PLANT MATERIAL SHALL HAVE NORMAL HABIT OF GROWTH AND BE HEALTHY, VIGOROUS, AND FREE FROM DISEASES AND INSECT INFESTATION.
- NEW PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE SET PLUMB AND SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING. PLANT MATERIAL OF THE SAME SPECIES AND SPECIFIED AS THE SAME SIZE SHOULD BE SIMILAR IN SHAPE, COLOR AND HABIT. THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REJECT PLANT MATERIAL THAT DOES NOT CONFORM TO THE TYPICAL OR SPECIFIED HABIT OF THAT SPECIES.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITY AND SEWER LINES PRIOR TO THE START OF EXCAVATION ACTIVITIES. NOTIFY THE PROJECT ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS WITH PROPOSED PLANTING LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE.
- THE CONTRACTOR SHALL NOT MAKE SUBSTITUTIONS. IF THE SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, THE CONTRACTOR SHALL SUBMIT PROOF OF NON-AVAILABILITY TO THE LANDSCAPE ARCHITECT AND OWNER, TOGETHER WITH A WRITTEN PROPOSAL FOR USE OF AN EQUIVALENT MATERIAL.
- LANDSCAPE CONTRACTOR TO STAKE OUT PLANTING LOCATIONS, FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR OWNER BEFORE PLANTING WORK BEGINS. THE LANDSCAPE ARCHITECT AND/OR OWNER SHALL DIRECT THE CONTRACTOR IN THE FINAL PLACEMENT OF ALL PLANT MATERIAL AND LOCATION OF PLANTING BEDS TO ENSURE COMPLIANCE WITH DESIGN INTENT UNLESS OTHERWISE INSTRUCTED.
- THE LANDSCAPE ARCHITECT MAY REVIEW PLANT MATERIALS AT THE SITE, BEFORE PLANTING, FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY. THE LANDSCAPE ARCHITECT RETAINS THE RIGHT TO FURTHER REVIEW PLANT MATERIALS FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEM, INSECTS, INJURIES, AND LATENT DEFECTS, AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. THE CONTRACTOR SHALL REMOVE REJECTED PLANT MATERIALS IMMEDIATELY FROM PROJECT SITE AS DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- THE PROJECT LANDSCAPE ARCHITECT SHALL CERTIFY THAT THE LANDSCAPE PLAN HAS BEEN INSTALLED PER THE CONTRACT DOCUMENTS ONCE THE PROJECT HAS REACHED SUBSTANTIAL COMPLETION.
- DELIVERY, STORAGE, AND HANDLING
  - PACKAGED MATERIALS: PACKAGED MATERIALS SHALL BE DELIVERED IN CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. MATERIALS SHALL BE PROTECTED FROM DETERIORATION DURING DELIVERY, AND WHILE STORED AT SITE.
  - TREES AND SHRUBS: THE CONTRACTOR SHALL PROVIDE TREES AND SHRUBS DUG FOR THE GROWING SEASON FOR WHICH THEY WILL BE PLANTED. DO NOT PRUNE PRIOR TO DELIVERY UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DAMAGE BARK, BREAK BRANCHES, OR DESTROY NATURAL SHAPE. PROVIDE PROTECTIVE COVERING DURING TRANSIT. DO NOT DROP BALLED AND BURLAPPED STOCK DURING DELIVERY OR HANDLING.
  - ALL PLANTS SHALL BE BALLED OR BURLAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOTBALL WRAPPING AND BINDING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED FROM THE TOP OF THE BALL AT THE TIME OF PLANTING. IF THE PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, THE WIRE BASKET SHALL BE CUT AND FOLDED DOWN 8 INCHES INTO THE PLANTING HOLE. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE ROOT BALL SHALL BE CUT THROUGH THE SURFACE IN TWO LOCATIONS.
  - THE CONTRACTOR SHALL HAVE TREES AND SHRUBS DELIVERED TO SITE AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN 6 HOURS AFTER DELIVERY, THE CONTRACTOR SHALL SET TREES AND SHRUBS IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE AND KEEP ROOTS MOIST BY COVERING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.
- ALL LANDSCAPED AREAS TO BE CLEARED OF ROCKS, STUMPS, TRASH AND OTHER UNSIGHTLY DEBRIS. ALL FINE GRADED AREAS SHOULD BE HAND RAKED SMOOTH ELIMINATING ANY CLUMPS AND AND UNEVEN SURFACES PRIOR TO PLANTING OR MULCHING.
- ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS, NOTES AND CONTRACT SPECIFICATIONS. THE LANDSCAPE ARCHITECT MAY REVIEW INSTALLATION AND MAINTENANCE PROCEDURES.
- NEW PLANT MATERIAL SHALL BE GUARANTEED TO BE ALIVE AND IN VIGOROUS GROWING CONDITION FOR A PERIOD OF TWO YEARS FOLLOWING ACCEPTANCE BY THE OWNER. PLANT MATERIAL FOUND TO BE UNHEALTHY, DYING OR DEAD DURING THIS PERIOD, SHALL BE REMOVED AND REPLACED IN KIND BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- THE CONTRACTOR SHALL KEEP AREA CLEAN DURING DELIVERY AND INSTALLATION OF PLANT MATERIALS. REMOVE AND DISPOSE OF OFF-SITE ANY ACCUMULATED DEBRIS OR UNUSED MATERIALS. REPAIR DAMAGE TO ADJACENT AREAS CAUSED BY LANDSCAPE INSTALLATION OPERATIONS.
- ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR AS REQUIRED BY SITE AND WEATHER CONDITIONS TO MAINTAIN VIGOROUS AND HEALTHY PLANT GROWTH.
- THE BACKFILL MIXTURE AND SOIL MIXES TO BE INSTALLED PER THE SPECIFICATIONS.
- AFTER PLANT IS PLACED IN TREE PIT LOCATION, ALL TWINE HOLDING ROOT BALL TOGETHER SHOULD BE COMPLETELY REMOVED AND THE BURLAP SHOULD BE PULLED DOWN SO 1/3 OF THE ROOT BALL IS EXPOSED. SYNTHETIC BURLAP SHOULD BE COMPLETELY REMOVED AFTER INSTALLATION.
- MULCH SHOULD NOT BE PILED UP AROUND THE TRUNK OF ANY PLANT MATERIAL. NO MULCH OR TOPSOIL SHOULD BE TOUCHING THE BASE OF THE TRUNK ABOVE THE ROOT COLLAR.
- ALL FENCE INSTALLATION SHALL BE COMPLETED PRIOR TO COMMENCEMENT OF ANY LANDSCAPE PLANTING, LAWN AND GRASSES, OR IRRIGATION WORK.
- FOR ANY DISCREPANCIES BETWEEN THE PLANT SCHEDULE AND PLANTING PLAN THE GRAPHIC QUANTITY SHOWN SHALL GOVERN.
- PLANT MATERIALS SHALL NOT BE PLANTED UNTIL THE FINISHED GRADING HAS BEEN COMPLETED.
- ALL PLANT INSTALLATIONS SHALL BE COMPLETED EITHER BETWEEN APRIL 1 - JUNE 15 OR AUGUST 15 - NOVEMBER 1, UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT. SEE LAWN SEEDING DATES IN SEEDING NOTES.

### PLANT SCHEDULE

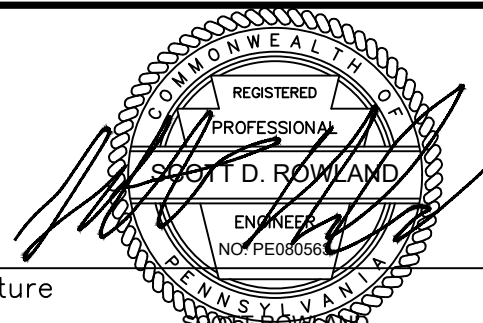
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
<b>SHADE TREE(S)</b>						
CCA	2	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2 1/2-3" CAL.	B+B	-
<b>ORNAMENTAL TREE(S)</b>						
ALC	4	AMELANCHIER LAEVIS 'CUMULUS'	ALLEGHANY SERVICEBERRY	8-10'	B+B	SINGLE STEM
<b>DECIDUOUS SHRUB(S)</b>						
RKO	6	ROSA 'KNOCKOUT'	KNOCKOUT ROSE	18-24"	CONTAINER	-
<b>PERENNIAL(S)</b>						
HHR	48	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	2 GAL.	CONTAINER	spaced @ 18" o.c.
LM	24	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	2 GAL.	CONTAINER	spaced @ 18" o.c.

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE. STREET TREES SELECTED FROM THE RECOMMENDED SPECIES LIST FOR PITTSBURGH'S STREETS FROM THE CITY OF PITTSBURGH FORESTRY DEPARTMENT.



F

Date	Description	No.
Revisions		

  
 Scott D. Rowland  
 PROFESSIONAL ENGINEER PA Lic.  
 No. PE080563

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Project  
**3213-3215 PENN AVENUE**  
 PN: 25-D-61 & 25-D-68  
 PITTSBURGH  
 ALLEGHENY COUNTY PENNSYLVANIA

Drawing Title  
**LANDSCAPE PLAN**

Project No.	250107301	Drawing No.	<b>LP101</b>
Date	03/08/2021		
Drawn By	HMG		
Checked By	WPB		

# PLANTER POT SPECIFICATIONS

## PLANTERS

- SUPPLY AND INSTALL PLANTERS AS SHOWN ON PLAN, DETAILS AND/OR SPECIFICATIONS.
- PROTECT ALL SURROUNDING STRUCTURES AND FINISHES WHEN INSTALLING PLANTERS AND PLANTS. DAMAGE TO SURROUNDING STRUCTURES AND FINISHES SHALL BE REPAIRED AT NO ADDITIONAL COST TO OWNER PRIOR TO FINAL ACCEPTANCE.
- SHIM PLANTER POTS ON DOWNHILL SIDE TO LEVEL TOP OF ALL PLANTER POTS. RECESS SHIMS FROM VIEW.
- THOROUGHLY CLEAN THE INSIDE OF ALL PLANTER POTS PRIOR TO ADDING PLANTING SOIL MEDIUM.
- PLACE SCREENING OVER ALL DRAINAGE HOLES TO PREVENT THE LOSS OF SOIL AND DRAINAGE MATERIAL FROM PLANTER POTS. CLOSE UNNECESSARY HOLES WITH PVC DISKS AFFIXED WITH SILICONE CAULK.
- DRAINAGE LAYER: PLACE A 4-6 INCH LAYER OF 3/4 INCH CLEAN CRUSHED STONE AT THE BOTTOM OF ALL PLANTER POTS.
- SOIL SEPARATION FABRIC SHALL BE CUT TO FIT DIRECTLY OVER THE TOP OF THE DRAINAGE LAYER TO PREVENT SOIL INFILTRATING DOWN INTO THE DRAINAGE MATERIAL.
- PLANTING SOIL MEDIUM SHALL BE PRO-MIX BX MYCORRHIZAE. AXIS (A CALCINED DIATOMACEOUS EARTH) SHALL BE ADDED TO PRO-MIX AT A RATE OF 5% BY REGULAR VOLUME. MOISTEN PLANTING SOIL MEDIUM THOROUGHLY BEFORE PLANTING.
- ALL BARE SOIL IN PLANTERS SHALL BE COVERED WITH "RIGHT DRESS ROOT MULCH", FRESH SHEET MOSS, OR EQUALLY FINE-TEXTURED MULCH, AND THOROUGHLY WATERED. TAPER MOSS TO SOIL LEVEL AT CROWN OR TRUNK OF EACH PLANT.
- IRRIGATION SHALL BE PROVIDED IN EACH PLANTER USING THE MPS SECRET SOAKER SYSTEM, MANUFACTURED BY THE ST. GEORGE CO, P.O. 430, 20 CONSOLIDATED DR, PARIS, ONTARIO, CANADA N3L 3T5, PH: (519) 442-2046, OR APPROVED EQUAL. INSTALLATION TO BE PER MANUFACTURER'S SPECIFICATIONS.
- THOROUGHLY WATER EACH PLANTER POT IMMEDIATELY FOLLOWING PLANTING. IF NECESSARY, ADDITIONAL WATERING WILL BE REQUIRED TO KEEP PLANTS IN HEALTHY CONDITION UNTIL WORK IS COMPLETED AND ACCEPTED.
- CLEAN ALL PLANTER POTS IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND BEST PRACTICES PRIOR TO FINAL INSPECTION.
- REPAIR MINOR NICKS AND SCRAPES TO PLANTER POTS FINISH IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND BEST PRACTICES PRIOR TO FINAL INSPECTION.
- REPLACE PLANTS THAT ARE DAMAGED, DYING OR DEEMED TO BE IN AN UNHEALTHY STATE AT THE TIME OF THE FINAL INSPECTION BY THE PROJECT LANDSCAPE ARCHITECT AND/OR OWNER.
- REPLACE PLANTER POTS, IN KIND, THAT ARE DAMAGED BEYOND MINOR NICKS AND SCRAPES WHICH CAN BE FIXED WITH TOUCH-UPS AND REPAIRS RECOMMENDED BY THE MANUFACTURER.

## PLANTER POT MAINTENANCE

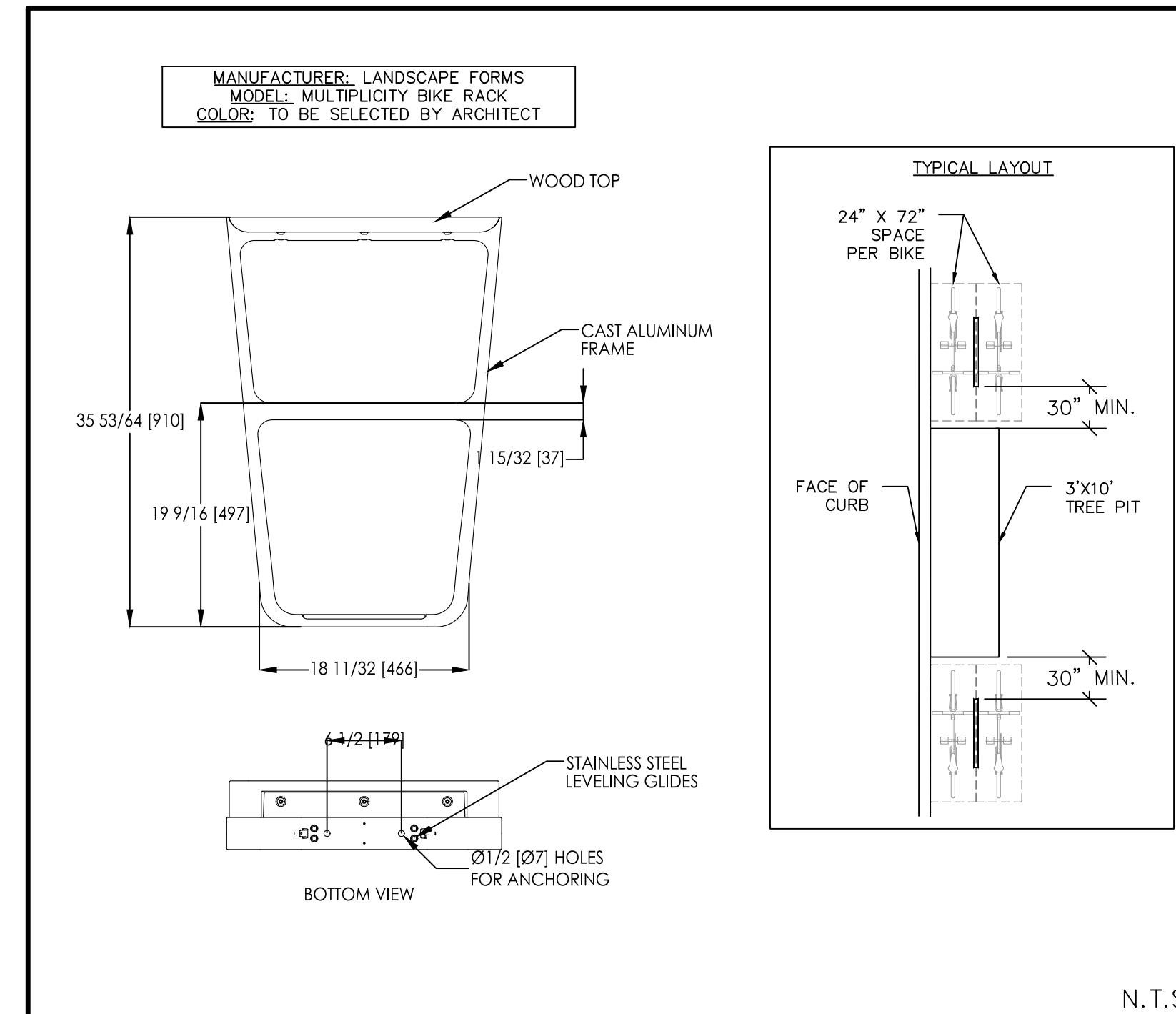
- ALL PLANTER POTS ARE TO BE WATERED IN ACCORDANCE WITH PLANT REQUIREMENTS AND ADJUSTED TO ACCOMMODATE SEASONAL, WEATHER AND MICROCLIMATIC CONDITIONS.
- FERTILIZE PLANTS AS REQUIRED TO MAINTAIN OPTIMUM HEALTH.
- CONTROL PESTS AND DISEASES THROUGH THE APPLICATION OF INTEGRATED PEST MANAGEMENT TECHNIQUES. ONLY APPLY CONTROLS IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
- DRY AND CLEAN ALL SPILL, DRIPS, ETC. RESULTING FROM WATERING, PEST MANAGEMENT AND FERTILIZING PRACTICES PRIOR TO COMPLETING MAINTENANCE VISIT.
- CLEAN AND DRY PLANTER POTS AND SAUCERS, IF APPLICABLE, AND SIDEWALKS ADJACENT TO PLANTER POTS WEEKLY TO PREVENT THE BUILD-UP OF STAGNANT WATER OR WATER STAINS.
- ONLY IF THE PLANTING DESIGN WITHIN AN INDIVIDUAL PLANTER POT IS PERMANENT AND SYMMETRICAL SHALL THE PLANTER POT BE TURNED REGULARLY TO BALANCE PLANT EXPOSURE TO SUNLIGHT AND MINIMIZE THE EFFECTS OF PHOTOTROPISM. OTHERWISE, THE PLANTER POT SHALL REMAIN FIXED IN PLACE.
- REMOVAL AND REPLACEMENT OF SEASONAL PLANTS AS SCHEDULED, AND ANY NECESSARY MID-SEASON REPLACEMENTS OF DEAD/DYING, UNSIGHTLY OR MISSING SEASONAL PLANTS SHALL BE COMPLETED IN ACCORDANCE WITH THESE NOTES AND PLANS AND/OR SPECIFICATIONS.

## SEASONAL PLANTINGS IN PLANTER POTS:

- IN THE CASE OF A SEASONAL PLANTING PROGRAM IN THE PLANTER POTS, COMPLETELY REMOVE ALL PLANTS AND ROOTS FROM THE PREVIOUS SEASON'S DISPLAY PRIOR TO INSTALLING THE NEXT SEASON'S PLANT MATERIAL, BACKFILLING WITH NEW PLANTING SOIL MEDIUM AND APPLYING A FRESH MULCH AS DESCRIBED HEREIN.
- THE SEASONAL PLANTING SCHEDULE, SELECTION OF PLANT SPECIES PER LOCAL AVAILABILITY, AND ULTIMATE PLANTING DESIGNS FOR EACH SEASON WILL BE AS DETERMINED BY THE OWNER AND PLANTER POT MAINTENANCE CONTRACTOR.
- TYPICAL SEASONAL DATES ARE AS FOLLOWS:
  - SPRING - APRIL 15 TO JUNE 1
  - SUMMER - JUNE 1 TO SEPTEMBER 15
  - FALL - SEPTEMBER 15 TO DECEMBER 1
  - WINTER - DECEMBER 1 TO APRIL 15
- AS A BASIS OF DESIGN, THE SEASONAL PLANTINGS FOR THE PLANTER POTS SHALL INCLUDE, BUT NOT BE LIMITED TO SUPPLEMENTING ANNUALS AND GRASSY ACCENTS DURING SUMMER, AUTUMN FLOWERS AND OTHER TEXTURAL FOLIAGE IN THE FALL, AND PAPERBARK BIRCH BRANCHES, EVERGREEN BOUGHS, WINTERBERRY HOLLY, AND JUNIPER BERRIES THROUGH THE WINTER. RED BOWS AND OTHER HOLIDAY ACCENTS SHALL BE LIMITED TO DEC. 1 THRU JAN. 15.

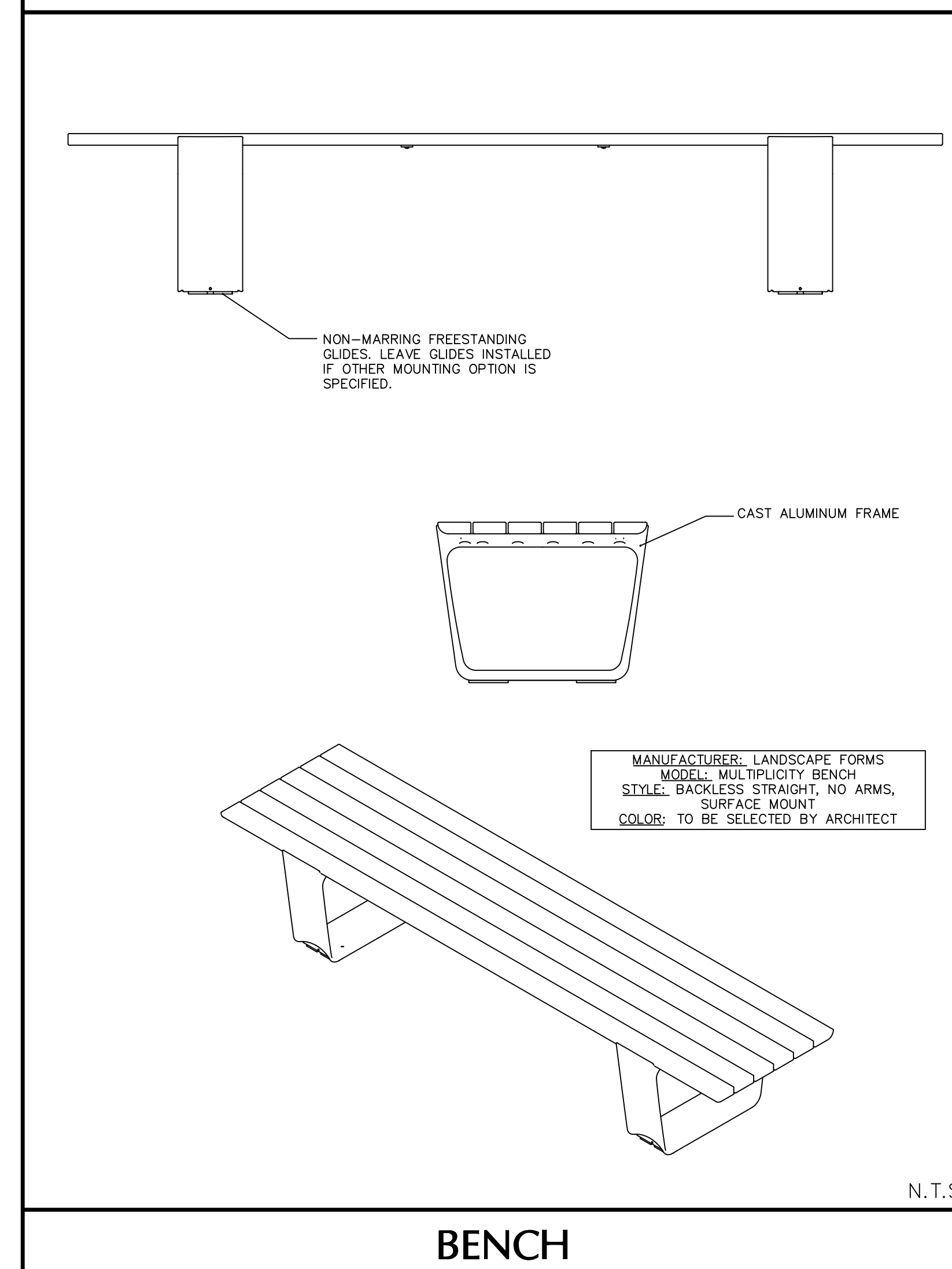
## PRUNING:

- REMOVE DEAD, DAMAGED OR DISEASED BRANCHES AS SOON AS THE CONDITION OCCURS.
- PRUNING CUTS SHOULD BE MADE FLUSH WITH THE ORIGINATING BRANCH OR LIMB.
- PRUNE TO RETAIN THE NATURAL FORM AND INCREASE THE VIGOR OF THE SPECIFIC PLANT.
- WHERE LIKE TYPES OF SHRUBS ARE PLANTED TOGETHER THEY SHOULD BE ALLOWED TO GROW INTO EACH OTHER TO FORM A SOLID MASS RATHER THAN AS INDIVIDUAL SPECIMENS.
- WHERE BRANCHES BEGIN TO ENCOACH ON A SIDEWALK, DRIVEWAY OR ANOTHER PLANT MASS REMOVE INDIVIDUAL BRANCHES CLOSE TO THEIR ORIGIN TO REDUCE THE SIZE OF THE SHRUB WHILE MAINTAINING ITS NATURAL FORM.



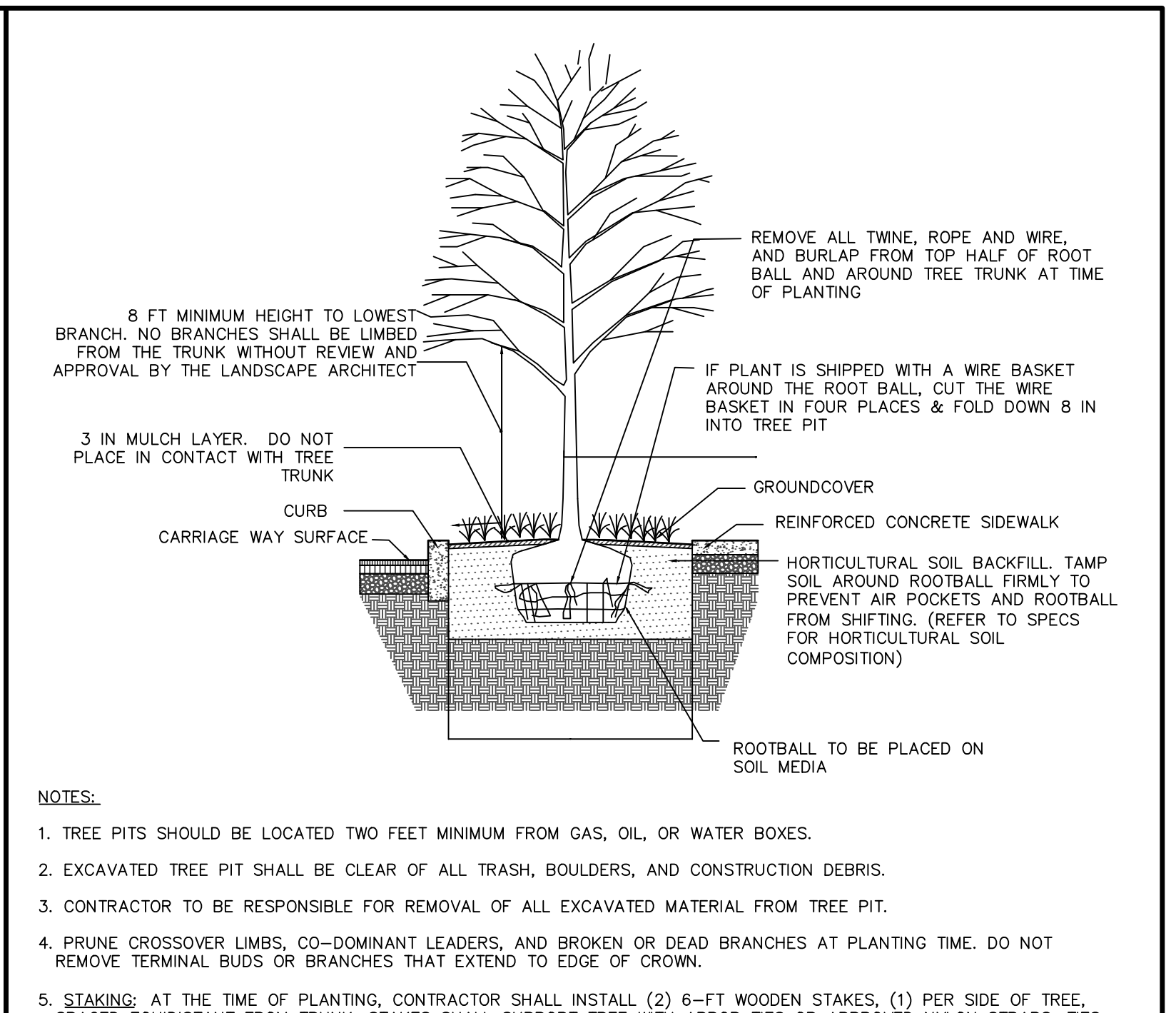
N.T.S.

## BIKE RACK



N.T.S.

## BENCH

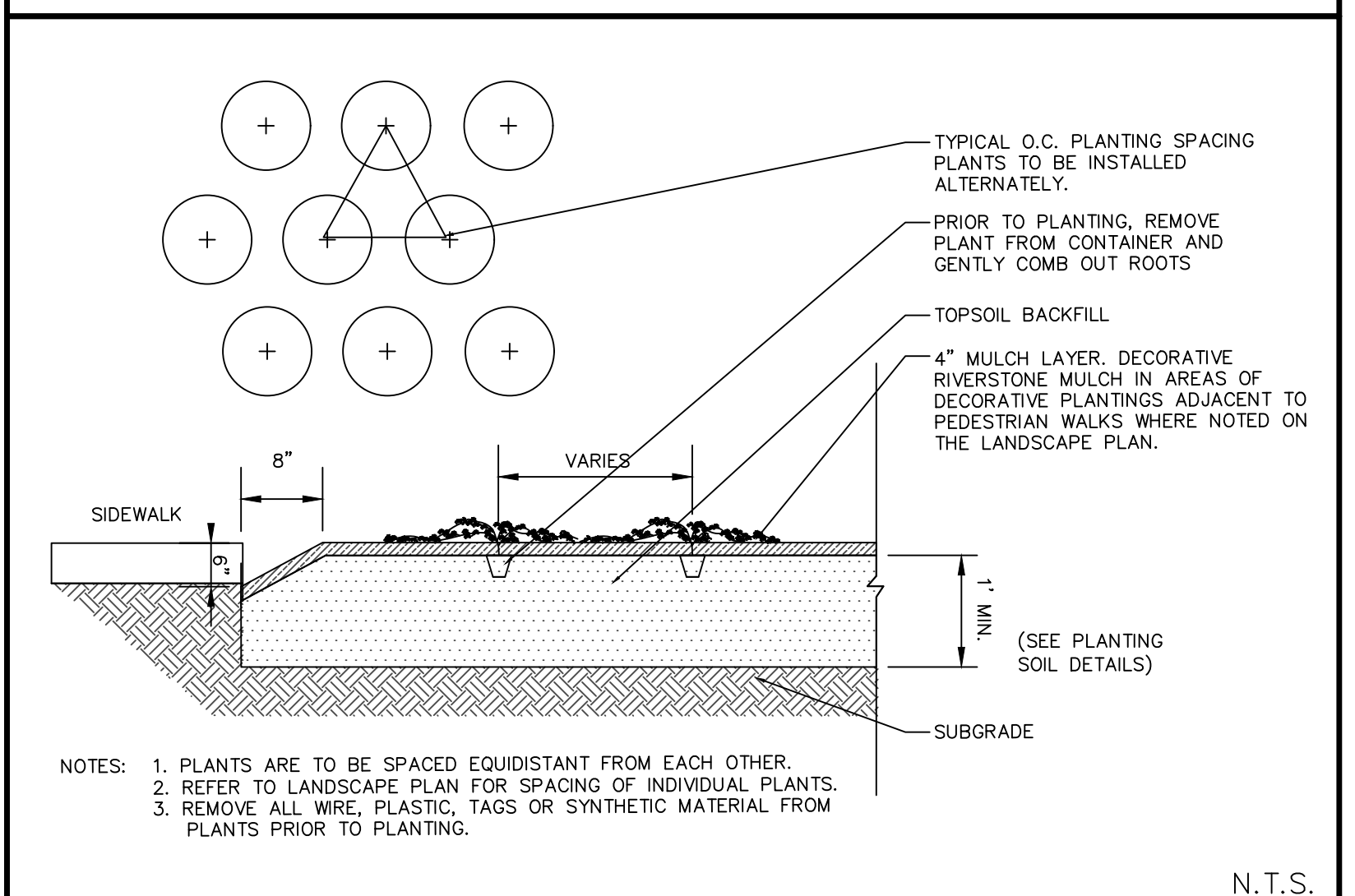


## NOTES:

- TREE PITS SHOULD BE LOCATED TWO FEET MINIMUM FROM GAS, OIL, OR WATER BOXES.
- EXCAVATED TREE PIT SHALL BE CLEAR OF ALL TRASH, BOULDERS, AND CONSTRUCTION DEBRIS.
- CONTRACTOR TO BE RESPONSIBLE FOR REMOVAL OF ALL EXCAVATED MATERIAL FROM TREE PIT.
- PRUNE CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES AT PLANTING TIME. DO NOT REMOVE TERMINAL BUDS OR BRANCHES THAT EXTEND TO EDGE OF CROWN.
- STAKING: AT THE TIME OF PLANTING, CONTRACTOR SHALL INSTALL (2) 6-FT WOODEN STAKES, (1) PER SIDE OF TREE, SPACED EQUIDISTANT FROM TRUNK. STAKES SHALL SUPPORT TREE WITH ARBOR TIES OR APPROVED NYLON STRAPS. TIES OR STRAPS SHALL BE SECURED TO BOTH THE TREE TRUNK AND STAKES, AND INSTALLED PARALLEL TO CURBLINE.

N.T.S.

## STREET TREE PLANTING

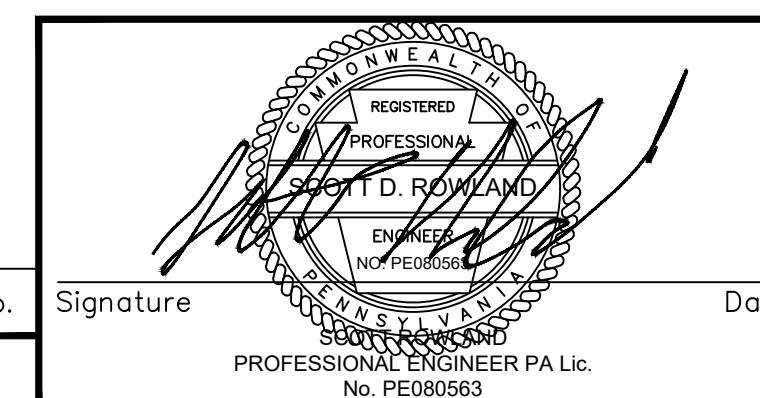


## NOTES:

- PLANTS ARE TO BE SPACED EQUIDISTANT FROM EACH OTHER.
- REFER TO LANDSCAPE PLAN FOR SPACING OF INDIVIDUAL PLANTS.
- REMOVE ALL WIRE, PLASTIC, TAGS OR SYNTHETIC MATERIAL FROM PLANTS PRIOR TO PLANTING.

N.T.S.

## GROUNDCOVER/PERENNIAL PLANTING



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Project  
**3213-3215 PENN AVENUE**  
PN: 25-D-61 & 25-D-68  
PITTSBURGH  
ALLEGHENY COUNTY PENNSYLVANIA

Drawing Title  
**LANDSCAPE DETAILS**

Project No. **250107301**  
Date **03/08/2021**  
Drawn By **HMG**  
Checked By **WPB**  
Drawing No. **LP501**

Date	Description	No.
Revisions		



# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

6/14/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> Gallina and Sons 1269 Washington Pike  Bridgeville PA 15017		<b>CONTACT NAME:</b> Andrew Gallina <b>PHONE (A/C, No, Ext):</b> (412) 221-7010 <b>E-MAIL ADDRESS:</b> agallina@gallinaandsons.com <b>FAX (A/C, No):</b> 412 221 7035	
<b>INSURED</b> 3213 Penn LLC  421 West State St Columbus OH 43215		<b>INSURER(S) AFFORDING COVERAGE</b> <b>INSURER A:</b> Colony Insurance Group <b>INSURER B:</b> <b>INSURER C:</b> <b>INSURER D:</b> <b>INSURER E:</b> <b>INSURER F:</b>	
		<b>NAIC #</b> 39993	

**COVERAGES** **CERTIFICATE NUMBER:** **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> Owners and Contractors Proective			3932662	6/3/2021	6/3/2022	EACH OCCURRENCE	\$ 10,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:						DAMAGE TO RENTED PREMISES (Ea occurrence)	\$
							MED EXP (Any one person)	\$
							PERSONAL & ADV INJURY	\$
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS ONLY						COMBINED SINGLE LIMIT (Ea accident)	\$
	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> EXCESS LIAB DED RETENTION \$						BODILY INJURY (Per person)	\$
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS-MADE						BODILY INJURY (Per accident)	\$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below		N/A				PROPERTY DAMAGE (Per accident)	\$
							PER STATUTE	OTHER
							E.L. EACH ACCIDENT	\$
							E.L. DISEASE - EA EMPLOYEE	\$
							E.L. DISEASE - POLICY LIMIT	\$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

**CERTIFICATE HOLDER****CANCELLATION**

City of Pittsburgh  200 Ross St, Room 320 Pittsburgh, PA 15219	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.  AUTHORIZED REPRESENTATIVE <i>Andrew C. Gallina</i>
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7/9/2021

Sarah Ralich  
Development Director  
Oxide Real Estate Development  
Pittsburgh Office  
3700 Butler Street  
Pittsburgh, PA 15201

Re: Utility approval letter for Encroachment Permit  
Penn Avenue and 32<sup>nd</sup> Street  
Pittsburgh, PA

To Whom It May Concern:

This letter responds to an inquiry from Oxide Real Estate Development seeking Duquesne Light Company's position regarding a proposed new residential apartment building to be constructed in the Lawrenceville area located at Penn Avenue and 32<sup>nd</sup> Street. Duquesne Light owns and operates electric distribution facilities in the vicinity of this project. Based on the documentation and construction plans provided by Langan Engineering and Environmental Services, Inc. regarding the design and location of the proposed apartment building construction, Duquesne Light Company does not object to its construction. However, Duquesne Light's consent is without prejudice to any future actions or events regarding this facility, and Duquesne Light reserves all rights with respect to any maintenance, operation, or other required actions.

Further, should the constructions plans change, or should any unforeseen field conditions be discovered, Duquesne Light reserves the right to withdraw this consent and require further information to assess any new conditions.

Please feel free to contact me should you require any further information.

Very truly yours,



**Ronald J. Dornin**

Manager, Lines Maintenance Program Planning  
[rdornin@duqlight.com](mailto:rdornin@duqlight.com)

Duquesne Light Company  
411 7<sup>th</sup> Ave. Pittsburgh, PA 15219  
[DuquesneLight.com](http://DuquesneLight.com)





**June 29, 2021**

**Brian Ralston  
DOMI  
CITY OF PITTSBURGH  
611 2<sup>ND</sup> AVE  
PITTSBURGH, PA 15219**

**Re: PROPOSED ENCROACHMENT**

**This document was prepared in response to the request made to Verizon-PA. Inc**

This is in response to your request for Verizon – PA, Inc. to investigate if there will be any impacts made to Verizon facilities by the construction of the project **3213-3215 Penn Avenue**. According to the drawings provided the construction is non impacting to Verizon facilities where as cable and or duct banks will not be affected and/or protected during construction Verizon will have no objection to the proposed encroachment.

Should you have any questions or concerns regarding these terms, please contact **Gary Redondo (412)237-2293**

Sincerely

Gary Redondo  
Engineer –Network Operations Engineering  
15 E Montgomery Place, Pittsburgh, PA 15212  
O 412.237.2293 | M 412.667.8618  
[Gary.Redondo@verizon.com](mailto:Gary.Redondo@verizon.com)



July 6, 2021

Ms. Sarah Ralich  
Development Director  
Oxide Real Estate Development  
3700 Butler Street  
Pittsburgh, PA 15201

Dear Ms. Ralich:

As the construction contact for Comcast, I am responding to your inquiry regarding an encroachment on 32<sup>nd</sup> Street in the City of Pittsburgh, as described in your June 28, 2021, inquiry to Comcast.

As such, Comcast has no conflicts at this location regarding Oxide's plans for the entrance and benches, bike racks, and planters on the sidewalk.

Please let us know if you need any further information or confirmation.

Thank you.

*Gene Levi*

Eugene Levi  
Comcast Cable Communications Inc  
Construction / Engineering  
[Eugene\\_Levi@cable.comcast.com](mailto:Eugene_Levi@cable.comcast.com)  
412-996-4188 (c)

Cc: Jennifer M. Cloonan, Director, External & Government Affairs  
Comcast – Keystone Region  
[Jennifer\\_Cloonan@comcast.com](mailto:Jennifer_Cloonan@comcast.com)