



CITY OF PITTSBURGH
DEPARTMENT OF MOBILITY & INFRASTRUCTURE
CITY-COUNTY BUILDING

Application for an Encroachment on City Dedicated Right-Of-Way

Date: 10.12.2023

Applicant Name: Cipriani Studios

Property Owner's Name (if different from Applicant): 2700 Penn Ave. Partners, LLC

Address: 1100 Dennison Ave. Columbus, OH 43201

Phone Number: (914) 980-9318 Alternate Phone Number: (412) 254-3261

Location of Proposed Encroachment: 303-319 27th Street

Ward: 6th Ward Council District: 1 Lot and Block: 0025-K-00261-0000-00

What is the properties zoning district code: RIV-IMU (zoning office 255-2241)

Planning/Zoning Case OneStop Number (if applicable): ZDR- DCP-ZDR-2023-09149

Is the existing right-of-way, a street or a sidewalk? Sidewalk

Width of Existing Right-of-Way (sidewalk or street): 10'-0" (Before encroachment)

Length of Existing Right-of-Way (sidewalk or street): 113'-4" (Before encroachment)

Width of Proposed Encroachment: 4'-0" (On upper levels only. 9'-6" clearance to grade)

Length of Proposed Encroachment: 102'-4"

Number of feet the proposed object will encroach into the ROW: 4'-0" (On upper levels only per above)

Description of encroachment: 4'-0" (On upper levels only. 9'-6" clearance to grade)

Reason for application:

To preserve pedestrian thoroughfares along Penn Ave. and 27th Street, the curb cuts, parking, driveways, etc., are all located in the rear off Spring Way. This preserves the city streetscape but leaves a small footprint for the homes. By cantilevering on the upper levels, it provides space for the homes, without interrupting the ground floor below.



**Penn Ave. Side

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Is the existing right-of-way, a street or a sidewalk? Sidewalk

Width of Existing Right-of-Way (sidewalk or street): 10'-10" (Before encroachment)

Length of Existing Right-of-Way (sidewalk or street): 67'-6" (Before encroachment)

Width of Proposed Encroachment: 2'-5" (On upper levels only. 9'-6" clearance to grade)

Length of Proposed Encroachment: 62'-3"

Number of feet the proposed object will encroach into the ROW: 2'-5" (On upper levels only per above)

Description of encroachment: 4'-0" (On upper levels only. 9'-6" clearance to grade)

Reason for application:

To preserve pedestrian thoroughfares along Penn Ave. and 27th Street, the curb cuts, parking, driveways, etc., are all located in the rear off Spring Way. This preserves the city streetscape but leaves a small footprint for the homes. By cantilevering on the upper levels, it provides space for the homes, without interrupting the ground floor below.

CIPRIANISTUDIOS

September 28, 2023
Director of Mobility and Infrastructure
Major Encroachment Request Letter
Building Address: 2700 Penn Ave., Pittsburgh, PA 15222
ZDR #: DCP-ZDR-2023-09149

Dear DOMI Director Kim Luca,
Our project team has submitted proposed plans for five attached homes on 2700 Penn Ave.

Since part of the proposed project consists of cantilevered upper level floor plates into the public ROW, we are submitting requested documents to DOMI for consideration and approval on said matter.

The encroachments in particular consist of a 4' encroachment onto 27th St., and 2'-5" encroachment onto Penn Ave., both having a clearance to grade of 9'-6" in the public ROW. Lighting will be located on the soffits of the cantilevered building to create safe and bright ambiance in the public ROW.

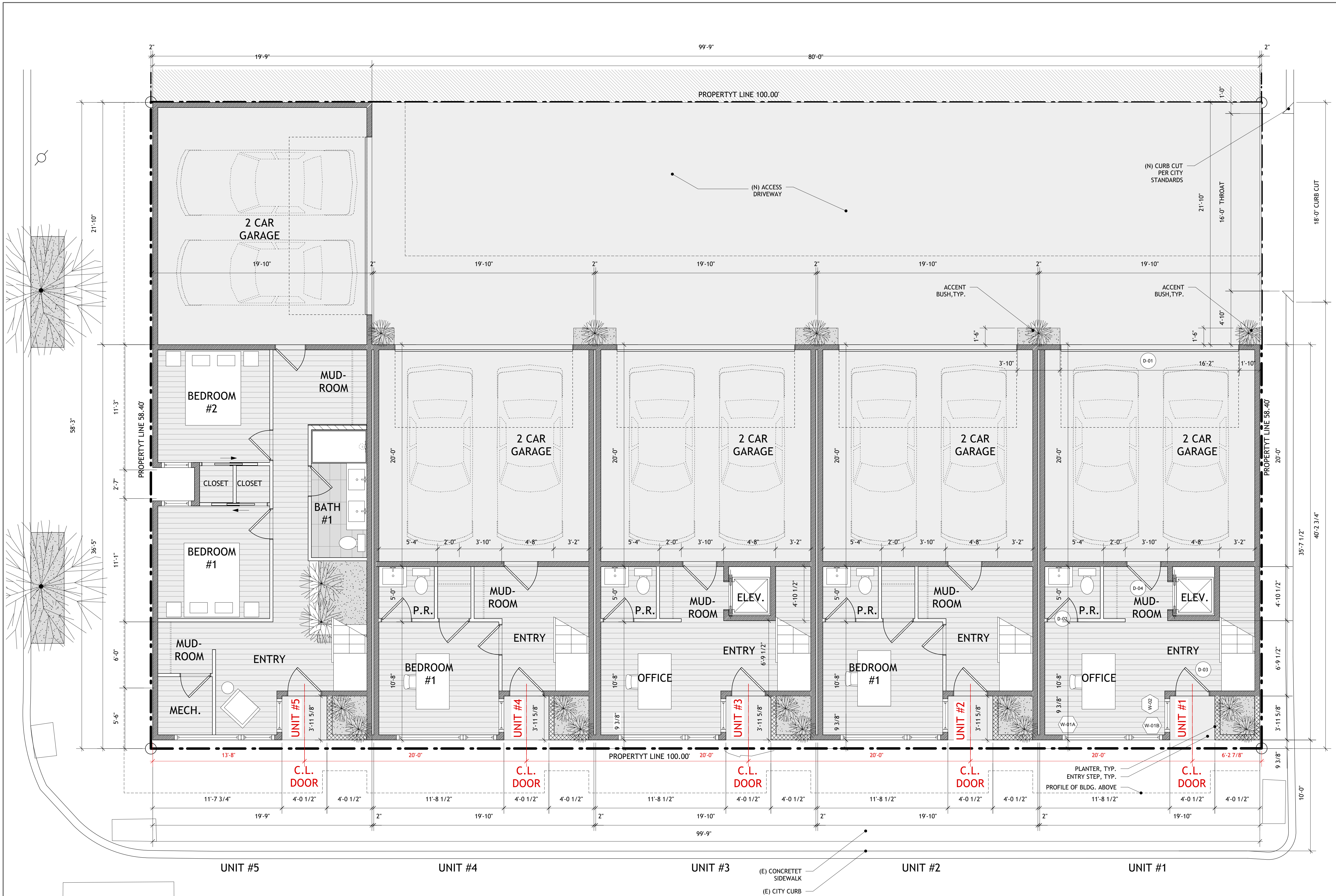
The cantilevered floor areas are driven in part by the goal of concealing parking in the rear off Spring Way. By trading off building footprint for rear driveway, a continuous pedestrian was kept intact along the public ROW. That footprint got re-distributed in the structure as cantilevered structure over driveway and public ROW. The result is a great pedestrian city-scape with engaged homes above.

On behalf of the application team, we appreciate your consideration for approval on this project.

Thanks + talk soon,

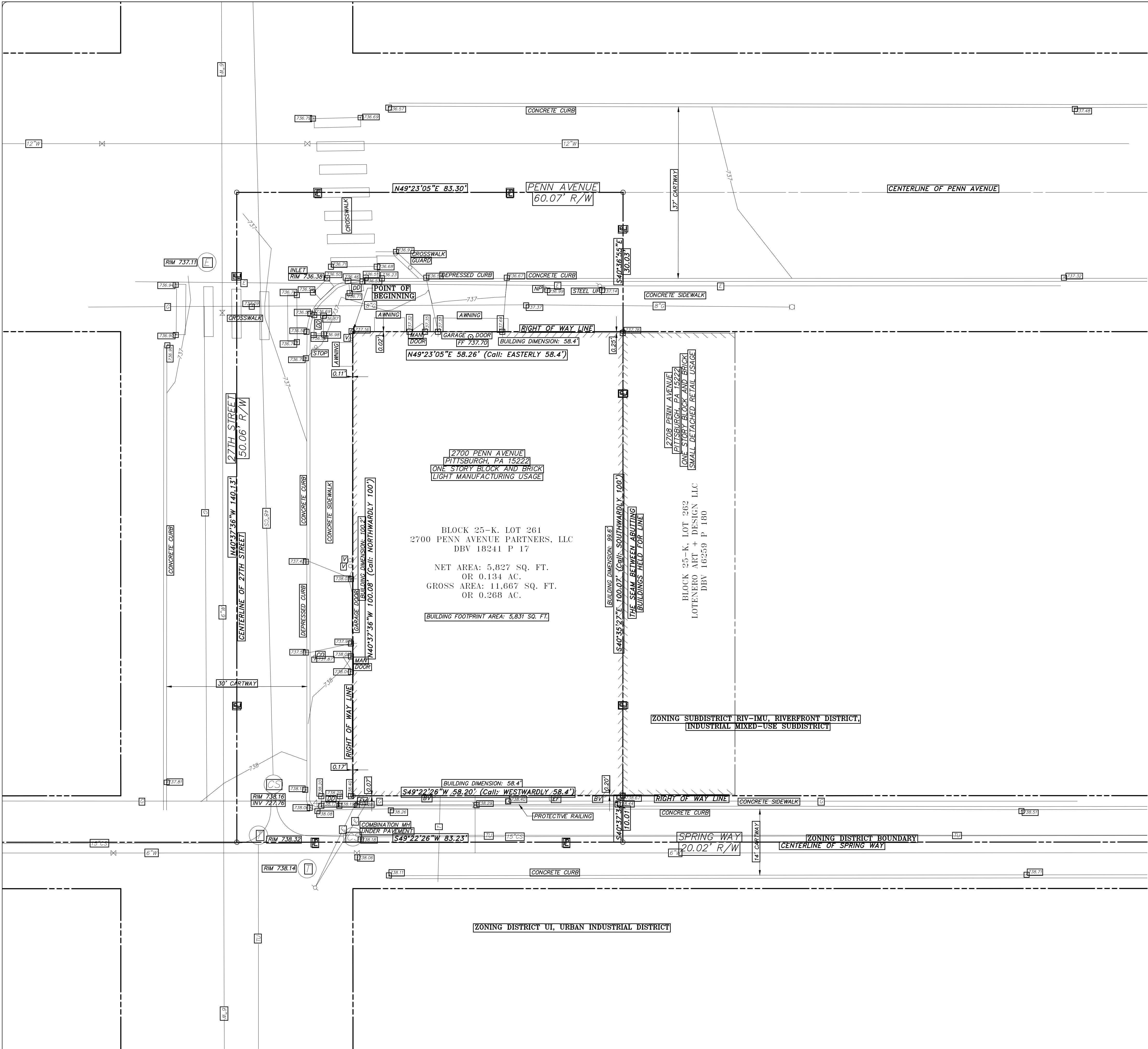
A handwritten signature in black ink, appearing to read 'Justin', with a stylized flourish at the end.

Justin Cipriani



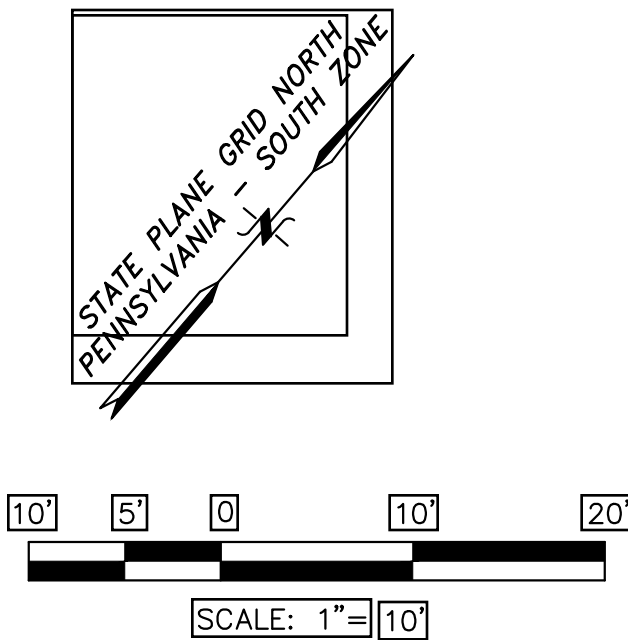
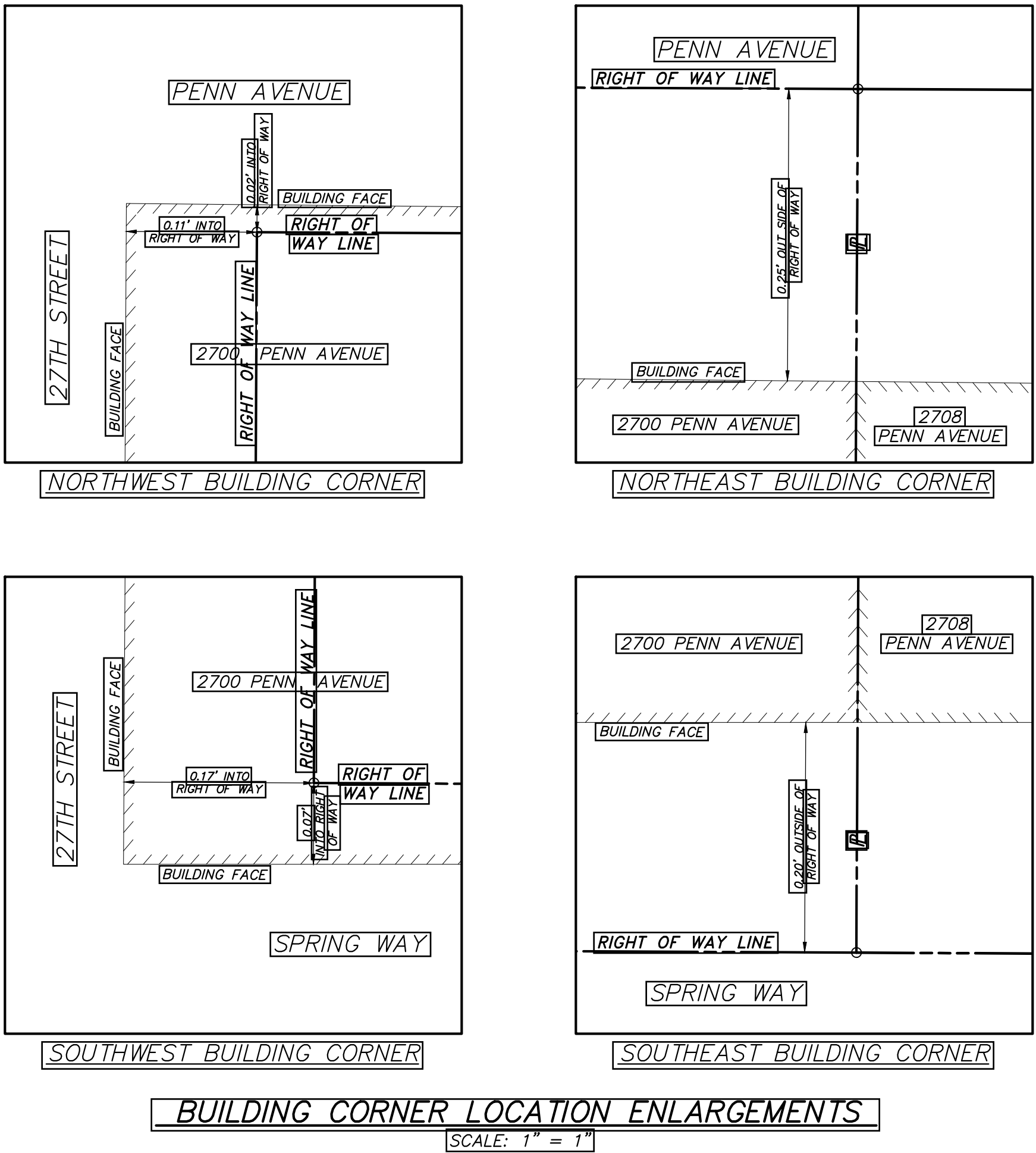
LEVEL ONE FLOOR PLANS

May 11, 2023 - 7:46am
\\Projects\2023\210026\ALTA.dwg
jpherson



LEGEND

- | | | | |
|--|----------------------------|--|--------------------------------|
| | BUILDING FACE | | CONTOUR |
| | COMBINATION SEWER | | INTERIOR SPOT ELEVATION |
| | ELECTRIC LINE | | PROPERTY LINE |
| | GAS PIPELINE | | RIGHT OF WAY LINE |
| | TELEPHONE LINE | | TOP OF RIM ELEVATION |
| | UNDERGROUND TELEPHONE LINE | | INVERT ELEVATION |
| | WATER PIPELINE | | DIMENSIONS FROM RECORDED DEEDS |
| | ELECTRIC MANHOLE | | DEED BOOK VOLUME |
| | TELEPHONE MANHOLE | | PAGE |
| | SANITARY MANHOLE | | RIGHT OF WAY WIDTH |
| | WATER VALVE | | EXHAUST FAN |
| | GAS VALVE | | ELECTRIC METER |
| | UTILITY POLE | | DETECTABLE DOME |
| | CLEANOUT | | BUILDING VENT |
| | STOP SIGN | | |
| | NO PARKING SIGN | | |
| | PROPERTY CORNER | | |



Consultants:

Seal:

Seal:

Project Identification:

**2700 PENN AVENUE
PARTNERS, LLC
ALTA/NSPS LAND
TITLE SURVEY**

No.:	Date:	Description:
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Sheet Title:

PLAN SHEET

Project No.:	2021-0026.01
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Cadd Drawing File:	210026 ALTA.dwg
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Drawn By:	C.M.FYOCK
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Checked By:	C.M.FYOCK
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Date:	02/23/2021
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Copyright:	© 2021 H.F. LENZ COMPANY
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Drawing Number	
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SV2

Sheet 2 of 2



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

10/24/23

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an **ADDITIONAL INSURED**, the policy(ies) must be endorsed. If **SUBROGATION IS WAIVED**, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Andrew Hough	CONTACT NAME: Andrew Hough PHONE (A/C, No, Ext): 724-312-2165 FAX (A/C, No): E-MAIL ADDRESS: Andrew.Hough@American-National.com
	INSURER(S) AFFORDING COVERAGE INSURER A : USLI
INSURED 2700 and 2709 Penn Ave Partners LLC 1100 DENNISON AVE COLUMBUS OH 43201	INSURER B : INSURER C : INSURER D : INSURER E : INSURER F :

COVERAGES**CERTIFICATE NUMBER:****REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC			CP1741598	11/19/2022	11/19/2023	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 1,000,000 \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	UMBRELLA LIAB EXCESS LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICE/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below						WC STATUTORY LIMITS OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

Evidence of Coverage

CERTIFICATE HOLDER**CANCELLATION**

Evidence of Coverage	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE Andrew Hough

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ACORD 25 (2010/05)

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Clear All



ISSUE	DATE
ZONING SET	9.20.2023
DOMI SET	10.12.2023

**PENN
AVENUE
RESIDENCES**
2700 PENN AVE.
PITTSBURGH, PA 15222

GENERAL CONTRACTORS, SUB CONTRACTORS, AND ALL TRADESMEN ARE TO USE INSTALLATION REQUIREMENTS AS ISSUED BY THE MANUFACTURES OF THE PRODUCTS INSTALLED, AS WELL AS ALL APPLICABLE BUILDING CODES. THESE DRAWINGS ARE GENERAL DESIGN INTENT AND DO NOT REPLACE TECHNICAL REQUIREMENTS OF WARRANTED INSTALLATIONS BY MANUFACTURES OR BUILDING CODES.

CIPRIANI STUDIOS EXPRESSLY RESERVES COMMON LAW COPYRIGHT AND OTHER PROPRIETARY RIGHTS TO ALL DESIGNS & INFORMATION IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION OF CIPRIANI STUDIOS.

PROJECT RENDERING				PROPERTY INFO				ZONING DESCRIPTION						OWNER		DESIGNER		STRUCTURAL		CIVIL																
ARCHITECTURAL				FRAMING PLANS				APN# :		0025-K-00261-0000-00				FIVE (5) ATTACHED SINGLE FAMILY RESIDENCES WITH 2 OR 3 BEDROOMS, 3 BATHS, FLEX SPACE, OFFICE, 2 CAR GARAGE, AND ROOF DECK.						2700 PENN AVE. PARTNERS 110 DENNISON AVE. COLUMBUS, OH 43201		CIPRIANI STUDIOS 650 WASHINGTON ROAD, STE. 400 PITTSBURGH, PA 15228		BIG SKY STRUCTURAL SOLUTIONS 2387 RUGBY COURT BOZEMAN, MONTANA 59715		KU RESOURCES 22 SOUTH LINDEN STREET DUQUESNE, PENNSYLVANIA 15110										
X	A-0.1	PROJECT INFO	-	S-0	STRUCTURAL NOTES		ZONING:		RIV-MU/ RIVERFRONT INDUSTRIAL MIXED USE																											
X	A-0.2	GENERAL NOTES	-	S-1	FOUNDATION PLANS		SITE DIMENSIONS/ AREA		58.4' X 100' / 5,840 SF																											
X	A-0.3	GENERAL NOTES	-	S-2	FRAMING PLANS		UNIT AREA		TYPICAL UNIT		LOFT UNIT		END UNIT		APPLICABLE BUILDING CODES: 2018 IBC 2018 INTERNATIONAL MECHANICAL CODE 2018 INTERNATIONAL ELECTRICAL CODE 2018 INTERNATIONAL PLUMBING CODE CLASSIFICATION: USE GROUP: R-3 CONSTRUCTION TYPE: 5B CODE SECTION BUILDING ELEMENTS FIRE RATING UL ASSEMBLY CODE SECTION / WITHIN 5' OF PROPERTY LINE FIRE RATING UL ASSEMBLY						T. 914.980.9318 F.- CONTACT: GABE SIRKIN E: GABE@SOLOMONACQUISITIONS.COM		T. 412.254.3261 F.- CONTACT: JUSTIN CIPRIANI E: JUSTIN@CIPRIANISTUDIOS.COM		T. 412.921.4030 F.- CONTACT: BRIAN MAY E: B.MAY.BS3@GMAIL.COM		T. 412.469.9331 F.- CONTACT: TYSEN MILLER E: TWILLER@KURESOURCES.COM									
X	A-0.4	ENERGY CALCS	-	S-3	FRAMING PLANS																								GARAGE		390 SF		390 SF		350 SF	
X	A-1.1	SITE PLAN	-	S-4	FRAMING PLANS		BASEMENT		290 SF		290 SF		700 SF																							
X	A-2.1	PROPOSED FLOOR PLANS	-	S-5	ROOF FRAMING PLANS		LEVEL 2		915 SF		916 SF		1,210 SF																							
X	A-2.2	PROPOSED FLOOR PLANS					LEVEL 3		960 SF		700 SF		900 SF																							
X	A-2.3	PROPOSED FLOOR PLANS					LEVEL 4		590 SF		590 SF		590 SF																							
X	A-2.4	PROPOSED FLOOR PLANS					ROOF DECK		300 SF		300 SF		300 SF																							
X	A-2.5	PROPOSED ROOF PLANS					TOTAL		2,755 SF		2,530 SF		3,400 SF																							
-	A-2.6	LIGHTING + POWER PLANS					ZONING INFO		STRUCTURAL FRAME 0 HR - STRUCTURAL FRAME 1HR U305/UL263 BEARING WALLS 0 HR - BEARING WALLS 1HR U305/UL263 NON BEARING WALLS (EXT) 0 HR - NON BEARING WALLS (EXT) 1HR U305/UL263 NON BEARING WALLS (INT) 0 HR - NON BEARING WALLS (INT) - - FLOOR CONSTRUCTION 0 HR - FLOOR CONSTRUCTION - - ROOF CONSTRUCTION 0 HR - ROOF CONSTRUCTION - - COMMON WALLS 2 HR - COMMON WALLS - - PLUMBING PENETRATIONS 0 HR - PLUMBING PENETRATIONS - - ROOF PENETRATIONS 0 HR - ROOF PENETRATIONS - - WALL PENETRATIONS 0 HR - WALL PENETRATIONS - -																				T. 914.980.9318 F.- CONTACT: GABE SIRKIN E: GABE@SOLOMONACQUISITIONS.COM		T. 412.254.3261 F.- CONTACT: JUSTIN CIPRIANI E: JUSTIN@CIPRIANISTUDIOS.COM		T. 412.921.4030 F.- CONTACT: BRIAN MAY E: B.MAY.BS3@GMAIL.COM		T. 412.469.9331 F.- CONTACT: TYSEN MILLER E: TWILLER@KURESOURCES.COM	
-	A-2.7	LIGHTING + POWER PLANS																																		
X	A-4.1	BUILDING ELEVATIONS	CIVIL																																	
X	A-4.2	BUILDING ELEVATIONS																																		
X	A-4.3	BUILDING ELEVATIONS																																		
X	A-4.4	BUILDING ELEVATIONS																																		
-	A-6.1	CONSTRUCTION DETAILS																																		
-	A-6.2	CONSTRUCTION DETAILS																																		
-	A-6.3	CONSTRUCTION DETAILS																																		
-	A-6.4	CONSTRUCTION DETAILS																																		
X	A-7.1	WINDOW + DOOR SCHEDULES																																		

SECTION 1: GENERAL CONDITIONS

- ONLY THE HIGHEST QUALITY OF WORKMANSHIP SHALL BE CONSIDERED ACCEPTABLE AND SHALL BE FIRMLY SECURED AND RELATIVE TO ELEVATIONS AND DIMENSIONS AS SHOWN IN THE DRAWINGS; TRUE TO PLUMB, LEVEL, SQUARE, AND LINE.
- ALL WORK SHALL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES AND WITH ACCEPTED LOCAL STANDARDS OF THE TRADES.
- ALL NAILING SHALL CONFORM TO THE BEFORE MENTIONED BUILDING CODE REGULATIONS, OR 2001 C.B.C., U.O.N.
- INDIVIDUAL PRINTS OR PARTIAL SETS OF PRINTS SHALL BE CONSIDERED PART OF THE WHOLE SET OF THESE DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT. THE RECIPIENT OF INDIVIDUAL PRINTS OR PARTIAL SETS SHALL BE RESPONSIBLE FOR INFORMATION AND INTENT NOT REPRESENTED ON THE INDIVIDUAL SHEETS OR PARTIAL SETS BUT FOUND ELSEWHERE IN THESE DRAWINGS AND SPECIFICATIONS. THE GENERAL CONTRACTOR SHALL MAKE AVAILABLE ALL NECESSARY DRAWINGS (INCLUDING THESE GENERAL NOTES) TO SUBCONTRACTORS AND SUPPLIERS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL ASPECTS OF THE WORK AND SHALL INFORM THE OWNER OF HIS WORK SCHEDULE AND ANY ANTICIPATED CHANGES THAT MAY OCCUR IN IT. PLACE ORDERS FOR ALL MATERIALS INCLUDED IN THE WORK BY GENERAL CONTRACTOR OR SUBCONTRACTORS IN TIME TO PREVENT ANY DELAYS IN THE CONSTRUCTION SCHEDULE OR COMPLETION OF THE WORK. LIKEWISE, THE CONTRACTOR SHALL ADVISE THE OWNER OF THE CRITICAL PATH FOR SCHEDULING FOR THE ORDERING OF ALL/ANY OWNER PROVIDED MATERIALS.
- THE GENERAL CONTRACTOR SHALL NOT PROCEED WITH ANY WORK WHICH HE BELIEVES TO BE CONTRARY TO HIS KNOWLEDGE OF GOOD CONSTRUCTION STANDARDS AND PRACTICES AND SHALL NOT USE ANY SUBSTANDARD MATERIALS.
- THE GENERAL CONTRACTOR SHALL INFORM THE OWNER OF ANY COSTS OF MATERIALS, LABOR, OVERHEAD AND PROFIT WHICH ARE CAUSED BY ANY CHANGES OR ADDITIONS IN THE WORK INTENDED BY THESE PLANS AND SPECIFICATIONS PRIOR TO ORDERING MATERIALS AND PROCEEDING WITH THE WORK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS BY HIMSELF AND OF HIS EMPLOYEES AND SUBCONTRACTORS, INVOLVED IN THE COMPLETION OF WORK CONTRACTED.
- THE GENERAL CONTRACTOR SHALL BE EXPECTED TO INSPECT THE SITE FOR CONDITIONS AFFECTING WORK AND FOR ANTICIPATING THE EFFECTS OF THOSE CONDITIONS UPON HIS WORK.
- DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR THE PROPER INSTALLATION OR CONFORMANCE WITH CODES OR STANDARDS LISTED HEREIN SHALL BE INCLUDED IN THE WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF THE NEED FOR ANY ADDITIONAL INFORMATION OR MATERIALS NECESSARY FOR THE CONSTRUCTION OF THE DESIGN AS ILLUSTRATED IN THE DRAWINGS.
- ALL WORK AND MATERIAL OR EQUIPMENT SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
- RELATIVE REFERENCE ELEVATIONS SHALL BE ESTABLISHED AT THE SITE. PROTECT AND MAINTAIN BENCHMARKS FOR THE DURATION OF THE PROJECT, AS NEEDED FOR THE ACCURATE CONSTRUCTION OF THE PROJECT.
- ITEMS NOTED "NOT IN CONTRACT," "N.I.C.," OR "PROVIDED BY OWNER" ARE TO BE NEITHER FURNISHED NOR INSTALLED UNDER THIS CONTRACT, BUT ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. VERIFY THESE REQUIREMENTS WITH THE OWNER TO RESOLVE THE NEED FOR ANY ADDITIONAL WORK FOR OWNER PROVIDED MATERIALS THAT MAY BE UNANTICIPATED BY THESE DRAWINGS. CONTACT THE ARCHITECT FOR CLARIFICATION OR ASSISTANCE WITH THIS EVALUATION.
- THE GENERAL CONTRACTOR SHALL COMPLETELY FAMILIARIZE HIM/HERSELF WITH THE EXISTING CONDITIONS AND THE DESIGN AS ILLUSTRATED AND SPECIFIED IN THE DRAWINGS. THE GENERAL CONTRACTOR WILL REPORT ANY AND ALL DISCREPANCIES OR OMISSIONS FOUND IN THE DRAWINGS AND SPECIFICATIONS TO ARCHITECT. ALL WORK AFFECTED SHALL NOT PROCEED UNTIL ANY CLARIFICATION OR REVISION HAS BEEN COMPLETED OR PERMISSION TO CONTINUE IS GIVEN.
- ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO ARCHITECT SO THAT PROPER REVISIONS CAN BE MADE.
- THE CONTRACT DOCUMENTS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHODS OF CONSTRUCTION. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES.
- OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ARCHITECT AND/OR STRUCTURAL ENGINEER SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES, AND THESE VISITS SHALL NOT BE CONSTRUED AS SUCH. ANY SUPPORT SERVICES PERFORMED BY THE ARCHITECT AND/OR STRUCTURAL ENGINEER DURING THE CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES AS FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED BY THE ARCHITECT AND/OR STRUCTURAL ENGINEER, WHETHER OF MATERIAL OR WORK, AND WHETHER PERFORMED PRIOR TO, DURING, OR AFTER COMPLETION OF CONSTRUCTION, ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING GENERAL CONFORMITY WITH CONTRACT DOCUMENTS, BUT DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.

SECTION 2: DIMENSIONS, MEASUREMENTS, AND LAYOUT

- DIMENSIONS SHALL TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. SCALING OF THE DRAWINGS FOR DIMENSIONS OR LOCATIONS OF MATERIALS OR EQUIPMENT IS CONSIDERED UNACCEPTABLE.
- LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES AND TYPICAL DETAILS. WRITTEN SPECIFICATIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATION OF MATERIALS AND ITEMS AS WELL AS THEIR LOCATIONS.
- DIMENSIONS TO SIDE OR CENTER OF DOORS OR WINDOWS ARE TO ROUGH OPENINGS. LOCATE ROUGH OPENINGS NOT DIMENSIONED FRAMING DISTANCE (KING AND TRIM STUDS) FROM CLOSEST WALLS OR CENTER BETWEEN WALLS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND LAYING OUT THE WORK (INCLUDING GRADES AND ELEVATIONS). THE GENERAL CONTRACTOR WILL EXERCISE PROPER PRECAUTION TO VERIFY FIGURES SHOWN ON THE DRAWINGS WHILE LAYING OUT THE WORK, AND BE RESPONSIBLE FOR ALL ERRORS RESULTING FROM FAILURE TO EXERCISE SUCH PRECAUTION.

SECTION 3: SUBCONTRACTORS

- EACH SUBCONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE TO THE GENERAL CONTRACTOR INDICATING POLICY CONDITIONS AND LIMITS OF LIABILITY INSURANCE PRIOR TO STARTING THE WORK. EACH SUBCONTRACTOR SHALL PROVIDE THE GENERAL CONTRACTOR WITH PROOF OF WORKMAN'S COMPENSATION FOR EACH OF HIS EMPLOYEES.
- EACH TRADE SHALL COORDINATE ITS WORK AS IS PRACTICAL AND WILL INTERFERE AS LITTLE AS POSSIBLE WITH THE WORK OF OTHER TRADES AND PERSONS. IT WILL BE ASSUMED THAT EACH TRADE HAS ACCEPTED THE QUALITY OF THE WORK OF OTHERS UPON WHICH HIS WORK MUST BE APPLIED.
- DURING PROGRESS OF WORK MAINTAIN PREMISES FREE OF UNNECESSARY ACCUMULATION OF TOOLS, EQUIPMENT, SURPLUS MATERIALS, AND DEBRIS. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP AFTER THEIR RESPECTIVE WORK, AS WELL AS MAINTAINING A CLEAN AND ORDERLY SITE.
- STORE AND HANDLE MATERIALS AND EQUIPMENT SO AS TO PREVENT DAMAGE AFFECTING APPEARANCES, PERFORMANCE OF MATERIAL, EQUIPMENT OR FINISHED WORK. IN THE EVENT OF DAMAGE, PROMPTLY MAKE REPAIRS OR REPLACEMENTS AND BE RESPONSIBLE FOR COSTS INCURRED AND TIME REQUIRED FOR REPAIRS OR REPLACEMENTS AT NO ADDITIONAL COST TO THE OWNER.
- ALL SUBCONTRACTORS SHALL REMOVE AND REDO DEFECTIVE WORK AS DETERMINED BY THE GENERAL CONTRACTOR OR THE DESIGNER AT NO ADDITIONAL COST TO THE GENERAL CONTRACTOR OR OWNER.
- EACH SUBCONTRACTOR SHALL GUARANTEE MATERIALS AND WORKMANSHIP AGAINST DEFECTS WHICH MAY OCCUR UNDER NORMAL USAGE FOR A PERIOD OF ONE (1) YEAR AFTER FINAL ACCEPTANCE.

SECTION 4: PERMITS, FEES, INSPECTIONS, REGULATIONS, AND COVENANTS

- PERMITS AND LICENSES NECESSARY TO PERFORM THE WORK SHALL BE SECURED BY THE GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL OBTAIN ALL CODE CHECKS, INSPECTIONS, AND LABORATORY INVESTIGATIONS REQUIRED BY ORDINANCES, CODES, RULES AND REGULATIONS, BUILDING INSPECTORS, CITY OR COUNTY ENGINEERS, ETC.
- THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL COMPLY WITH ALL COVENANTS AND REQUIREMENTS OF THE SUBDIVISION (IF ANY) AS IF INCLUDED IN THESE DOCUMENTS.

SECTION 5: TEMPORARY FACILITIES AND CONTROLS

- ALL CONSTRUCTION EQUIPMENT REQUIRED TO PERFORM THE WORK TO BE FURNISHED BY THE GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL PROVIDE AND PAY FOR POWER, LIGHT, WATER, AND HEAT AS REQUIRED DURING CONSTRUCTION.
- SUBCONTRACTORS AND THEIR EMPLOYEES SHALL BE PROVIDED AND ALLOWED USE OF SANITARY FACILITIES ON THE PREMISES.

SECTION 6: GENERAL SITE WORK

- PROTECT ALL EXISTING TREES, VEGETATION, OBJECTS, AND STRUCTURES FROM DAMAGE OR REMOVAL EXCEPT THOSE DESIGNATED FOR REMOVAL ON THE DRAWINGS, OR BY THE OWNER, OR THE LANDSCAPE DESIGNER AND ARCHITECT.
- MINIMIZE ACCESS AND MATERIAL STORAGE AREAS AS INDICATED BY THE OWNER, OR LANDSCAPE DESIGNER AND ARCHITECT.
- THE GENERAL CONTRACTOR WILL CHECK WITH UTILITY COMPANIES AND THE OWNER FOR ACTUAL LOCATIONS OF ANY UNDERGROUND UTILITIES BEFORE STARTING OPERATIONS. ACTIVE UNDERGROUND UTILITIES SHALL BE ADEQUATELY PROTECTED FROM DAMAGE AND IF DAMAGED SHALL BE IMMEDIATELY REPAIRED AT NO EXTRA COST TO THE OWNER.
- THE LOCATIONS AND ROUTING OF UTILITIES AS SHOWN ON THE SITE PLAN ARE DIAGRAMMATIC IN NATURE AND SHOWS APPROXIMATE LOCATION OF UTILITIES AND EQUIPMENT. EXACT ROUTING OR LOCATIONS OF EQUIPMENT TO BE GOVERNED BY SITE CONDITIONS AND MINOR CHANGES REQUIRED AND DETERMINED ON SITE.
- ANY SOILS DATA, INCLUDING SOILS REPORT, IN ITS ENTIRETY SHALL BE INCLUDED AS PART OF THESE CONTRACT DOCUMENTS. FOR RECOMMENDED SOIL BEARING PRESSURE FOUNDATION MATERIAL, AND SITE GRADING, SEE SOILS REPORT AND GEOLOGICAL REPORT, IF APPLICABLE.

SECTION 7: GRADING

- ROUGH GRADING WORK AND FINISH GRADING SHALL BE BY THE EXCAVATING CONTRACTOR AND COORDINATED BY THE LANDSCAPE DESIGNER AND ARCHITECT.
- GRADE TO SMOOTH, UNIFORM SURFACE TO ELEVATIONS, SHOWN OR REQUIRED FOR POSITIVE DRAINAGE, FROST PROTECTION, AND CLEARANCES.
- SLOPE ALL GRADES A MINIMUM 1/4" PER FOOT AWAY FROM FOUNDATIONS, WALLS, WALKWAYS, DECKS, ETC.
- NEW TOPSOIL, IF REQUIRED, SHALL BE REASONABLY FREE OF OBNOXIOUS WEEDS, STONES, LUMPS, PLANTS OR THEIR ROOTS, STICKS OR OTHER EXTRANEIOUS MATTER, AND SHALL NOT BE WORKED IN A FROZEN OR MUDDY CONDITION.

SECTION 8: EXCAVATION

- EXCAVATE TO GRADES INDICATED IN THE DRAWINGS AND TO ALLOW FOOTINGS TO BEAR DIRECTLY ON UNDISTURBED SOIL AT THE MINIMUM REQUIRED DEPTH TO PROVIDE FROST PROTECTION.
- IF EXCAVATION TO DESIGN ELEVATIONS DISCLOSES UNSUITABLE BEARING SOIL AT THAT LEVEL, OBTAIN AUTHORIZATION FROM THE SOILS OR STRUCTURAL ENGINEER OR ARCHITECT BEFORE PROCEEDING WITH ADDITIONAL EXCAVATION. ADDITIONAL EXCAVATION COSTS SHALL BE DETERMINED AND AGREED TO WITH THE OWNER PRIOR TO PROCEEDING WITH ADDITIONAL WORK.
- IF DURING THE COURSE OF EXCAVATION, SOLID ROCK FORMATIONS ARE ENCOUNTERED, REQUIRING DRILLING AND/OR BLASTING, THE ADDITIONAL COSTS SHALL BE THE OWNER'S RESPONSIBILITY AND SHALL BE DETERMINED AND AGREED TO WITH THE OWNER PRIOR TO PROCEEDING WITH ADDITIONAL WORK.
- THE GENERAL CONTRACTOR SHALL PROVIDE FOR DE-WATERING OF EXCAVATIONS FROM EITHER SURFACE WATER, GROUND WATER, OR SEEPAGE AS NECESSARY.
- BARRICADE OPEN HOLES, TRENCHES, AND DEPRESSIONS OCCURRING AS PART OF THE WORK. PROVIDE AND INSTALL ALL CRIBBING, SHORING AND BRACING REQUIRED TO SAFELY RETAIN EARTH EMBANKMENTS.

SECTION 9: BACKFILLING

- THESE NOTES ARE TO BE FOLLOWED UNLESS DIRECTED OTHERWISE BY THE SOILS ENGINEER, STRUCTURAL ENGINEER, ARCHITECT, OR BUILDING OFFICIAL. CONTACT THE ARCHITECT FOR CLARIFICATION AND/OR ADDITIONAL INFORMATION REGARDING THIS ISSUE.
- ALL FILL SHALL BE FREE-DRAINING, PREDOMINATELY GRANULAR MATERIAL AND FREE OF ORGANIC AND EXPANSIVE MATERIAL AND CAREFULLY PLACED TO PROTECT ALL WORK AND MECHANICALLY COMPACTED IN 6" LIFTS AROUND FOUNDATION, UNDER SLABS, AND ADJACENT STEM WALLS, TO 90% OF ASTM D698.
- ALL FILL UNDER FOOTINGS TO BE COMPACTED TO 95% OF ASTM D698.
- BACKFILL SHALL NOT BE PLACED AGAINST BASEMENT AND RETAINING WALLS UNTIL CONCRETE OR MASONRY GROUT HAS REACH ITS 28 DAY STRENGTH AND WALLS ARE STABILIZE WITH COMPLETED AND ANCHORED STRUCTURAL FLOOR FRAMING.

SECTION 10: TREES, PLANTS, AND GROUND COVER

- RESEEDING OF DAMAGED PORTIONS OF THE LAWN AROUND EXCAVATED AREAS AS REQUIRED TO REFURBISH TO ITS ORIGINAL CONDITION AND APPEARANCE SHALL BE THE OWNERS RESPONSIBILITY UNLESS AGREED TO OTHERWISE, WHERE APPLICABLE

SECTION 11: GENERAL CONCRETE WORK

- NO CONCRETE WORK SHALL BE PLACED ON FROZEN, SOFT, LOOSE, WET, OR SOGGY SOIL.
- BOTTOM OF EXCAVATIONS SHALL BE CLEAN, FLAT, AND FREE OF ANY LOSE DIRT, DEBRIS, OR ORGANIC MATERIAL.
- PROVIDE AND INSTALL BLOCK-OUTS, UTILITY SLEEVES, CONNECTORS, ETC. AS SHOWN AND AS NECESSARY.
- PROVIDE AND INSTALL INSULATION, VAPOR BARRIERS EXPANSION JOINTS, LEVELING BED, REINFORCEMENT, ETC. AS SHOWN AND REQUIRED.
- VERIFY ALL SOIL CONDITIONS. ALL FOOTING SIZES ARE CALCULATED FOR A SOIL BEARING CAPACITY AS SHOWN.
- PROVIDE OVER-EXCAVATION AND COMPACTED BACKFILL AS REQUIRED.
- CHAMFER ALL EXPOSED EDGES OF CONCRETE 3/4" (MIN), U.O.N.
- PROVIDE 1/2" EXPANSION JOINT MATERIAL BETWEEN ALL CONCRETE SLABS (1" RIGID FOAM AT INSULATED AND RADIANT SLABS) AND ABUTTING CONCRETE OR MASONRY WALLS.

SECTION 12: CONCRETE REINFORCEMENT

- REINFORCING STEEL SHALL BE DEFORMED BARS IN ACCORDANCE WITH ASTM A-615; GRADE 40 FOR REINFORCED SIZES #4 AND SMALLER, GRADE 60 FOR REINFORCED SIZES #5 AND LARGER.
- CONCRETE SLAB REINFORCEMENT SHALL BE 6 X 6 10/10 WELDED WIRE FABRIC OR FIBER MESH REINFORCING; U.O.N. LAP WWF 12" AT SPLICES.
- STEEL REINFORCEMENT SHALL BE CLEAN AND FREE OF RUST, SCALE, DIRT OR GREASE.
- ALL REINFORCING STEEL, ANCHOR BOLTS, DOWELS AND OTHER INSERTS SHALL BE SECURELY FASTENED IN THE FORMS PRIOR TO INSPECTION TO INSURE MINIMUM CONCRETE COVER AS FOLLOWS:FOOTINGS: CONCRETE PLACED AGAINST EARTH3" CONCRETE PLACED AGAINST FORMS EXPOSED TO EARTH2" WALLS: INTERIOR FACE3/4" ;EXTERIOR FACE1-1/2". SLABS: TOP OR BOTTOM1". PIERS: EXTERIOR FACE1-1/2"
- MINIMUM LAP AND BEND FOR ALL REBAR SHALL BE 48 DIAMETERS.
- MINIMUM 48 HOUR NOTICE SHALL BE GIVEN ARCHITECT PRIOR TO EACH DAY OF POUR FOR STEEL INSPECTION.
- SILLS SHALL BE BOLTED TO CONCRETE WITH 5/8" DIAMETER ANCHOR BOLTS WITH 7" MIN. EMBEDMENT AT 4'-0" O.C., UNO. BOLTS SHALL OCCUR NOT MORE THAN 12", NOR LESS THAN 6" FROM EACH END OF ANY PIECE WITH A MINIMUM OF 2 BOLTS TO ANY PIECE. SHOP PINS MAY BE USED AT INTERIOR LOCATIONS AND AS SHOWN, UNLESS OTHERWISE NOTED AND SPECIFIED IN ARCHITECTURAL OR STRUCTURAL DRAWINGS.

SECTION 13: CONCRETE

- PORTLAND CEMENT SHALL CONFORM TO ASTM C-150 (TYPE II) UNLESS ALKALINE SOILS ARE PRESENT.
- WATER SHALL BE FIT TO DRINK.
- FINE AGGREGATES SHALL BE NATURAL SAND OR CRUSHED STONE OR GRAVEL TO 1/4" MAXIMUM. COARSE AGGREGATES SHALL BE CRUSHED STONE OR GRAVEL 1/4" TO 1-1/2" AND NOT GREATER THAN 1/5 OF THICKNESS AT WALLS AND FOOTINGS, AND NOT GREATER THAN 1/3 OF THICKNESS AT SLABS.
- CONCRETE SHALL BE PLACED WITH A MAXIMUM SLUMP OF 4". USE PLASTICIZERS WHERE MORE WORKABLE CONCRETE IS DESIRED.
- CONCRETE SHALL BE MAINTAINED IN A MOIST CONDITION FOR A MINIMUM OF FIVE (5) DAYS AFTER PLACEMENT. ALTERNATE METHODS OF CURING WILL BE APPROVED IF SATISFACTORY PERFORMANCE CAN BE DEMONSTRATED.
- CONCRETE SHALL ACHIEVE A MINIMUM OF 3,000 PSI COMPRESSION STRENGTH AT 28 DAYS, UNLESS NOTED OTHERWISE IN THE ARCHITECTURAL OR STRUCTURAL DRAWINGS.

SECTION 14: PROTECTION AND CURING

- ALL CONCRETE SHALL BE PROTECTED FROM INJURIOUS ACTION OF THE ELEMENTS AND DEFACEMENT OF ANY NATURE DURING CONSTRUCTION OPERATIONS.
- PROVIDE AND MAINTAIN PROPER CURING CONDITIONS REQUIRED FOR ALL CONCRETE WORK IN ACCORDANCE WITH ACI 301-72 (REVISED 1975), U.O.N. IN ARCHITECTURAL OR STRUCTURAL DRAWINGS AND/OR SPECIFICATIONS.

SECTION 15: NON-SHRINK GROUT

- NON-SHRINK GROUT SHALL BE CEMENT BASED WITH A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI WHEN TESTED IN ACCORDANCE WITH ASTM C-109.
- GROUT SHALL BE MIXED AND PLACED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

SECTION 16: GENERAL MASONRY WORK

- REMOVE ALL MORTAR STAINS AS A RESULT OF NEW MASONRY WORK.
- SEE CONCRETE NOTES FOR REINFORCING DESCRIPTION.

SECTION 17: MORTAR AND GROUT

- ALL MORTAR FOR REINFORCED MASONRY WALLS SHALL BE AS PER UBC TABLE NO. 24-A AND SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 1,800 PSI AT 28 DAYS, U.O.N. IN THE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS AND/OR SPECIFICATIONS.
- ALL MORTAR SHALL BE MIXED BY MECHANICAL MEANS AND PROPORTIONED BY ACCURATE MEASUREMENT.
- ALL GROUT FOR GROUTED VOIDS SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 2,000 PSI. FINE GROUT SHALL BE A MIX OF ONE PART PORTLAND CEMENT AND 2 1/4 TO 3 PARTS SAND. COARSE GROUT SHALL BE ONE PART PORTLAND CEMENT AND 2 1/4 TO 3 PARTS SAND, AND 2 PARTS (MAX) PEA GRAVEL (3/8"). SEE UBC TABLE NO. 24-B.
- CEMENT SHALL CONFORM TO ASTM C-150. THE USE OF PLASTIC/MASONRY CEMENTS WILL NOT BE ALLOWED.
- WATER SHALL BE FIT TO DRINK.

SECTION 18: UNIT MASONRY AND STONE/BRICK VENEER

- CONCRETE MASONRY UNITS TO BE ASTM C 90-70 GRADE N TYPE 1, 1000 PSI, ASTM C331 AND C33 MOISTURE CONTENT 30% MAXIMUM OF TOTAL ABSORPTION.
- ALL VENEER SHALL BE ANCHORED TO STRUCT. ELEMENTS USING CORROSION RESISTANT ANCHOR TIES. TIES SHALL BE A MIN 22 GA X 1" WITH MAX VERT AND HORIZ SPACING OF 16" O.C.
- NO MASONRY WORK SHALL BE LAID WHEN THE TEMPERATURE OF THE OUTSIDE AIR IS BELOW THAT REQUIRED BY THE MORTAR PRODUCT FOR PROPER INSTALLATION AND CURING, UNLESS PROVISION IS MADE TO MAINTAIN THE MASONRY ABOVE THIS TEMPERATURE AND KEEP IT FROM FREEZING.

SECTION 19: GENERAL METAL WORK

- PROVIDE AND INSTALL ALL STRUCTURAL STEEL, CONNECTORS, FASTENERS AND ACCESSORIES AS SHOWN ON THE DRAWINGS, MATERIALS LIST, AND AS REQUIRED FOR PROPER INSTALLATION OF STRUCTURAL MEMBERS.
- PRIME ALL EXPOSED STEEL MEMBERS WITH RUSTOLEUM #5769 PRIOR TO FINISH COAT.
- MATERIALS, STANDARDS, AND DETAILS SHALL CONFORM TO APPLICABLE AISC STANDARDS.

SECTION 20: STRUCTURAL STEEL

- STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36.
- TUBE AND PIPE COLUMNS SHALL CONFORM TO ASTM A-500 GRADE B AND ASTM A-53.
- ALL WELDING SHALL BE DONE BY CERTIFIED WELDERS, CERTIFIED FOR THE TYPE OF WELDS REQUIRED FOR THE JOB.
- ALL STEEL TO STEEL CONNECTIONS SHALL BE MADE WITH A-325 HIGH STRENGTH BOLTS.

SECTION 21: PREFABRICATED METAL CONNECTORS

- PROVIDE AND INSTALL ALL METAL CONNECTORS AS SHOWN AND REQUIRED FOR PROPER INSTALLATION OF STRUCTURAL MEMBERS.
- USE SIMPSON STRONG-TIE CONNECTORS OR EQUAL. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR FASTENERS. CALL FABRICATED BEAM AND POST CONNECTORS SHALL BE OF SAME WIDTH OF STRUCTURAL MEMBER PLUS 1/16" TO 1/8" MAXIMUM.
- HOLES IN FABRICATED CONNECTORS FOR BOLTS SHALL BE THE SAME DIAMETER OF THE BOLT PLUS 1/16" MAXIMUM.

SECTION 22: GENERAL CARPENTRY

A.TAKE CARE TO AVOID SPLITTING OF FRAMING AND FINISH MATERIALS DURING INSTALLATION.

B.APPROPRIATE CONNECTORS AND FASTENERS SHALL BE USED (WHETHER INDICATED OR NOT) TO PROVIDE PROPER INSTALLATION OF STRUCTURAL MEMBERS AND FINISH PIECES TO DEVELOP THEIR STRENGTH, RIGIDITY, AND PROPER INSTALLATION AND APPEARANCES FOR THE PURPOSES FOR WHICH THEY ARE INTENDED.

SECTION 23: FASTENERS

- FRAMING: COMMON WIRE NAILS AS SHOWN AND REQUIRED.
- EXTERIOR TRIM AND SIDING: RUST RESISTANT STAINLESS STEEL; HOT-DIPPED GALVANIZED, OR HIGH-TENSION STRENGTH ALUMINUM NAILS. MINIMUM EMBEDMENT OF 1-1/2" INTO SOLID NAILING.
- DECKING: 2 (MIN)-3" DECK SCREWS, AT EACH JOIST PER PIECE; COUNTERSUNK.
- INTERIOR TRIM: FINISH NAILS; BLIND NAIL WHERE PRACTICAL; COUNTERSINK HEADS WHERE FACE NAILING.
- POST AND BEAM: BOLT, SCREW OR NAIL AS SHOWN OR REQUIRED.
- ROOF DECKING: 10D AT 6" O.C. AT EDGES, 10D AT 10" O.C. FIELD.
- FLOOR DECKING: GLUE WITH CONSTRUCTION ADHESIVE AT EACH JOIST; 10D AT 6" O.C. AT EDGES; 10D AT 10" O.C. FIELD.
- LEDGERS: LAG SCREWS AS INDICATED.
- FABRICATED CONNECTORS: AS INDICATED OR AS REQUIRED OR PER MANUFACTURER REQ.M.TS.

SECTION 24: FRAMING CARPENTRY AND MATERIALS

- ALL DIMENSION LUMBER SHALL BE S4S, UNO. USE ONLY GRADED LUMBER AND WOOD PRODUCTS AS NOTED AND APPROPRIATE. MATERIALS MUST BE SOUND, SEASONED, WELL MANUFACTURED, FREE FROM WARP WITH MAXIMUM MOISTURE CONTENT OF 19%. JOISTS TO HAVE 1 1/2" (MIN) BEARING ON WOOD OR METAL OR 3" (MIN) ON MASONRY.
- ALL MANUFACTURED "1-JOIST" (LPI, BCI, TJI, ETC) MEMBERS TO BE INSTALLED PER MANUFACTURER REQUIREMENTS. PROVIDE 1 3/4" BEARING (MIN) AT JOIST AND RAFTER ENDS AND 3 1/2" (MIN) AT INTERMEDIATE SUPPORTS. SUBSTITUTIONS FOR SPECIFIED MEMBERS MUST MEET DESIGN CRITERIA. PROVIDE WEB STIFFENERS AS NECESSARY.
- ALL GLULAMINATED BEAMS AND COLUMNS SHALL BE OF COMBINATION 24F-V4 (24F-V8 FOR CONTINUOUS OR CANTILEVERED BEAMS), AND SHALL BE FABRICATED OF DOUGLAS FIR LAMINATIONS AND EXTERIOR GLUES, PER AITC STANDARD 117. CAMBER SHALL BE AS SHOWN. ARCHITECTURAL FINISH STANDARDS SHALL BE APPLIED FOR EXPOSED BEAMS. PROVIDE 1 1/2" (MIN) BEARING AT ENDS; U.O.N.
- ALL TRUSSES TO BE ENGINEERED AND PREFABRICATED BY THE TRUSS MANUFACTURER. VERIFY ALL LAYOUTS, BEARING CONDITIONS, SPANS, SIZES, ETC PRIOR TO PLACING ORDER.
- ALL HEADERS BELOW 6'-0" SPAN TO BE PROVIDED WITH 1 1/2" (MIN) BEARING. ALL HEADERS OVER 6'-0" SPAN TO BE PROVIDED WITH 3" (MIN) BEARING; U.O.N.

ISSUE	DATE
ZONING SET	9.20.2023
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GENERAL CONTRACTORS, SUB CONTRACTORS, AND ALL TRADESMEN ARE TO USE INSTALLATION REQUIREMENTS AS ISSUED BY THE MANUFACTURES OF THE PRODUCTS INSTALLED; AS WELL AS ALL APPLICABLE BUILDING CODES. THESE DRAWINGS ARE GENERAL DESIGN INTENT AND DO NOT REPLACE TECHNICAL REQUIREMENTS OF WARRANTED INSTALLATIONS BY MANUFACTURES OR BUILDING CODES.

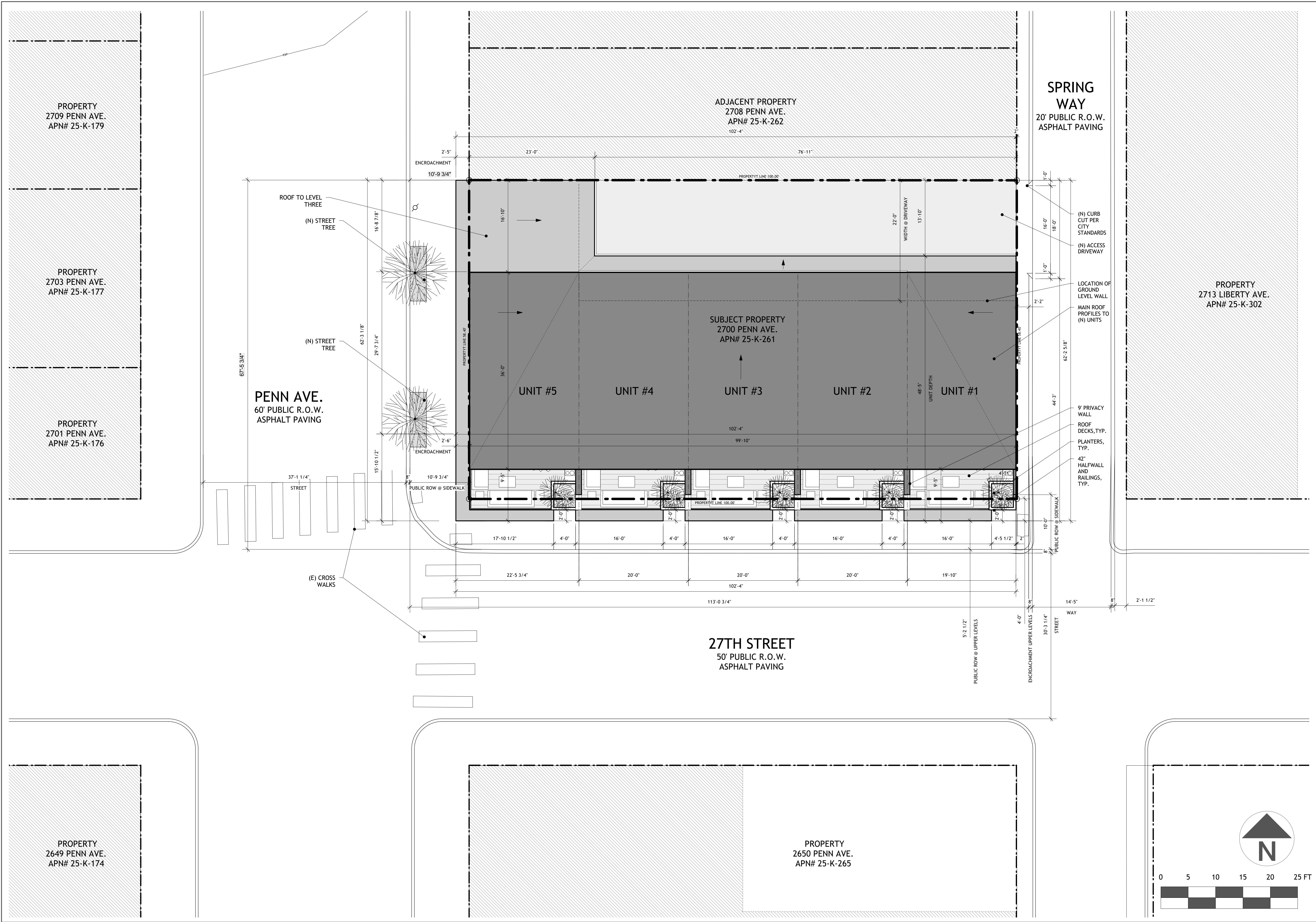
CIPRIANI STUDIOS EXPRESSLY RESERVES COMMON LAW COPYRIGHT AND OTHER PROPRIETARY RIGHTS TO ALL DESIGNS & INFORMATION IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION OF CIPRIANI STUDIOS.

NAME : GENERAL NOTES



SCALE : NA

<div><div>SECTION 24: FRAMING CARPENTRY AND MATERIALS - CONTINUED</div><div>6. SILL PLATES AND OTHER STRUCTURAL WOOD MEMBERS TO BE IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED HEM-FIR. FOUNDATION GRADE REDWOOD (AN ENDANGERED SPECIES) SHALL BE USED ONLY AS INDICATED ON THE DRAWINGS OR AS NECESSARY FOR APPEARANCE.</div><div>7. FLOOR AND ROOF DECKING SHALL BE INSTALLED WITH GRAIN PERPENDICULAR TO JOISTS OR RAFTERS, WHILE BEARING ON A MINIMUM OF THREE JOISTS OR RAFTERS.</div><div>8. LAY OUT PLUMBING LINES PRIOR TO JOIST AND PANEL LAYOUT. ADJUST JOIST LAYOUT AND HEADER-OFF FOR PLUMBING REQUIREMENTS AS REQUIRED.</div><div>9. POSTS SHALL BE AS SHOWN AND AS NECESSARY, AND SHALL PROVIDE SECURE, SOLID, AND FULL BLOCKING AT ALL BEARING POINTS DOWN TO THE FOUNDATION.</div><div>10. STAGGER TOP AND DOUBLE PLATE JOINTS 4'-0" (MINIMUM) AT EXTERIOR WALLS AND BEARING PARTITIONS. OVERLAP PLATES AT ALL CORNERS.</div><div>11. INSTALL A MINIMUM OF THREE STUDS WITH BLOCKING AT EVERY CORNER FOR WALL AND FINISH CONNECTIONS AND INSTALLATIONS.</div><div>12. ALL LOAD BEARING STUDS AND FLOOR JOISTS SHALL BE STACK-FRAMED, U.O.N.</div><div>13. DOUBLE JOISTS AND RAFTERS AT ALL OPENINGS UNLESS SHOWN OTHERWISE.</div><div>14. PROVIDE CONTINUOUS SOLID BRIDGING AT 8'-0" O.C. (MAX.) BETWEEN ALL FLOOR JOISTS AND RAFTERS, UNLESS INDICATED OTHERWISE.</div><div>15. PROVIDE CONTINUOUS BLOCKING BETWEEN JOISTS AND RAFTERS AT ALL BEARING POINTS.</div><div>16. PROVIDE BLOCKING UNDER PARALLEL EXTERIOR WALLS AND WALL PARTITIONS @ 4'-0" O.C. (MAX) AND AS NECESSARY.</div><div>17. PROVIDE 2 X BLOCKING, FURRING, NAILERS, SHIMS, ETC REQUIRED FOR INSTALLATION OF WALL FINISH MATERIALS, CABINETS, CLOSET SHELVING AND ROODS, BATHROOM ACCESSORIES, SOFFITS, TRIM, ETC.</div><div>18. ALL WALLS SHALL BE FIRE STOPPED WITH 2 X BLOCKING OR OTHER APPROVED MATERIAL @ FLOOR, CEILING, AND AT INTERVALS NOT TO EXCEED 8 FEET (VERTICALLY BETWEEN FLOOR AND CEILING).</div><div>19. PROVIDE SWAY BRACING AS REQUIRED; PER UBC 2517 (G) 3 AND AS SHOWN.</div><div>20. INSULATE ALL FRAMING CAVITIES WITH FIBERGLASS (I.E., PARTITION NAILERS, RIMS, CORNERS, ETC) DURING FRAMING AND BEFORE COVERING THESE CAVITIES TO RENDER INACCESSIBLE, WHERE/IF OCCURS IN PANEL GAPS IN EXTERIOR WALL.</div><div>SECTION 25: EXTERIOR SIDING AND TRIM CARPENTRY</div><div>1. CAULK ALL EXTERIOR JOINTS AROUND SIDING JOINTS, WINDOWS AND DOORS.</div><div>2. INSTALL 15# FELT, BUILDING PAPER, OR TYVEK OVER WALL SHEATHING PRIOR TO SIDING INSTALLATION.</div><div>3. INSTALL SIDING PER MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS.</div><div>SECTION 26: EXTERIOR DECKS, STAIRS, AND RAILINGS</div><div>1. ALL STRUCTURAL MEMBERS SHALL BE PRESSURE-TREATED HEM-FIR.</div><div>2. INSTALL SHEET METAL FLASHING BEHIND WALL AND UNDER DECKING.</div><div>3. INSTALL 2X DECKING WITH 3/16" SPACING BETWEEN MEMBERS.</div><div>SECTION 27: FINISH CARPENTRY</div><div>1. INTERIOR TRIM MATERIAL SHALL BE INSTALLED AS PER THE HIGHEST STANDARDS OF CRAFTSMANSHIP READY FOR FINISHES AS SPECIFIED.</div><div>2. SAND, STAIN, AND FINISH INTERIOR TRIM PRIOR TO INSTALLATION.</div><div>3. FILL ALL NAIL HOLES WITH COLOR PUTTY TO MATCH STAIN COLOR.</div><div>SECTION 28: INTERIOR STAIRS AND RAILINGS</div><div>1. STAIRS SHALL CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS AND SHALL BE AS PER OWNER INPUT DURING THE CONSTRUCTION PROCESS. VERIFY THE DESIGN AND SPECIFICATIONS OF THE STAR CONSTRUCTION WITH THE OWNER PRIOR TO CONSTRUCTION.</div><div>2. STAIR PARTS SHALL BE SITE BUILT AND INSTALLED BY THE GENERAL CONTRACTOR AS SHOWN IN THE DRAWINGS.</div><div>3. PROVIDE BLOCKING AS REQUIRED FOR RIGID AND SOLID BEARING FOR STAIR TREADS.</div><div>4. SCREW AND PLUG BALUSTERS, RAILS, AND CAP WITH DECK SCREWS AND CONTRASTING PLUGS AS REQUIRED.</div><div>SECTION 29: CUSTOM CASEWORK</div><div>A. PERFORM WORK TO CUSTOM QUALITY IN ACCORDANCE WITH "QUALITY STANDARDS" OF THE ARCHITECTURAL WOODWORK INSTITUTE (AWI).</div><div>B. HARDWARE SHALL BE AS SELECTED BY OWNER TO MATCH EXISTING.</div><div>C. PROVIDE AND SECURELY INSTALL 3/4" CDX, EXTERIOR GRADE PLYWOOD TOPS FOR THINSET COUNTER TOPS.</div><div>D. PROVIDE CUTOUTS FOR PLUMBING FIXTURES, INSERTS, APPLIANCES, OUTLET BOXES, AND OTHER FIXTURES AND FITTINGS. VERIFY LOCATIONS OF CUTOUTS FROM ON-SITE DIMENSIONS. SEAL CONTACT SURFACES OF CUT EDGES.</div><div>E. SAND WORK SMOOTH AND SET EXPOSED NAILS. APPLY WOOD FILLER IN EXPOSED NAIL INDENTATIONS. ON ITEMS TO RECEIVE TRANSPARENT FINISHES, USE WOOD FILLER WHICH MATCHES SURROUNDING SURFACES AND OF TYPES RECOMMENDED FOR APPLIED FINISHES. STAIN AND FINISH ALL EXPOSED EXTERIOR SURFACES. SEAL, CONCEALED AND SEMI-CONCEALED SURFACES.</div><div>F. SET AND SECURE CASEWORK IN PLACE RIGID, PLUMB, AND LEVEL. USE PURPOSE DESIGNED FIXTURE ATTACHMENTS AT CONCEALED LOCATIONS FOR WALL MOUNTED COMPONENTS. SECURE CABINET AND COUNTER BASES TO FLOOR USING APPROPRIATE ANGLES AND ANCHORAGES. COUNTER-SINK ANCHORAGE DEVICES AT EXPOSED LOCATIONS USED TO WALL MOUNT COMPONENTS, AND CONCEAL WITH SOLID PLUGS OF SPECIES TO MATCH SURROUNDING WOOD. FINISH FLUSH WITH SURROUNDING SURFACES.</div><div>G. ADJUST DOORS, DRAWERS, HARDWARE, FIXTURES AND OTHER MOVING OR OPERATING PARTS TO FUNCTION SMOOTHLY AND CORRECTLY. CLEAN CASEWORK, COUNTERS, SHELVES, HARDWARE, FITTINGS AND FIXTURES.</div><div>SECTION 30: GENERAL THERMAL AND MOISTURE PROTECTION</div><div>A. PROVIDE AND MAINTAIN CONTINUOUS AND CLEAR PASSAGE OF AIR ABOVE INSULATION AND BELOW ROOF DECKING, FROM SOFFIT TO RIDGE, HIP, OR END WALL VENTS. PROVIDE LATERAL FLOW @ VALLEYS, SKYLIGHTS, ETC.</div><div>B. PROVIDE AND INSTALL ALL INSULATIONS, CAULKING, SEALANTS, VAPOR BARRIERS, ROOFING, VENTILATION, SIDINGS AND TRIMS, AND FLASHING, ETC. AND THEIR ACCESSORIES AS SHOWN AND REQUIRED TO PROVIDE A WEATHER-TIGHT SEAL, ELIMINATE INFILTRATION, MINIMIZE HEAT LOSS AND TO PROVIDE A PROTECTED, ENERGY EFFICIENT STRUCTURE.</div><div>SECTION 31: DAMP PROOFING & MEMBRANE WATERPROOFING</div><div>A. MAINTAIN AMBIENT AND SURFACE TEMPERATURES ABOVE 40° FOR 24 HOURS BEFORE APPLICATION, AND CONTINUOUSLY UNTIL DAMP PROOFING HAS CURED.</div><div>B. DO NOT APPLY DAMP PROOFING TO DAMP, FROZEN, DIRTY, DUSTY, OR DECK SURFACES UNACCEPTABLE TO APPLICATOR. CLEAN AND PREPARE SURFACES TO RECEIVE DAMP PROOFING IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. PRIME SURFACES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. PERMIT PRIMER TO DRY.</div><div>C. VERIFY SURFACES ARE SOLID, FREE OF FROZEN MATTER, LOOSE PARTICLES, CRACKS, PITS, ROUGH PROJECTIONS, AND FOREIGN MATTER DETRIMENTAL TO ADHESION AND APPLICATION OF DAMP PROOFING.</div><div>D. VERIFY ITEMS WHICH PENETRATE SURFACES TO RECEIVE DAMP PROOFING ARE SECURELY INSTALLED. APPLY MEMBRANE TO SEAL PENETRATIONS, SMALL CRACKS, AND HONEYCOMB IN SUBSTRATE. USE ONLY MEMBRANE WATERPROOFING AT HIGH WATER AREAS.</div><div>E. APPLY 2 COATS OF COLD APPLIED ASPHALT BITUMEN DAMP PROOFING ON ALL EXTERIOR FOUNDATION WALLS., U.O.N. APPLY EACH COAT OF COLD BITUMEN WITH ROLLER OR BRUSH AT A CONTINUOUS AND UNIFORM RATE AS PER MANUFACTURER'S INSTRUCTIONS. APPLY FROM 2 INCHES BELOW FINISH GRADE ELEVATION TO TOP OF FOOTINGS.</div><div>F. PROTECT FINISHED DAMP PROOFING FROM DAMAGE DURING BACKFILL OPERATIONS.</div><div>SECTION 32: VENTILATION</div><div>A. PROVIDE CONTINUOUS 2" VENTILATION SPACE ABOVE ROOF INSULATION AND BELOW ROOF DECKING, FRO CONTINUOUS SOFFIT VENTS TO RIDGE VENTS, AS SHOWN AND NECESSARY.</div><div>B. PROVIDE ATTIC AND CRAWL SPACE VENTILATION AT A RATIO OF 1 SQUARE FOOT OF VENT PER 150 SQUARE FEET OF FLOOR AREA. A PROPERLY SIZED, HUMIDITY CONTROLLED FAN WITH INTAKE AND EXHAUST VENTS IS ALSO CONSIDERED ACCEPTABLE AT CRAWL SPACE AREAS.</div><div>SECTION 33: VAPOR AND AIR RETARDERS</div><div>A. CAREFULLY INSTALL ALL VAPOR BARRIERS TO PROVIDE A CONTINUOUS SEAL AGAINST WATER VAPOR.</div><div>B. OVERLAP ALL SEAMS AND THOROUGHLY STAPLE WHILE AVOIDING WRINKLES IN THE SHEETING.</div><div>C. AVOID PENETRATIONS AND UNNECESSARY CUTTING OF THE BARRIER OR UNDERLAYMENT.</div><div>D. CLOSELY CUT BARRIER AT WINDOW, DOOR, AND SKYLIGHT OPENINGS. INSTALL VAPOR BARRIER PIECES AT INSIDE CORNERS OF FRAMING.</div><div>E. CLOSELY CUT BARRIER AT ELECTRICAL OUTLETS AND SWITCHES, ETC. RESEAL PERIMETER WITH CAULK OR SPRAY FOAM INSULATION.</div><div>F. LAP PERMEABLE ROOFING AND WALL UNDERLAYMENTS A MINIMUM OF 2".</div><div>G. ALL VAPOR BARRIERS TO CRAWL SPACE FLOORS IN WET LOCATIONS.</div><div>SECTION 34: INSULATION</div><div>A. INSULATE ALL EXTERIOR FRAMING CAVITIES THAT WILL BECOME INACCESSIBLE WHILE FRAMING (IE. HEADERS, CORNERS, PARTITION NAILERS, ETC.) WITH FIBERGLASS., U.O.N.</div><div>B. INSTALL 1 X 6 SILL SEALER AT ALL EXTERIOR INTERFACES BETWEEN WOOD FRAMING AND STONE MASONRY.</div><div>C. LOOSELY INSTALL FIBERGLASS OR OTHER INSULATION BETWEEN DOOR, WINDOW, AND SKYLIGHT JAMBS AND FRAMING TO AVOID BENDING OF JAMBS.</div><div>D. INSTALL ALL INSULATION TO MAINTAIN A CONTINUOUS THERMAL LAYER BETWEEN THE INTERIOR AND EXTERIOR.</div><div>E. INSULATE ALL HEATING AND PLUMBING DUCTS AND PIPING TO MINIMIZE HEAT LOSS FOR THE LENGTH OF THEIR RUNS. PROVIDE ADEQUATE INSULATION AND TO PREVENT THE FREEZING OF WATER PIPING IN UNHEATED AREAS.</div><div>SECTION 35: SHINGLE ROOFING</div><div>A. INSTALL NEW FELT PAPER UNDERLAYMENT AS SHOWN. LAP A MINIMUM OF 2" AND THOROUGHLY STAPLE WHILE AVOIDING WRINKLES IN THE SHEETING. AVOID PENETRATIONS AND UNNECESSARY CUTTING OF THE UNDERLAYMENT.</div><div>B. INSTALL ROOFING, RIDGE VENTILATION, AND FLASHING, ETC. AND THEIR ACCESSORIES AS SHOWN AND REQUIRED TO PROVIDE A WEATHER-TIGHT SEAL, STRAIGHT AND TRUE, AND WITH FASTENERS SET.</div><div>SECTION 36: SIDING</div><div>A. CAULKING SHALL BE APPLIED AT ALL JOINTS BETWEEN SIDING AND SIDING, AND BETWEEN SIDING AND TRIM.</div><div>B. GALVANIZED (U.O.N.) DRIP CAP FLASHING SHALL BE PROVIDED AND INSTALLED AT TOPS OF ALL WINDOWS, DOORS, HORIZONTAL JOINTS BETWEEN SIDING, TRIM, AND OTHER EXTERIOR FINISHES AND AS REQUIRED.</div><div>C. INSTALL 15# FELT, BUILDING PAPER, OR TYVEK OVER WALL SHEATHING PRIOR TO SIDING INSTALLATION.</div><div>SECTION 39: SHEET METAL FLASHING AND TRIM</div><div>A. EXERCISE CARE WHEN WORKING ON OR ABOUT ROOF SURFACES, OR OTHER WATER IMPERVIOUS MEMBRANES, TO AVOID DAMAGING OR PUNCTURING UNDERLAYMENT, ROOFING, OR FLASHINGS.</div><div>B. VERIFY ROOF OPENINGS, CURBS, PIPES, SLEEVES, DUCTS, OR VENTS THROUGH ROOF ARE SOLIDLY SET. BEGINNING OF INSTALLATION MEANS ACCEPTANCE OF EXISTING CONDITIONS.</div><div>C. PROVIDE AND INSTALL 26 GAUGE GALVANIZED SHEET METAL FLASHING AS SHOWN AND REQUIRED AT CONCEALED AND EXPOSED AREAS. COLOR AT EXPOSED AREAS TO MATCH ROOFING; UNO.</div><div>D. INSTALL FLASHING SLEEVES AND COLLARS (PROVIDED BY THE GENERAL CONTRACTOR) FOR ELECTRICAL AND PLUMBING ITEMS PROTRUDING THROUGH ROOFING MATERIAL. INSTALL STARTER AND EDGE STRIPS, AND CLEATS BEFORE STARTING INSTALLATION. FIT FLASHINGS TIGHT IN PLACE. MAKE CORNERS SQUARE, SURFACES TRUE AND STRAIGHT IN PLANES, AND LINES ACCURATE TO PROFILES.</div><div>E. SECURE FLASHINGS IN PLACE USING CONCEALED FASTENERS. WHEN USING EXPOSED FASTENERS, THEY ARE TO BE OF THE SAME FINISH AS THE FLASHINGS. APPLY PLASTIC CEMENT COMPOUND BETWEEN METAL FLASHINGS AND FELT FLASHINGS.</div><div>SECTION 40: CAULKING AND SEALANTS</div><div>A. CAULK ALL EXTERIOR JOINTS AROUND SIDING JOINTS, WINDOWS AND DOORS.</div><div>B. USE COLORED CAULK AT EXPOSED AREAS TO BLEND WITH ADJACENT MATERIALS OR CAULK TO ACCEPT MATERIAL FINISH.</div><div>C. WARM ALL CAULKING AND SEALANTS PRIOR TO USE, PER THE MANUFACTURERS RECOMMENDATIONS.</div><div>SECTION 41: GENERAL WINDOW, DOORS, SKYLIGHTS, AND HARDWARE</div><div>A. PROVIDE PROPER ROUGH OPENINGS FOR ALL WINDOWS AND DOORS. PREPARE OPENING TO PERMIT CORRECT INSTALLATION OF WINDOW UNIT AND AIR AND VAPOR BARRIER SEAL.</div><div>B. PROVIDE AND INSTALL ALL WINDOWS, DOORS, AND HARDWARE AND THEIR ACCESSORIES AS SHOWN AND ACCORDING TO MANUFACTURER'S RECOMMENDATIONS FOR COMPLETE AND PROPER INSTALLATION.</div><div>C. ALL BEDROOM EGRESS WINDOWS SHALL HAVE A NET CLEAR OPENING HEIGHT DIMENSION NO LESS THAN 24" AND A NET CLEAR OPENING WIDTH NO LESS THAN 20" AND THE NET CLEAR OPENING MUST EQUAL 5.7 SQ. FT. MIN. THE MAXIMUM FINISHED SILL HEIGHT MUST BE NO GREATER THAN 44" ABOVE THE FINISHED FLOOR.</div><div>D. CONTRACTOR SHALL PROVIDE A COPY OF THE WINDOW ORDER TO THE ARCHITECTS PRIOR TO PLACING ORDERS FOR THE WINDOWS FOR VERIFICATION OF REQUIRED DIMENSIONAL CRITERIA PER THE APPROVED PLANS</div><div>SECTION 42: DOORS</div><div>A. ALL INTERIOR AND EXTERIOR DOORS SHALL BE PREHUNG, BORED, AND DRILLED UNLESS NOTED OTHERWISE ON THE DOOR SCHEDULE AND INSTALLED BY THE GENERAL CONTRACTOR.</div><div>B. ALL EXTERIOR DOORS TO INCLUDE FULL WEATHERSTRIPPING AND ADJUSTABLE THRESHOLD AS PROVIDED BY THE DOOR MANUFACTURER.</div><div>C. PROVIDE SOLID CORE, 1HR. RATED DOOR WITH CLOSER FOR SEPARATION BETWEEN GARAGE AND LIVING AREAS.</div><div>SECTION 43: SECTIONAL OVERHEAD DOORS</div><div>A. OVERHEAD SECTIONAL DOOR, DOOR OPERATOR, HARDWARE, TRACK, CONTROLS, AND ALL ACCESSORIES TO BE PROVIDED AND INSTALLED BY A QUALIFIED AND EXPERIENCED COMPANY</div><div>B. OVERHEAD SECTION DOOR SHALL BE INSULATED WITH RIGID FOAM INSULATION AND TO INCLUDE FULL PERIMETER WEATHERSTRIPPING AS PROVIDED BY THE DOOR MANUFACTURER, INCLUDING ADJUSTABLE BOTTOM.</div><div>SECTION 44: WOOD WINDOWS</div><div>A. ALL WOOD WINDOWS SHALL BE PRE-MANUFACTURED WITH EXTRUDED ALUMINUM CLADDING, HIGH-ALTITUDE INSULATING GLAZING, WEATHERSTRIPPING, INSECT SCREENS (OPERABLE UNITS ONLY), OPERATING AND LOCKING HARDWARE (AS SELECTED BY THE OWNER) AND WITHOUT JAMB EXTENSIONS. ALL WINDOWS TO BE PROVIDE AND INSTALLED BY THE GENERAL CONTRACTOR IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. MAXIMUM DIAGONAL DISTORTION TO BE: 1/16" MEASURED WITH STRAIGHT EDGE, CORNER TO CORNER. ADJUST FOR SMOOTH AND BALANCED WINDOW MOVEMENT. WINDOW UNITS SHALL BE FABRICATED TO MANUFACTURER'S STANDARD FABRICATION REQUIREMENTS.</div><div>B. SEE THE WINDOW AND DOOR SCHEDULE FOR INFORMATION AND SPECIFICATION REGARDING THE WINDOWS IN THIS PROJECT.</div><div>SECTION 45: DOOR HARDWARE</div><div>A. PACKAGE HARDWARE ITEMS INDIVIDUALLY; LABEL AND IDENTIFY PACKAGE WITH DOOR OPENING CODE TO MATCH HARDWARE SCHEDULE.</div><div>B. MAINTAIN ALIGNMENT WITH ADJACENT WORK. SECURE ASSEMBLY WITHOUT DISTORTION OR STRESS.</div><div>C. PROVIDE SPECIAL WRENCHES AND TOOLS APPLICABLE TO EACH DIFFERENT OR SPECIAL HARDWARE COMPONENTS. PROVIDE MAINTENANCE TOOLS AND ACCESSORIES SUPPLIED BY HARDWARE COMPONENT MANUFACTURER.</div><div>D. ALL DOOR LOCKS TO BE MASTER KEYED AS DIRECTED BY OWNER. SUPPLY TWO KEYS FOR EACH LOCK.</div><div>E. ALL HARDWARE AND TRIM ITEMS SHALL BE SELECTED BY THE OWNER AND PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR UNO.</div><div>F. MOUNTING HEIGHTS FOR HARDWARE FROM FINISHED FLOOR TO CENTER LINE OF HARDWARE ITEM SHALL BE AS INDICATED BELOW. VERIFY ALL MOUNTING HEIGHTS WITH MANUFACTURER OF HARDWARE ITEM TO INSURE COMPLIANCE WITH APPLICABLE CODES.</div><div>H. LOCK SETS: 3" 2. DOOR PULLS: 4" 3. DEAD LOCKS: 6"</div><div>SECTION 46: GENERAL PLUMBING AND MECHANICAL</div><div>A. THE DRAWINGS ARE CONSIDERED SCHEMATIC AND ARE SHOWN AS A GUIDE FOR THE PLUMBING AND HEATING SYSTEMS. SUBMIT A PLUMBING AND HEATING DESIGN, WITH POSSIBLE OPTIONS, TO THE ARCHITECT, GENERAL CONTRACTOR, OR OWNER, ALONG WITH THE BID FOR WORK TO BE PERFORMED, IN ITS ENTIRETY, AS SHOWN ON THE SUBMITTED PLUMBING AND HEATING DESIGN.</div><div>B. PROVIDE AND INSTALL SHUT-OFF VALVE ON COLD WATER LINE AT THE WATER HEATER.</div><div>C. VERIFY ROUTING AND SIZES OF ALL NEW EQUIPMENT, FIXTURES, AND PLUMBING PRIOR TO BEGINNING WORK.</div><div>D. PROVIDE AND INSTALL ALL FIXTURES, PIPING, AND FITTINGS FOR TIE-IN TO NEW PLUMBING FIXTURES FOR COMPLETE MECHANICAL SYSTEM.</div><div>E. OFFSET PIPING, ETC. AS NECESSARY TO ACCOMMODATE STRUCTURE, BEAMS, COLUMNS, ETC., AND EXISTING PLUMBING LINES. COORDINATE CUTTING OR DRILLING OF STRUCTURAL MEMBERS WITH THE GENERAL CONTRACTOR TO FACILITATE PIPING RUNS AND TO AVOID DAMAGE.</div><div>F. THE PLUMBING AND HEATING CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY IN THE FORM OF PAYMENT TO THE GENERAL CONTRACTOR FOR COSTS INCURRED TO REPAIR, TO THE SATISFACTION OF THE OWNER, ANY COMPROMISING OF STRUCTURAL MEMBERS, WORK OF OTHER TRADES, FINISHES, OR OTHER DAMAGE CAUSED WHILE ON SITE AND PERFORMING PLUMBING AND HEATING WORK.</div><div>G. COORDINATE THE INSTALLATION OF THE HEATING SYSTEM AND HOT WATER SYSTEM WITH THE GENERAL CONTRACTOR TO INSURE ALL COMPONENTS OF EQUIPMENT AND CONTROLS ARE INCLUDED AND CONNECTED AS WELL AS LOCATIONS OF HEATING UNITS AND FLOOR TUBING.</div><div>H. PROVIDE AND INSTALL ALL GAS PIPING VERIFYING REQUIRED SIZE AND STUB-IN LOCATION.</div><div>I. COORDINATE ALL OPENINGS REQUIRED THROUGH ROOFS OR WALLS WITH THE GENERAL CONTRACTOR. PROVIDE THESE OPENINGS AND WEATHER-TIGHT SEALS FOR ALL BUILDING PENETRATIONS. ASSIST THE GENERAL CONTRACTOR IN THE INSTALLATION OF THESE SEALS.</div><div>J. PROVIDE AND INSTALL RANGE HOOD AND CLOTHES DRYER VENTS TO THE OUTSIDE, PER CODE REQUIREMENTS.</div><div>K. INSPECT WATER SUPPLY MAIN TO DETERMINE WATER PRESSURE LEVEL AND SYSTEM BEST SUITED FOR INCREASING PRESSURE LEVEL TO SATISFACTION OF THE OWNER.</div><div>SECTION 47: PLUMBING FIXTURES</div><div>A. ALL PLUMBING FIXTURES TO BE PROVIDED AND INSTALLED BY THE PLUMBING CONTRACTOR; UNLESS OTHER ARRANGEMENTS ARE MADE WITH THE OWNER.</div><div>SECTION 48: GENERAL ELECTRICAL</div><div>A. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN.</div><div>B. THE ELECTRICAL CONTRACTOR SHALL GUARANTEE MATERIALS AND WORKMANSHIP AGAINST DEFECTS WHICH MAY OCCUR UNDER NORMAL USAGE FOR A PERIOD OF ONE (1) YEAR AFTER FINAL ACCEPTANCE. ALL GUARANTEE TIME PERIODS PROVIDED BY EQUIPMENT MANUFACTURER'S SHALL CONTINUE TO BE IN EFFECT.</div><div>C. THE ELECTRICAL WORK SHALL INCLUDE THE SUPPLY AND INSTALLATION OF ALL ROUGH-IN MATERIALS, DEVICES, TRIM, AND SCHEDULED FIXTURES AS REQUIRED AND NECESSARY FOR ALL ELECTRICAL, TELEPHONE, APPLIANCES, AND EQUIPMENT, ETC; UNO.</div><div>D. THE ELECTRICAL CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE MECHANICAL SYSTEMS WITH THE MECHANICAL CONTRACTOR TO INSURE ALL COMPONENTS OF EQUIPMENT AND CONTROLS ARE INCLUDED AND WIRED. ALL ELECTRICAL POWER WIRING, LOW VOLTAGE CONTROL WIRING, FUSES, CONDUIT, AND SWITCHES SHALL BE PROVIDED AND INSTALLED BY THE ELECTRICAL CONTRACTOR. THERMOSTATS SHALL BE PROVIDED AND INSTALLED BY THE MECHANICAL CONTRACTOR.</div><div>E. CUTTING, DRILLING, AND CHASING OF THE BUILDING SURFACES AS REQUIRED FOR SUPPORT, ANCHORAGE, AND PASSAGE OF ELECTRICAL EQUIPMENT SHALL BE DONE BY THE ELECTRICAL CONTRACTOR. WHERE STRUCTURAL MEMBERS ARE INVOLVED, THE GENERAL CONTRACTOR'S APPROVAL SHALL BE FIRST OBTAINED.</div><div>F. THE ELECTRICAL CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY IN THE FORM OF PAYMENT TO THE GENERAL CONTRACTOR FOR COSTS INCURRED TO REPAIR, TO THE SATISFACTION OF THE OWNER, ANY COMPROMISING OF STRUCTURAL MEMBERS, WORK OF OTHER TRADES, FINISHES, OR OTHER DAMAGE CAUSED WHILE ON SITE AND PERFORMING ELECTRICAL WORK.</div><div>G. PROVIDE AND INSTALL BATHROOM EXHAUST FANS VENTED TO THE OUTSIDE.</div><div>H. PROVIDE AND INSTALL A MINIMUM OF ONE SWITCHED LIGHT IN EACH ATTIC SPACE AND THREE SWITCHED LIGHTS IN THE UNDER FLOOR CRAWL SPACE; UNO.</div><div>I. PROVIDE AND INSTALL BATTERY POWERED SMOKE DETECTORS AS SHOWN AND REQUIRED.</div></div>	<div>CIPRIANISTUDIOS DESIGN + DEVELOPMENT</div> <div><div>ISSUE</div><div>DATE</div></div> <div>ZONING SET DOMI SET</div> <div>9.20.2023 10.12.2023</div>
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<div>NAME : GENERAL NOTES</div>	
<div></div>	
<div>SCALE : NA</div>	
<div>A 0.3</div>	
<div>GENERAL NOTES</div>	
<div>SHEET</div>	



CIPRIANISTUDIOS
DESIGN + DEVELOPMENT

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NAME : SITE PLAN

SCALE : 1/8"=1'-0"

A 1.1

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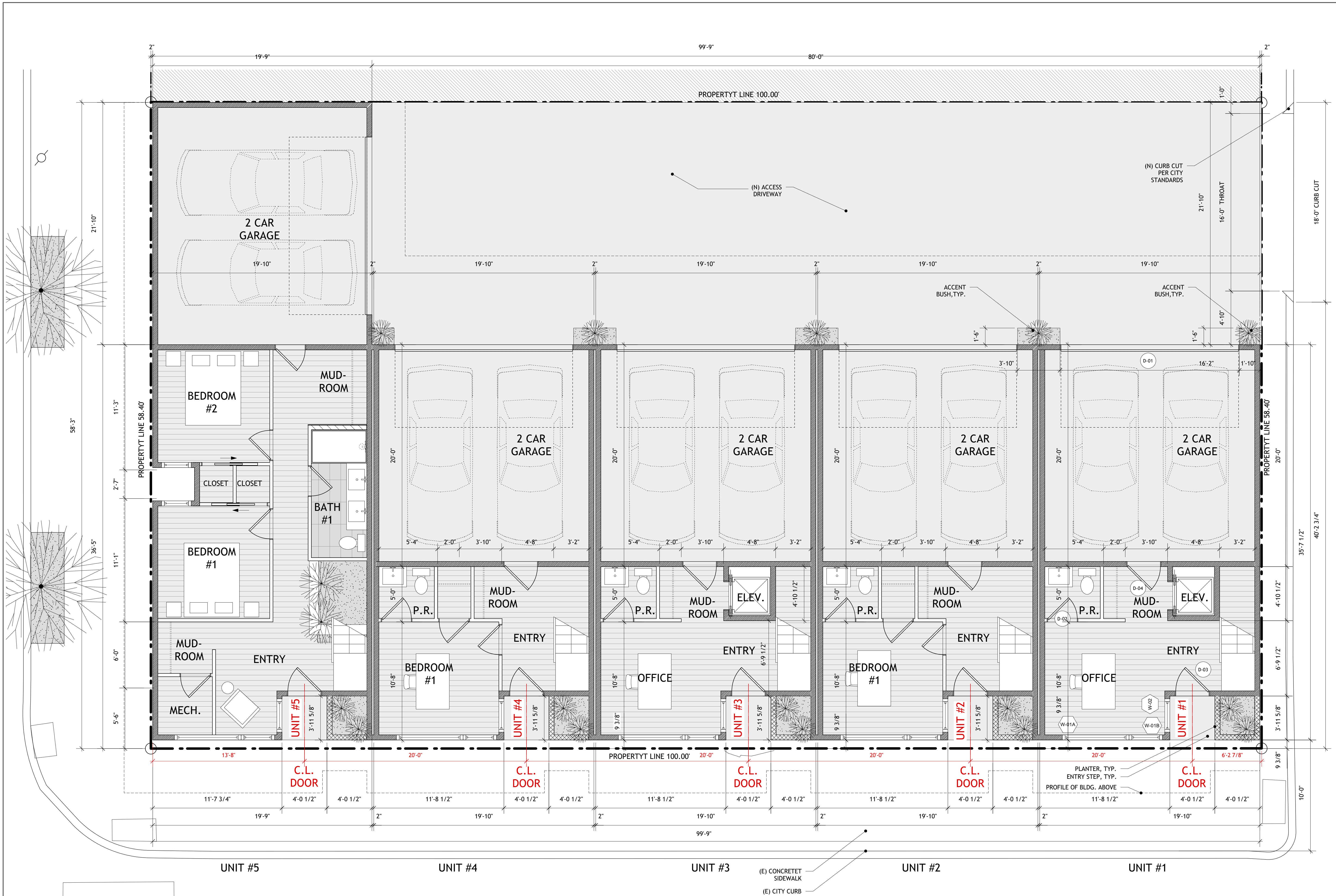
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NAME : FLOOR PLANS



SCALE : 1/4"=1'-0"



LEVEL ONE FLOOR PLANS

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SCALE : 1/4"=1'-0"



LEVEL TWO FLOOR PLANS

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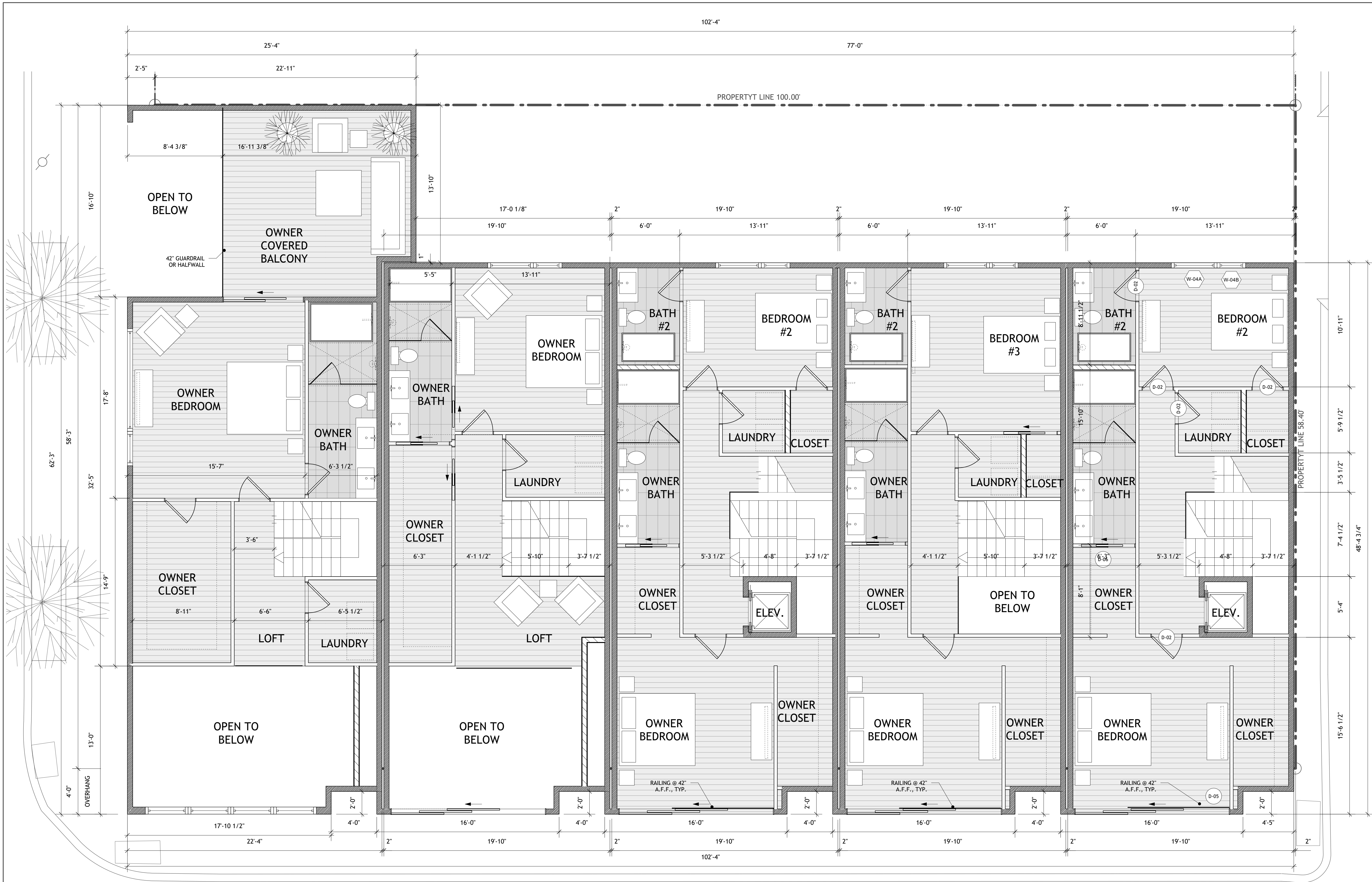
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NAME : FLOOR PLANS



SCALE : 1/4"=1'-0"



UNIT #5

UNIT #4

UNIT #3

UNIT #2

UNIT #1



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NAME : FLOOR PLANS



SCALE : 1/4"=1'-0"

A 2.4

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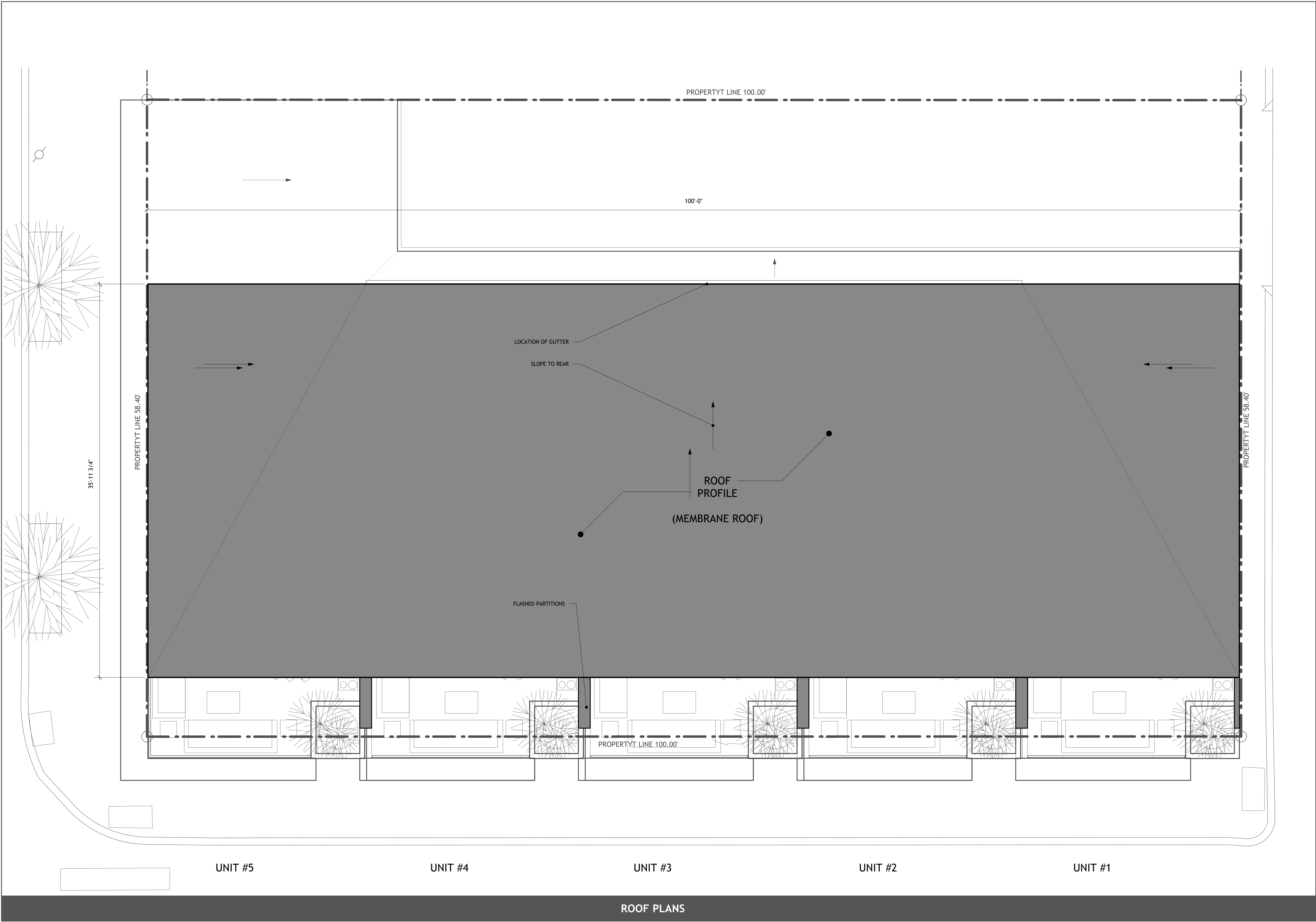
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NAME : FLOOR PLANS



SCALE : 1/4"=1'-0"





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NAME : EXTERIOR ELEVATIONS



SCALE : 1/4"=1'-0"

A 4.1

SHEET

FRONT ELEVATION [27TH STREET]

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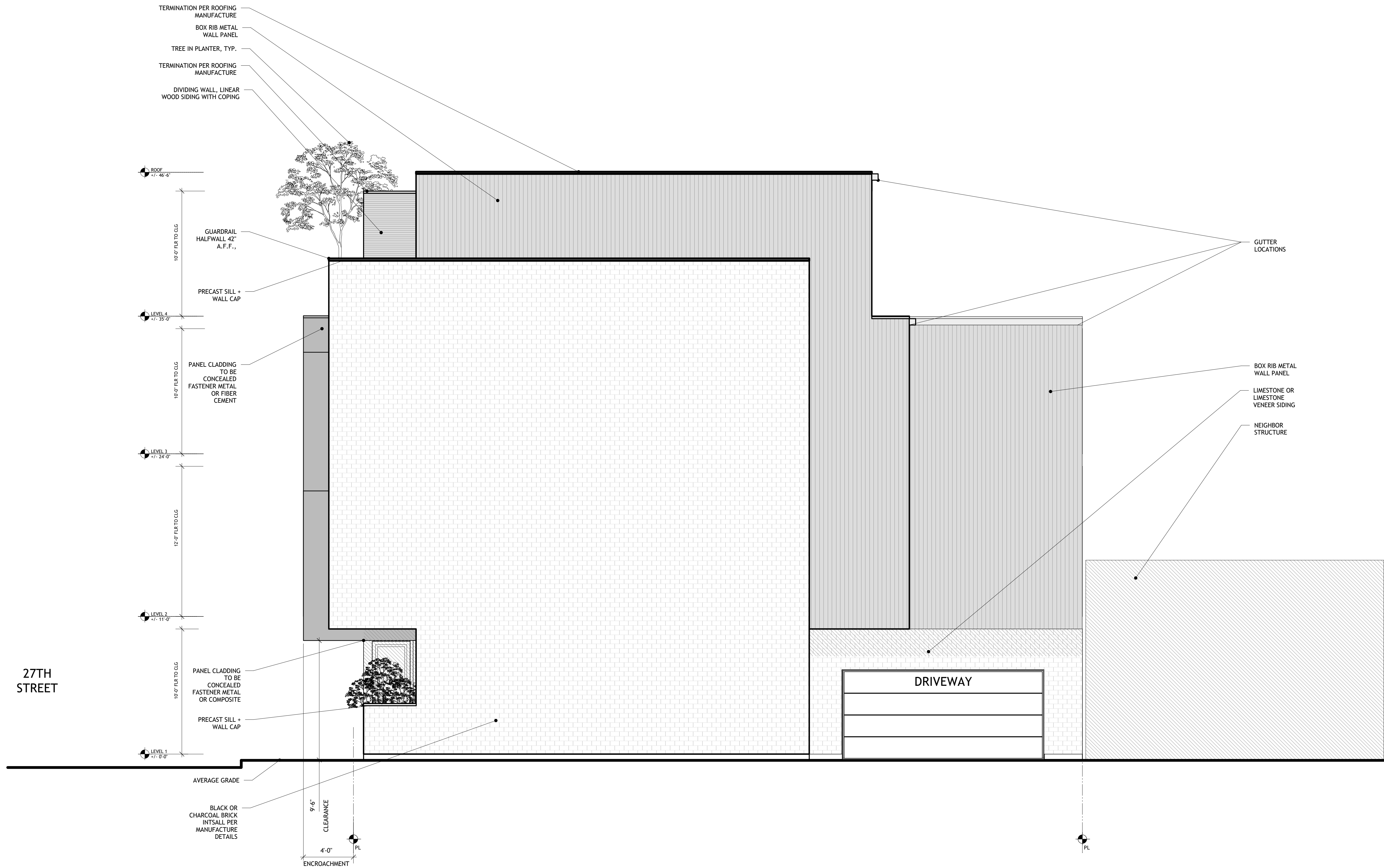
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NAME : EXTERIOR ELEVATIONS



SCALE : 1/4"=1'-0"

A 4.2
SHEET



RIGHT SIDE ELEVATION [SPRING WAY]

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AVENUE
RESIDENCES**
2700 PENN AVE.
PITTSBURGH, PA 15222

GENERAL CONTRACTORS, SUB CONTRACTORS, AND ALL TRADESMEN ARE TO USE INSTALLATION REQUIREMENTS AS ISSUED BY THE MANUFACTURERS OF THE PRODUCTS INSTALLED, AS WELL AS ALL APPLICABLE BUILDING CODES. THESE DRAWINGS ARE GENERAL DESIGN INTENT AND DO NOT REPLACE TECHNICAL REQUIREMENTS OF WARRANTIED INSTALLATIONS BY MANUFACTURES OR BUILDING CODES.

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NAME : EXTERIOR ELEVATIONS



SCALE : 1/4"=1'-0"

A 4.3
SHEET



REAR ELEVATION [DRIVEWAY]

ISSUE	DATE
ZONING SET	9.20.2023
DOMI SET	10.12.2023

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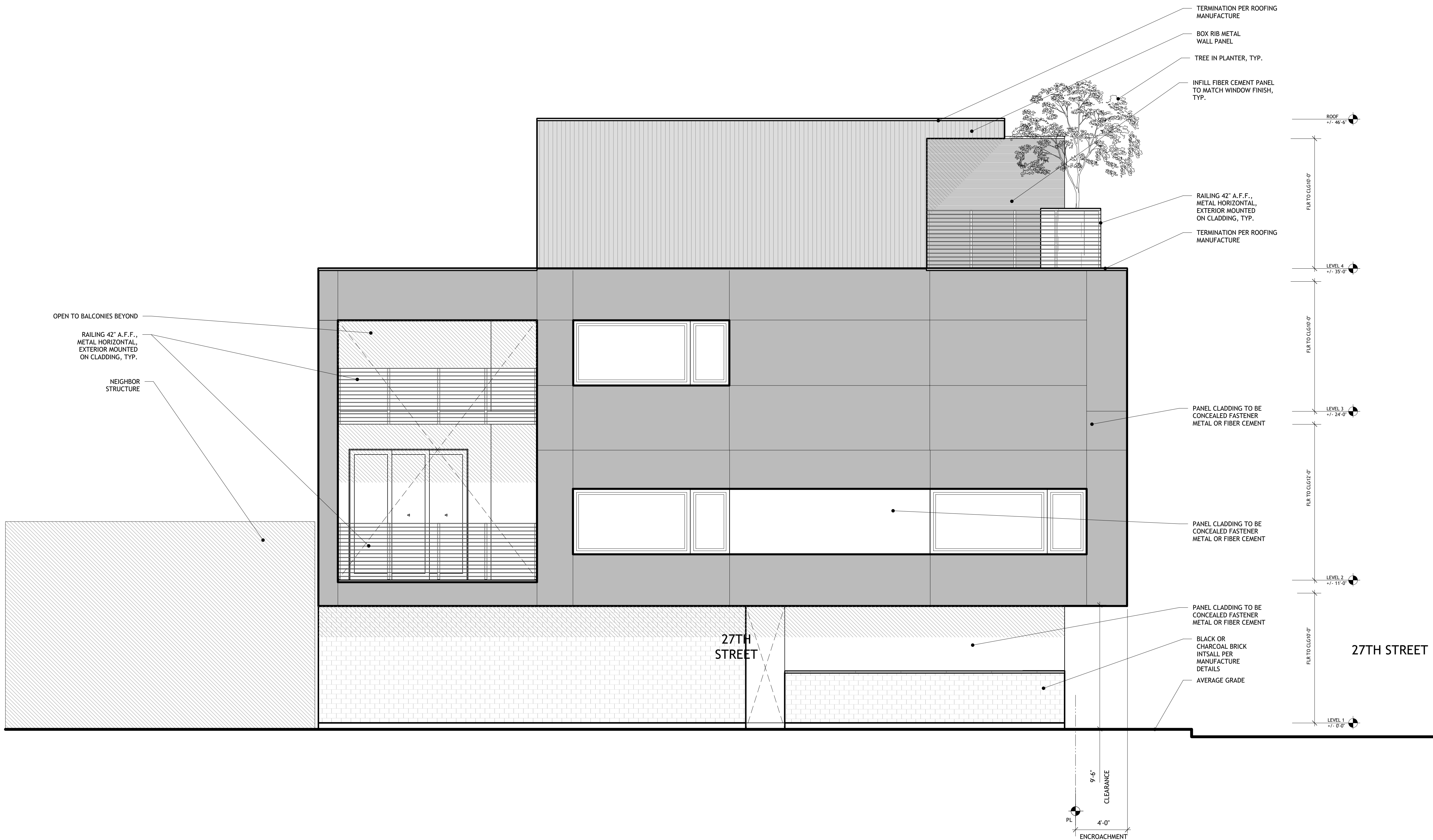
NAME : EXTERIOR ELEVATIONS



SCALE : 1/4"=1'-0"

A 4.4

SHEET



LEFT SIDE ELEVATION [PENN AVE.]

Door Schedule													
		Nominal Size								Door Data			
		Width	Height	Thickness			Side Lights	L Sidelit Wid	R Sidelit Wid				
	Mark				Door Operation	Slab Style				Mfr	Model No.	Finish	Comments
D-	01	16'0"	7'0"	1 3/4"	Overhead	Panel	-	0"	0"	Clopay	Insulated sectional	Black	Smooth texture
D-	02	2'8"	6'8"	1 3/4"	Swing Simple	Solid	-	0"	0"		Solid-core masonite	Paint grade	
D-	02	2'8"	6'8"	1 3/4"	Swing Simple	Solid	-	0"	0"		Solid-core masonite	Paint grade	
D-	02	2'8"	6'8"	1 3/4"	Swing Simple	Solid	-	0"	0"		Solid-core masonite	Paint grade	
D-	02	2'8"	6'8"	1 3/4"	Swing Simple	Solid	-	0"	0"		Solid-core masonite	Paint grade	
D-	02	2'8"	6'8"	1 3/4"	Swing Simple	Solid	-	0"	0"		Solid-core masonite	Paint grade	
D-	02	2'8"	6'8"	1 3/4"	Swing Simple	Solid	-	0"	0"		Solid-core masonite	Paint grade	
D-	02	2'8"	6'8"	1 3/4"	Swing Simple	Solid	-	0"	0"		Solid-core masonite	Paint grade	
D-	02	2'8"	6'8"	1 3/4"	Swing Simple	Solid	-	0"	0"		Solid-core masonite	Paint grade	
D-	02	2'8"	6'8"	1 3/4"	Swing Simple	Solid	-	0"	0"		Solid-core masonite	Paint grade	
D-	03	3'0"	9'0"	1 3/4"	Swing Simple	Glass	-	0"	3'0"	Anderson	-	Black	
D-	04	3'0"	6'8"	1 3/4"	Swing Simple	Solid	-	0"	0"		20 Min. fire rated	Paint grade	
D-	05	13'6"	8'0"	1 3/4"	Slider	Glass	-	0"	0"		20 Min. fire rated	Paint grade	
D-	05	13'6"	10'0"	1 3/4"	Slider	Glass	-	0"	0"		20 Min. fire rated	Paint grade	
D-	06	2'4"	7'0"	1 3/4"	Pocket Simple	Solid	-	0"	0"		Solid-core masonite	Paint grade	
D-	06	2'4"	7'0"	1 3/4"	Pocket Simple	Solid	-	0"	0"		Solid-core masonite	Paint grade	
D-	07	7'0"	10'0"	1 3/4"	Slider	Glass	-	0"	0"	Anderson	-	Black	
D-	08	9'0"	9'0"	1 3/4"	Slider	Glass	-	0"	0"	Anderson	-	Black	
D-	09	5'0"	9'0"	1 3/4"	Barn	Solid	-	0"	0"		Solid-core masonite	Paint grade	

Window Schedule										
		Nominal Size								
		O.A. Width	O.A. Height							
	Mark			Sash Operation	Egress	Mfr		Model No.	Finish	Comments
W-	01 A	6'0"	5'0"	Fixed Glass	-	Anderson	-		Black	
W-	01 B	3'0"	5'0"	Casement	X	Anderson	-		Black	
W-	02	3'0"	5'0"	Casement	X	Anderson	-		Black	
W-	04 A	4'0"	6'0"	Fixed Glass	-	Anderson	-		Black	
W-	04 A	4'0"	6'0"	Fixed Glass	-	Anderson	-		Black	
W-	04 A	4'0"	6'0"	Fixed Glass	-	Anderson	-		Black	
W-	04 B	2'6"	6'0"	Casement	X	Anderson	-		Black	
W-	04 B	2'6"	6'0"	Casement	X	Anderson	-		Black	
W-	04 B	2'6"	6'0"	Casement	X	Anderson	-		Black	
W-	05	4'0"	6'0"	Fixed Glass	-	Anderson	-		Black	

ISSUE	DATE
ZONING SET	9.20.2023
DOMI SET	10.12.2023

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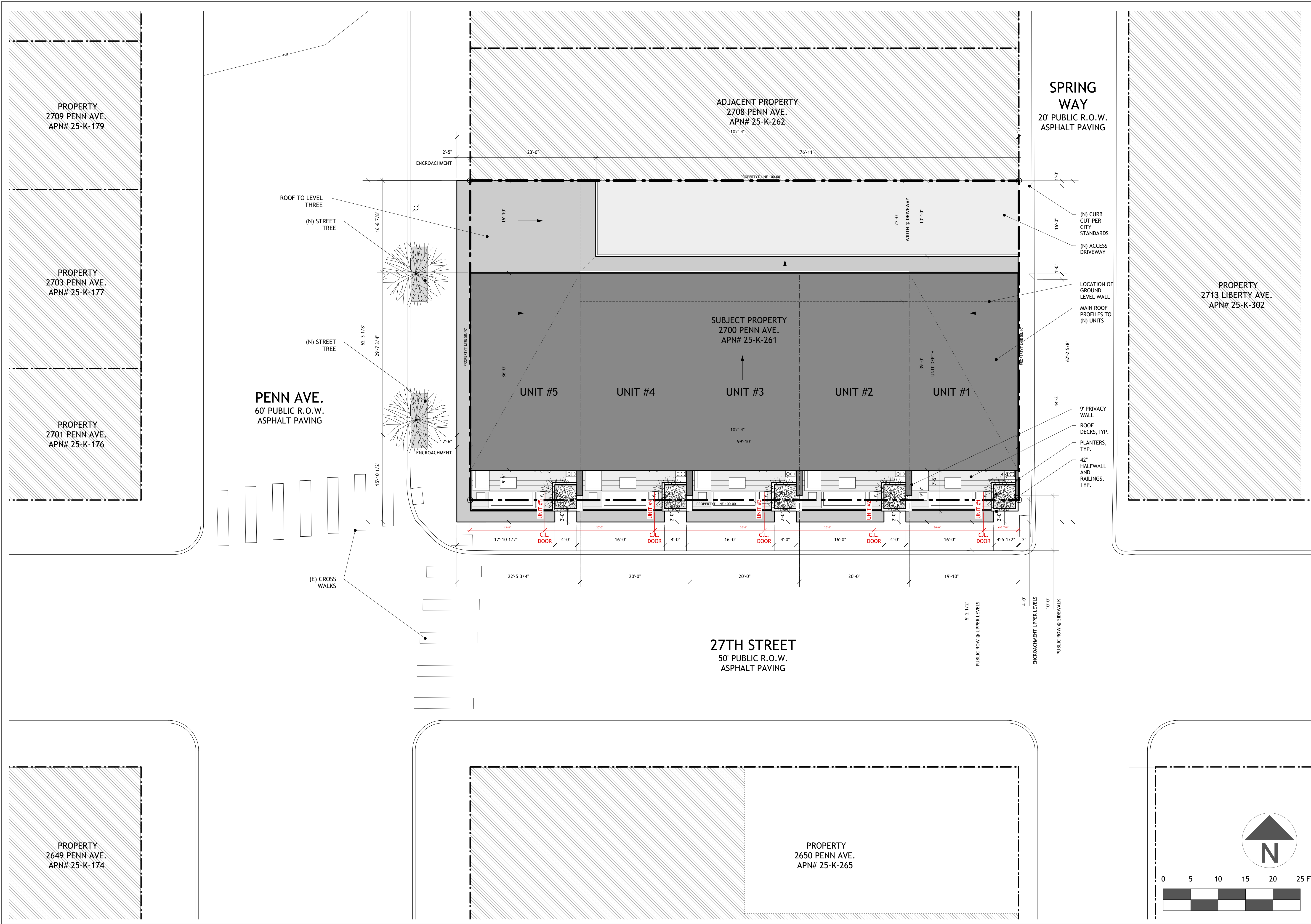
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NAME : SCHEDULES



SCALE : NA



CIPRIANISTUDIOS
DESIGN + DEVELOPMENT

ISSUE

DATE

ZONING SET9.20.2023

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PITTSBURGH, PA 15222

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NAME : SITE PLAN



SCALE : 1/8"=1'-0"

A 1.1

SHEET