

DRAWINGS AUTHORIZING ACQUISITION OF RIGHT-OF-WAY FOR

NORTH AVENUE AND BRIGHTON ROAD
IN ALLEGHENY COUNTY

BY NORFOLK SOUTHERN RAILWAY COMPANY

ON BEHALF OF

CITY OF PITTSBURGH

DEPARTMENT OF MOBILITY AND INFRASTRUCTURE

NORTH AVENUE R/W

FROM STA 8+85.41 TO STA 13+63.00 LENGTH 477.59 FT 0.090 MI

AND

BRIGHTON ROAD R/W

FROM STA 99+87.00 TO STA 108+13.00 LENGTH 816.90 FT 0.155 MI

THIS PLAN PREPARED PURSUANT TO SECTION 2003(e) OF THE ADMINISTRATIVE
CODE, AS AMENDED, 71 P.S. SECTION 513(e), AND SECTION 302(b)(3) OF THE
EMINENT DOMAIN CODE, 26 Pa. C.S., SECTION 302(b)(3).

THE PUBLIC UTILITY COMMISSION SHALL APPROPRIATE PROPERTY IN APPLICATION
DOCKET NO A-2018-3006432 BETWEEN NORTH AVENUE STATION 9+80.08 AND
BRIGHTON ROAD STATION 103+82.00 PURSUANT TO THE PROVISIONS OF SECTION
2702(b) OF THE ACT OF JULY 1, 1978, P.L. 598, NO. 116 (66 P.S. 2702).

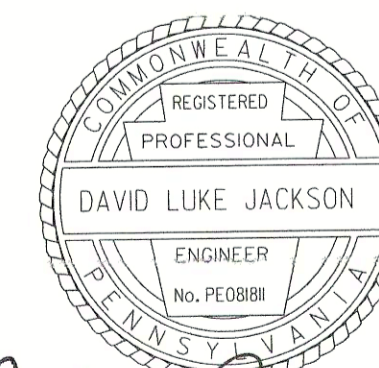
THE CITY OF PITTSBURGH AUTHORIZES THE ACQUISITION OF RIGHT-OF-WAY
FOR THE NORTH AVENUE BRIDGE REPLACEMENT PROJECT IN THE CITY OF
PITTSBURGH PURSUANT TO RESOLUTION NO. _____ OF _____,
APPROVED _____, EFFECTIVE _____.

PLANS PREPARED BY
MICHAEL BAKER INTERNATIONAL
MOON TOWNSHIP, PA

PLANS PREPARED BY
MICHAEL BAKER INTERNATIONAL
MOON TOWNSHIP, PA

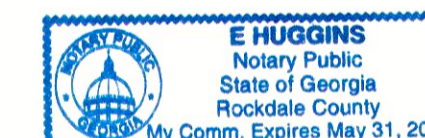


Ralph William Gromley
01/20/2026
LAND SURVEYOR DATE
REGISTERED PROFESSIONAL
LAND SURVEYOR



David Luke Jackson
01/20/2026
ENGINEER DATE
REGISTERED PROFESSIONAL
ENGINEER

COMMONWEALTH OF PENNSYLVANIA - *State of Georgia*
COUNTY OF ALLEGHENY *Fulton* SS *Kristi Glahn*
BEFORE ME, A NOTARY PUBLIC, PERSONALLY CAME *Kristi Glahn*,
DIRECTOR OF REAL ESTATE, NORFOLK SOUTHERN CORPORATION, WHO
ACKNOWLEDGED THE WITHIN PLAN, COMPRISING 17 SEPARATE SHEETS, TO BE AN
OFFICIAL PLAN OF THE CITY OF PITTSBURGH AND DESIRED THAT THE SAME BE
RECORDED AS SUCH.



WITNESS MY HAND AND NOTORIAL SEAL

E. Huggins 2/25/2026

APPROVED BY

DATE:

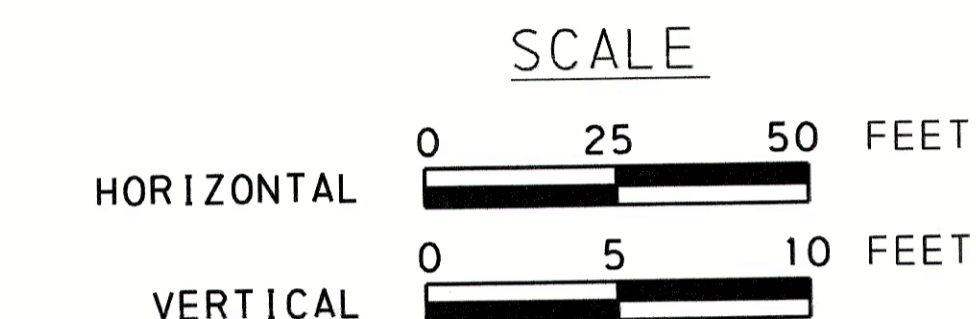
Kristi Glahn
DIRECTOR REAL ESTATE,
NORFOLK SOUTHERN CORPORATION

2/25/2026



**RIGHT-OF-WAY PLAN
TITLE SHEET
NORTH AVENUE BRIDGE REPLACEMENT**

SCALE: AS NOTED	SHEET NO. _____	ACCESSION NO. _____
DATE: JANUARY 2026	\$TTL01\$GF 66	CASE NO. _____



DESIGN DESIGNATION – NORTH AVENUE

HIGHWAY CLASSIFICATION - NEIGHBORHOOD COLLECTOR
HIGHWAY TYPOLOGY - TOWN/VILLAGE NEIGHBORHOOD
DESIGN SPEED - 25 MPH
PAVEMENT WIDTH - 3 - VARIES 10'-0" TO 11'-0" LANES
SHOULDER WIDTH - NONE
MEDIAN WIDTH - NONE

TRAFFIC DATA

OPENING YEAR ADT - 8340 (2025)
DESIGN YEAR ADT - 9590 (2045)
DHV - 960
D - 55%
T - 4%

DESIGN DESIGNATION – BRIGHTON ROAD

HIGHWAY CLASSIFICATION - COMMUNITY COLLECTOR
HIGHWAY TYPOLOGY - TOWN/VILLAGE NEIGHBORHOOD
DESIGN SPEED - 30 MPH
PAVEMENT WIDTH - 3 - 10'-0" LANES
BIKE LANE WIDTH - 5'-0"
SHOULDER WIDTH - NONE
MEDIAN WIDTH - NONE

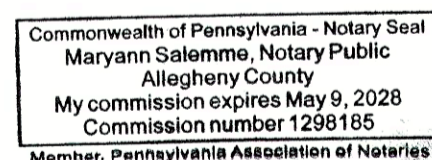
TRAFFIC DATA

OPENING YEAR ADT - 10580 (2025)
DESIGN YEAR ADT - 12170 (2045)
DHV - 1220
D - 55%
T - 5%

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF ALLEGHENY
BEFORE ME, A NOTARY PUBLIC, PERSONALLY CAME *JEFF SKALICAN*,
DIRECTOR OF DEPARTMENT OF MOBILITY AND INFRASTRUCTURE WHO
ACKNOWLEDGED THE WITHIN PLAN, COMPRISING 17 SEPARATE SHEETS, TO
BE AN OFFICIAL PLAN OF THE CITY OF PITTSBURGH AND DESIRED THAT
THE SAME BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTORIAL SEAL

Maryann Salamme 2/4/2026



RECORDED IN THE OFFICE FOR THE
DEPARTMENT OF REAL ESTATE, ETC.
IN ALLEGHENY COUNTY, PA.

INSTRUMENT NUMBER _____
WITNESS MY HAND AND SEAL OF OFFICE

DATE
RECORDER

CITY OF PITTSBURGH

RECOMMENDED	DATE:	APPROVED	DATE:
<i>Eric J. Syfles</i>	2/4/26	<i>Jeff Skalican</i>	2/4/26
CHIEF ENGINEER		DIRECTOR DEPARTMENT OF MOBILITY AND INFRASTRUCTURE	

APPROVED DATE:
Jeff Skalican 2/4/26
DEPUTY DIRECTOR
DEPARTMENT OF MOBILITY
AND INFRASTRUCTURE

**Michael Baker
INTERNATIONAL**
AIRSIDE BUSINESS PARK
100 AIRSIDE DRIVE
MOON TOWNSHIP, PA 15108
Phone: (412) 269-6300

8:53:40 AM

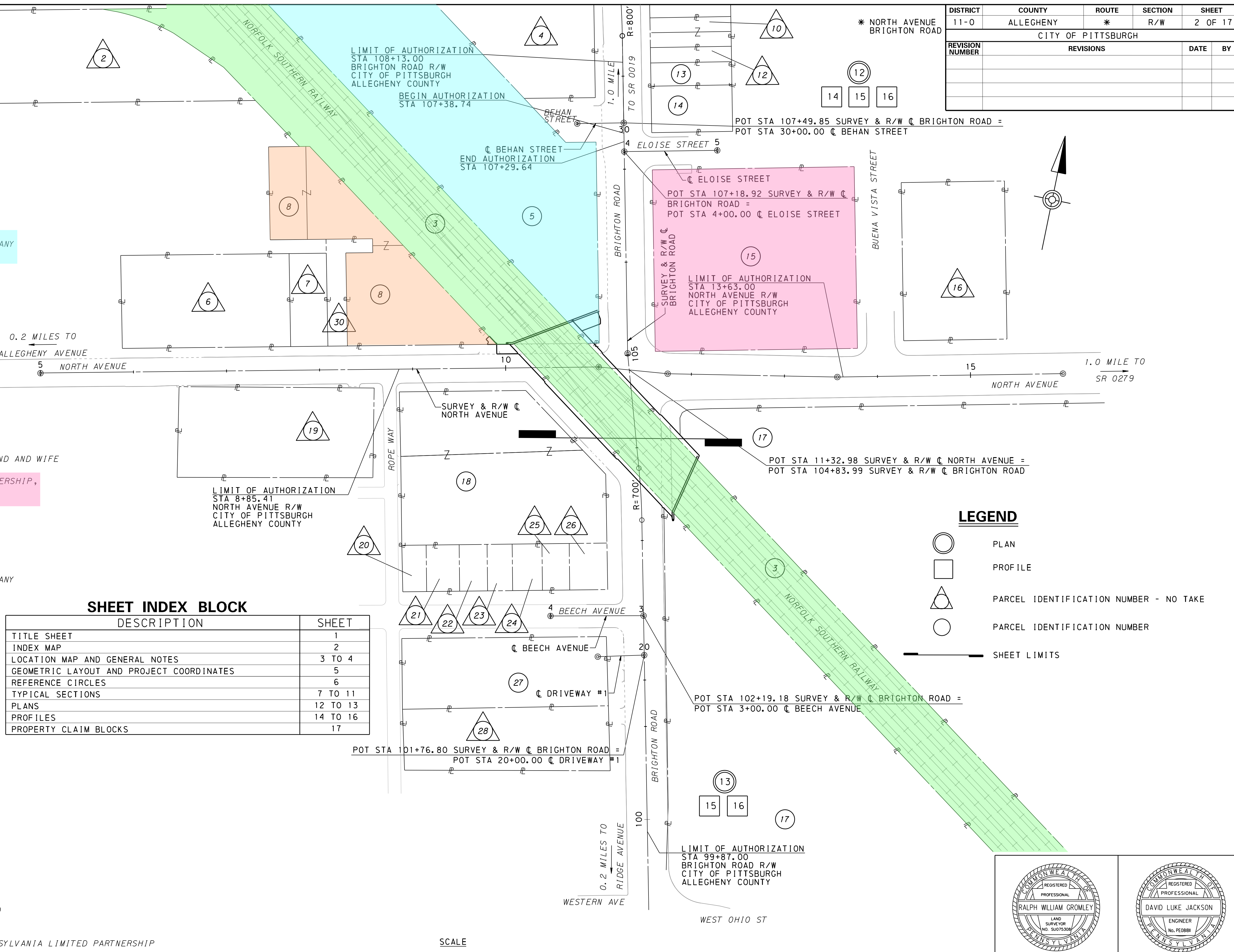
12/2/2025

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DISTRICT	COUNTY	ROUTE	SECTION	SHEET
11-0	ALLEGHENY	*	R/W	2 OF 17
CITY OF PITTSBURGH				
REVISION NUMBER	REVISIONS	DATE	BY	

LIST OF PROPERTY OWNERS

- 2 - BROTHER'S BROTHER FOUNDATION
0022-S-00241-0000-00
- 3 - NORFOLK SOUTHERN RAILWAY COMPANY
0008-G-00208-0009-00
- 4 - FDPITT LLC
0023-N-00010-0000-00
- 5 - JACK G. BUNCHER, T/A THE BUNCHER COMPANY
0023-N-00187-0000-00
- 6 - BG284 PROPERTIES LLC
0022-S-00172-0000-00
- 7 - GRAMAX LLC
0023-N-00133-0000-00
- 8 - 810 W NORTH AVE ASSOCIATES LP,
A PENNSYLVANIA LIMITED PARTNERSHIP
0023-N-00130-0000-00
- 10 - ELLYN INC
0023-N-00026-0000-00
0023-N-00027-000A-00
- 12 - LAWRENCE JAMES R
0023-N-00025-0000-00
- 13 - JAMESON MCCOY O'DONNELL
0023-N-00024-0000-00
- 14 - MARSHALL RIGGS AND WENDY RIGGS, HUSBAND AND WIFE
0023-N-00023-0000-00
- 15 - WEST PARK COURT HOUSING LIMITED PARTNERSHIP,
A PENNSYLVANIA LIMITED PARTNERSHIP
0023-N-00100-0000-00
- 16 - TRINITY LUTHERN CHURCH
0023-N-00094-0000-00
- 17 - CITY OF PITTSBURGH
0008-B-00150-0000-00
- 18 - COSTELLO REAL ESTATE COMPANY, LLC,
A PENNSYLVANIA LIMITED LIABILITY COMPANY
0023-N-00170-0000-00
0023-N-00173-0000-00
- 19 - GRAMAX LLC
0023-N-00144-0000-00
- 20 - J. ANDREW WOLFINGER
0023-N-00177-0000-00
- 21 - JAMES P & MARGARET S MCNAMARA (W)
0023-N-00177-0814-00
- 22 - JEANNE MARIE LASKAS
0023-N-00177-0812-00
- 23 - CTI 1379, LLC
0023-N-00177-0810-00
- 24 - BARRY H. & DEBORAH BIER (W)
0023-N-00177-0806-00
- 25 - JEFFERY & AMY SOLLARS (W)
0023-N-00177-0804-00
- 26 - ANNETTE C. TRUNZO
0023-N-00177-0800-00
- 27 - KS MAX PROPERTY LLC
0023-N-00180-0000-00
- 28 - VINCENT C. & KAITLYN L. NEISWONGER (W)
0023-N-00184-0000-00
- 30 - 828 W NORTH AVE ASSOCIATES LP, A PENNSYLVANIA LIMITED PARTNERSHIP
0023-N-00131-0000-00

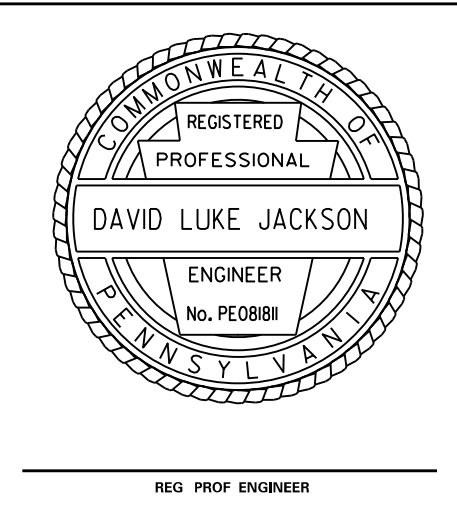
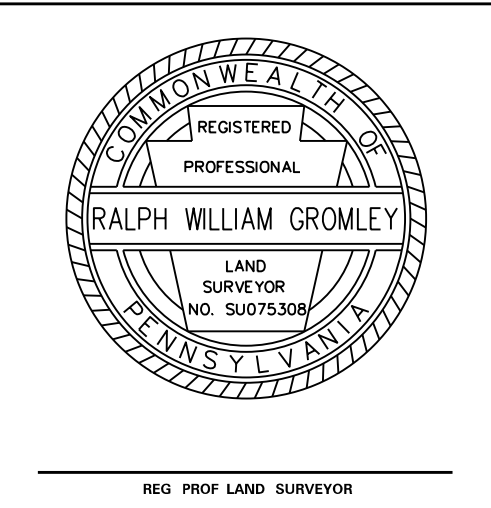
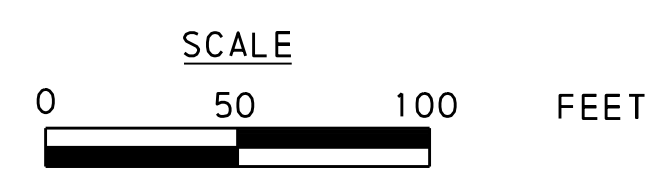


SHEET INDEX BLOCK

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LEGEND

- PLAN
- PROFILE
- PARCEL IDENTIFICATION NUMBER - NO TAKE
- PARCEL IDENTIFICATION NUMBER
- SHEET LIMITS



INDEX MAP

DES: DLJ DWG: WRB CKD: CAB

TABULATION OF OVERALL LENGTH

SURVEY & R/W @ NORTH AVENUE
 STA 8+85.41 TO STA 13+63.00 = 477.59 FT = 0.090 MI

SURVEY & R/W @ BRIGHTON ROAD
 STA 99+87.00 TO STA 108+13.00 = 826.00 FT = 0.156 MI

TABULATION OF AUTHORIZATION LENGTH

SURVEY & R/W @ NORTH AVENUE
 STA 8+85.41 TO STA 13+63.00 = 477.59 FT = 0.090 MI

SURVEY & R/W @ BRIGHTON ROAD
 STA 99+87.00 TO STA 107+29.64 = 742.64 FT = 0.141 MI
 STA 107+38.74 TO STA 108+13.00 = 74.26 FT = 0.014 MI
 816.90 FT = 0.155 MI

LIST OF STATION EQUALITIES

NONE

LIST OF PUBLIC UTILITIES

LEGEND	UTILITY COMPANY	REPRESENTATIVE	TELEPHONE	MAILING ADDRESS
FO	AT&T	JAMES SCHRENK js9723@att.com	(O) 412-316-9930 (M) 781-490-5245	AT&T CONSTRUCTION AND ENGINEERING GIOMARE GROUP, LLC 2500 ALLEGHENY CENTER PITTSBURGH, PA 15212
T	COMCAST CABLE COMMUNICATIONS, INC	JERRY FREEMAN jerry.freeman@cable.comcast.com	412-999-0590	COMCAST COMPANY 300 CORLISS STREET PITTSBURGH, PA 15220
FOU	CROWN CASTLE (FORMERLY SUNESYS)	CHUCK VERI chuck.veri2@crowncastle.com	412-273-5385	1500 CORPORATE DR. CANONSBURG, PA 15317
EU	DUQUESNE LIGHT CO.	JIM RUNATZ jrunatz@duqlight.com	(M) 412-855-9950	DUQUESNE LIGHT COMPANY 2841 NEW BEAVER AVENUE MAIL DROP N6-CS PITTSBURGH, PA 15233
T	DUQUESNE LIGHT TELECOM	ROBERT GAULT rgault@duqlight.com	(O) 412-393-8289 (M) 412-522-7620	DUQUESNE LIGHT COMPANY 2841 NEW BEAVER AVENUE MAIL DROP N6-CS PITTSBURGH, PA 15233
E EU	DQE COMMUNICATIONS	ADAM NULPH acnulph@dqe.com	(M) 724-919-7258	DQE COMMUNICATIONS 45 S. 23RD STREET PITTSBURGH, PA 15203
FOU	ELANTIC NETWORKS, INC	JAY FERRESE j.ferrese@windstream.com	412-804-8295	ELANTIC NETWORKS, INC. ALLEGHENY CENTER MALL SUITE 108 PITTSBURGH, PA 15212
FOU	LUMEN (FORMERLY CENTURY LINK AND/OR QUEST COMMUNICATIONS)	ZAC BAIRD zbaird@networkconex.com RICHARD WILLIAMS richard.l.williams@lumen.com	412-999-0726 717-917-6434	LUMEN 5095 RITTER ROAD, SUITE 101-A MECHANICSBURG, PA 17055
W	PITTSBURGH WATER AND SEWER AUTHORITY	BEN GRUNAUER bgrunauer@pgh2o.com	570-269-7130	PITTSBURGH WATER & SEWER AUTHORITY PENN LIBERTY PLAZA 1 1200 PENN AVENUE 2ND FL PITTSBURGH, PA 15222
S/LU	PITTSBURGH CITY, DEPT. OF MOBILITY & INFRASTRUCTURE	DEL McELHANY delmas.mcelhany@pittsburghpa.gov	412-255-2871	414 GRANT ST STE 301, PITTSBURGH, PA 15219
G	PEOPLES GAS COMPANY	GARY BAIRD gbaird@isse.com CHRIS KOSTAN christopher.kostan@peoples-gas.com	724-837-1057x104	PEOPLES GAS COMPANY 200 ALLEGHENY CENTER MALL PITTSBURGH, PA 15212-5352
FOU	T CUBED (WILLIAMS TELECOM)	NEAL BROWN Neal.Brown@nscorp.com MIKE BOREM Michael.Borem@nscorp.com	404-529-1349 770-344-8802	NORFOLK SOUTHERN RAILWAY 1200 PEACHTREE STREET NE BOX 142 ATLANTA, GEORGIA 30309
TU	VERIZON PENNSYLVANIA, INC	GARY REDONDO gary.redondo@verizon.com	(O) 412-237-2293 (M) 412-667-8618	VERIZON PENNSYLVANIA, INC NETWORK ENGINEERING PITTSBURGH 15 E MONTGOMERY PLACE PITTSBURGH, PA 15212
FOU	WINDSTREAM COMMUNICATIONS	JEN BEIWEN local.desk@windstream.com	1-800-289-1901	WINDSTREAM 929 MARTHA'S WAY HIAWATHA, IA 52233

PENNSYLVANIA ONE CALL SYSTEM, INC 1-800-242-1776
 DESIGN SERIAL NO. 20222691967 CITY OF PITTSBURGH, 22ND WARD, ALLEGHENY COUNTY

*NORTH AVENUE
 BRIGHTON ROAD

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
11-0	ALLEGHENY	*	R/W	3 OF 17
CITY OF PITTSBURGH				
REVISION NUMBER	REVISIONS	DATE	BY	

GENERAL NOTES

THE LEGAL RIGHT-OF-WAY ON NORTH AVENUE FROM STATION 8+85.41 TO THE INTERSECTION OF BRIGHTON ROAD (STATION 11+32.98) IS 50 FEET, BASED ON A PLAN OF PROPERTY OF LAND OWNED BY THE DENNY ESTATE RECORDED IN THE OFFICE OF THE ALLEGHENY DEPARTMENT OF REAL ESTATE ON NOVEMBER 7, 1879, IN PLAN BOOK 6, PAGE 193. BY THIS PLAN, THE CITY HEREBY ACCEPTS THE AREAS DEDICATED FOR PUBLIC HIGHWAY PURPOSES.

THE LEGAL RIGHT-OF-WAY ON NORTH AVENUE FROM THE INTERSECTION OF BRIGHTON ROAD (STATION 11+32.98) TO STATION 13+63.00 IS 61 FEET, BASED ON PLAN OF O.H. BRIDGE NO. 1.60, DATED MAY 25, 1929, AND SIGNED BY THE DIRECTOR OF THE DEPARTMENT OF PUBLIC WORKS.

THE LEGAL RIGHT-OF-WAY ON BRIGHTON ROAD, FORMERLY IRWIN AVENUE, FROM STATION 99+87.00 TO THE INTERSECTION OF NORTH AVENUE (STATION 104+83.99) IS 61 FEET, BASED ON PLAN OF O.H. BRIDGE NO. 1.60, DATED MAY 25, 1929, AND SIGNED BY THE DIRECTOR OF THE DEPARTMENT OF PUBLIC WORKS.

THE LEGAL RIGHT-OF-WAY ON BRIGHTON ROAD, FORMERLY IRWIN AVENUE, FROM THE INTERSECTION OF NORTH AVENUE (STATION 104+83.99) TO STATION 108+13.00 IS 60 FEET, BASED ON PLAN OF O.H. BRIDGE NO. 1.60, DATED MAY 25, 1929, AND SIGNED BY THE DIRECTOR OF THE DEPARTMENT OF PUBLIC WORKS.

THE LEGAL RIGHT-OF-WAY ON ROPE WAY, FORMERLY KNOWN AS GAS ALLEY AND ROPE ALLEY, IS 20 FEET BASED ON THE G.M. HOPKINS AND COMPANY MAP OF ALLEGHENY WEST, PLATE 8 A, DATED 1925. BY THIS PLAN, THE CITY HEREBY ACCEPTS THE AREAS DEDICATED FOR PUBLIC HIGHWAY PURPOSES.

THE LEGAL RIGHT-OF-WAY ON BEHAN STREET, FORMERLY BOQUET STREET, IS 50 FEET BASED ON A PLAN OF PROPERTY OF LAND OWNED BY THE DENNY ESTATE RECORDED IN THE OFFICE OF THE ALLEGHENY DEPARTMENT OF REAL ESTATE ON NOVEMBER 7, 1879, IN PLAN BOOK 6, PAGE 193. BY THIS PLAN, THE CITY HEREBY ACCEPTS THE AREAS DEDICATED FOR PUBLIC HIGHWAY PURPOSES.

THE LEGAL RIGHT-OF-WAY ON BEECH STREET IS 50 FEET BASED ON A PLAN OF PROPERTY OF LAND OWNED BY THE DENNY ESTATE RECORDED IN THE OFFICE OF THE ALLEGHENY DEPARTMENT OF REAL ESTATE ON NOVEMBER 7, 1879, IN PLAN BOOK 6, PAGE 193. BY THIS PLAN, THE CITY HEREBY ACCEPTS THE AREAS DEDICATED FOR PUBLIC HIGHWAY PURPOSES.

THE LEGAL RIGHT-OF-WAY WIDTH ON ELOISE STREET IS 40 FEET BASED ON DEED OF WEST COURT PARK DATED JULY 14, 1977, RECORDED IN THE OFFICE OF THE ALLEGHENY COUNTY DEPARTMENT OF REAL ESTATE ON JULY 15, 1977, IN DEED BOOK 5805, PAGE 61, AND CITY OF PITTSBURGH RESOLUTION NO. 391, DEDICATING THE PROPERTY FOR PUBLIC HIGHWAY PURPOSES, APPROVED ON APRIL 22, 1981 AND RECORDED IN RESOLUTION BOOK 30, PAGE 222.

THE LEGAL RIGHT-OF-WAY ON BUENA VISTA STREET IS 50 FEET BASED ON THE WILLIAM ROBINSON JR PLAN RECORDED IN THE OFFICE OF THE ALLEGHENY DEPARTMENT OF REAL ESTATE ON JULY 20 1854, IN PLAN BOOK 2, PAGE 61. BY THIS PLAN, THE CITY HEREBY ACCEPTS THE AREAS DEDICATED FOR PUBLIC HIGHWAY PURPOSES.

ALL REQUIRED RIGHT-OF-WAY FOR THIS PROJECT SHALL BE ACQUIRED IN FEE SIMPLE UNLESS OTHERWISE NOTED. AREAS, IF ANY, NOT TO BE ACQUIRED IN FEE SIMPLE SHALL BE ACQUIRED IN THE LESSER ESTATE OR INTEREST NOTED ON THE PLAN SHEET.

REQUIRED RIGHT-OF-WAY FOR CITY STREET. RIGHT-OF-WAY ACQUIRED FOR THE BENEFIT OF THE APPLICABLE MUNICIPALITY IN THE SAME INTEREST AS DESIGNATED HEREIN, ALONG WITH A TEMPORARY CONSTRUCTION EASEMENT FOR THE BENEFIT AND USE OF THE NORFOLK SOUTHERN RAILWAY COMPANY. TITLE SHALL VEST IN THE APPLICABLE LOCAL MUNICIPALITY UPON ACQUISITION AND MAINTENANCE RESPONSIBILITY SHALL TRANSFER UPON THE COMPLETION OF CONSTRUCTION.

PRIVATE PROPERTY LINES ARE PLOTTED FROM THE DEED OF RECORD, RECORDED SUBDIVISION OR LOT PLANS, EXISTING TOPOGRAPHIC FEATURES AND LIMITED FIELD DATA. PRIVATE PROPERTY LINES WERE NOT SURVEYED BY THE PROFESSIONAL LAND SURVEYOR RESPONSIBLE FOR THE PROJECT. SIDEWALK REMOVAL AND CONSTRUCTION OUTSIDE OF THE LEGAL RIGHT-OF-WAY IS IN CONFORMANCE WITH THE CITY OF PITTSBURGH ORDINANCE NO 417.03.

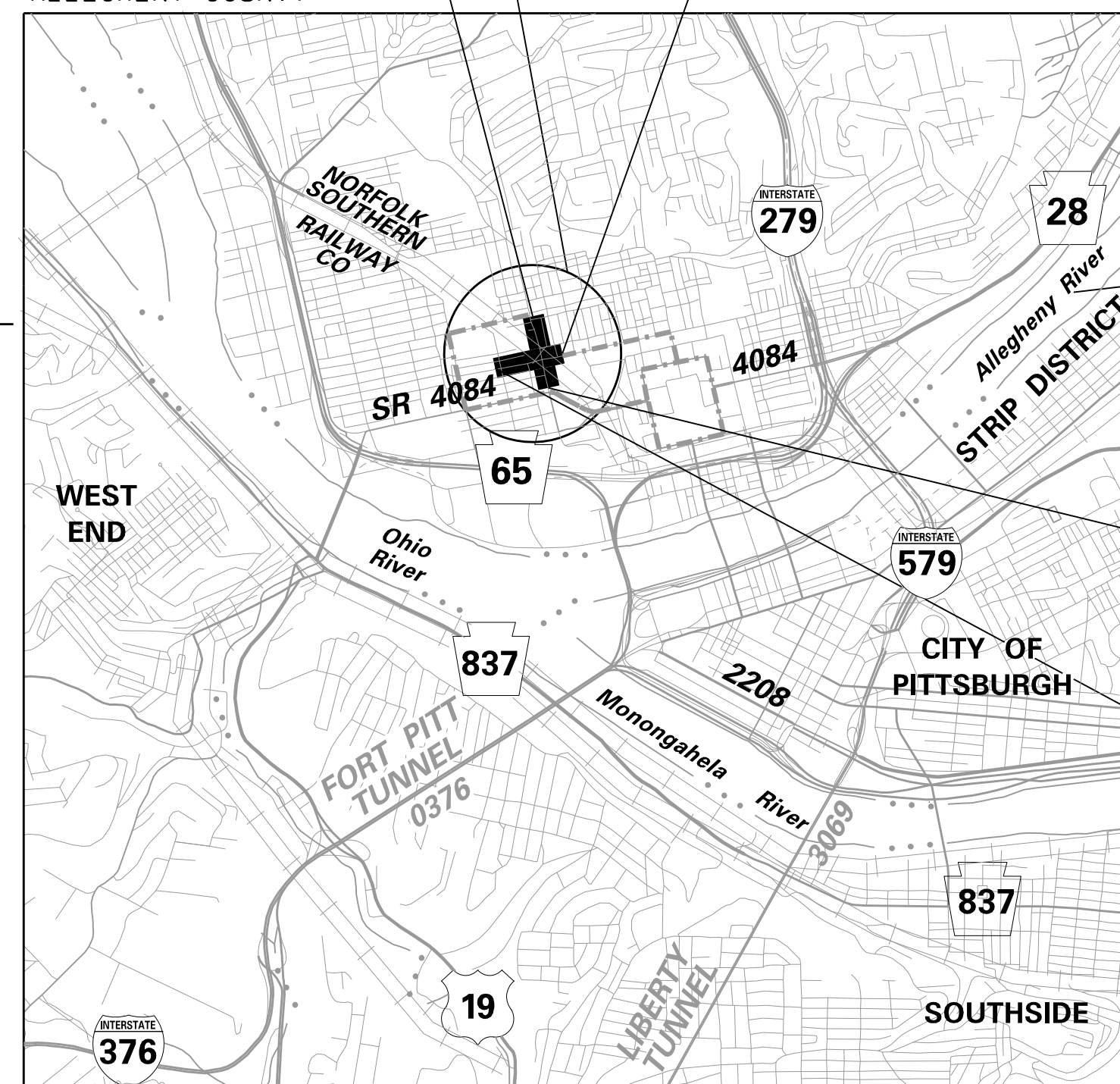
THE FILING OF THIS PLAN IS NOT A CONDEMNATION OF THE PROPERTIES DESIGNATED THEREIN AND DOES NOT IN ANY MANNER WHATSOEVER RESTRICT THE USE OR DISPOSAL THEREOF. AUTHORIZATION TO CONDEMN UNDER THIS PLAN EXTENDS FOR ONLY ONE YEAR FROM THE DATE OF THE DIRECTOR REAL ESTATE'S SIGNATURE INITIALLY AUTHORIZING ACQUISITION OR SUBSEQUENTLY REVISING THE PLAN OR REAUTHORIZING ACQUISITION THEREUNDER.

ALL CURVE DATA IS BASED ON THE ARC DEFINITION UNLESS OTHERWISE NOTED.
 GENERAL NOTES CONTINUED ON SHEET 4.

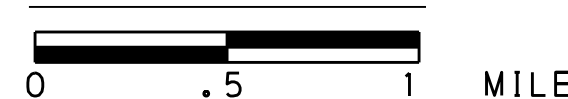
PROJECT LOCATION

LIMIT OF AUTHORIZATION
 STA 108+13.00
 BRIGHTON ROAD R/W
 CITY OF PITTSBURGH
 ALLEGHENY COUNTY

LIMIT OF AUTHORIZATION
 STA 13+63.00
 NORTH AVENUE R/W
 CITY OF PITTSBURGH
 ALLEGHENY COUNTY



LOCATION MAP

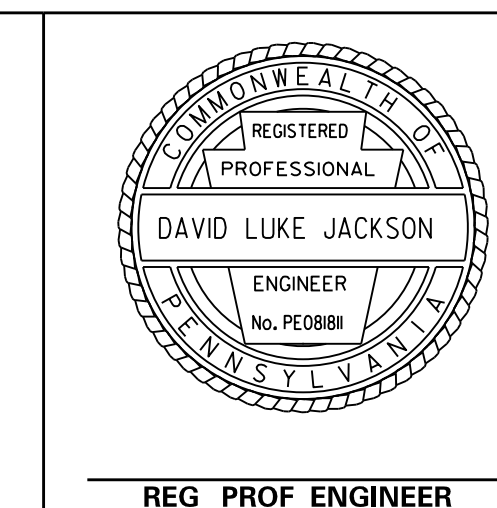
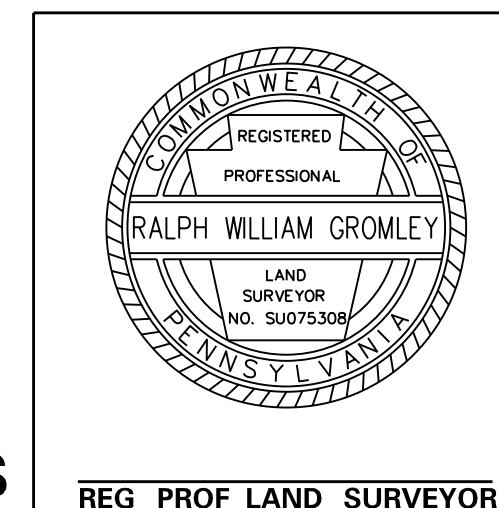


LEGEND

- STATE HIGHWAY
- CITY STREET
- RAILROAD
- PROJECT
- - - - - DETOUR ROUTE
- ... STREAM/RIVER

12/2/2025 8:53:47 AM

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DISTRICT	COUNTY	ROUTE	SECTION	SHEET
11-0	ALLEGHENY	*	R/W	4 OF 17
CITY OF PITTSBURGH				
REVISION NUMBER	REVISIONS	DATE	BY	

GENERAL NOTES CONTINUED FROM SHEET 3

THE HORIZONTAL CONTROL IS BASED ON NORTH AMERICAN DATUM OF 1983 (NAD83) PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, PA SOUTH ZONE 3702.

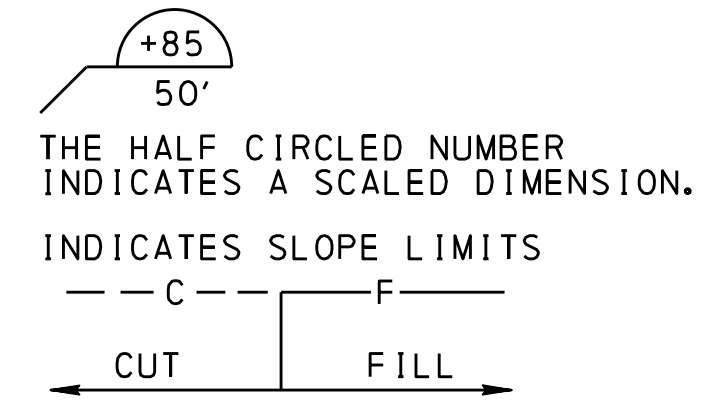
VERTICAL CONTROL IS BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) (GEOID 12B).

THE AVERAGE COMBINED SCALE FACTOR IS 0.999928366922.

THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THE PLANS HAVE BEEN OBTAINED BY FIELD SURVEY AND SEARCHES OF AVAILABLE RECORDS. NORFOLK SOUTHERN RAILWAY COMPANY DOES NOT GUARANTEE THEIR ACCURACY OR COMPLETENESS.

THERE ARE NO NAVIGABLE STREAMS WITHIN THE PROJECT LIMITS.

TEMPORARY CONSTRUCTION EASEMENT. AN EASEMENT TO USE THE LAND AS NECESSARY DURING CONSTRUCTION OF THE PROJECT. THE EASEMENT IS REQUIRED ONLY UNTIL THE CONSTRUCTION OR WORK INDICATED BY THE PLAN IS COMPLETED, UNLESS SOONER RELINQUISHED IN WRITING BY THE NORFOLK SOUTHERN RAILWAY COMPANY.

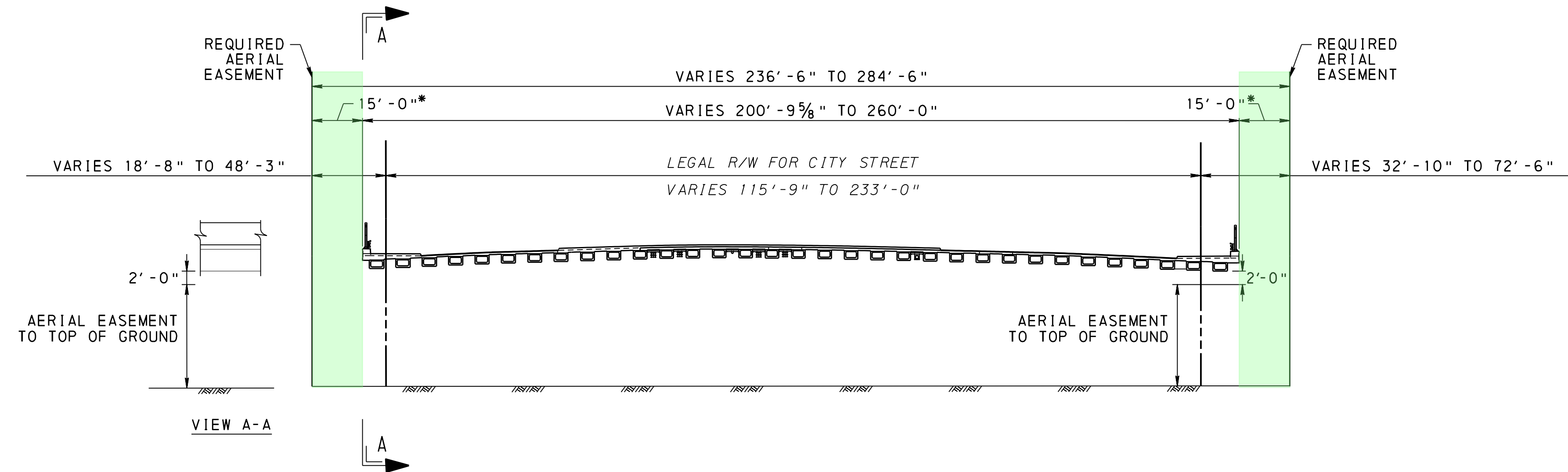


AERIAL EASEMENT NOTES

WHERE AN AERIAL EASEMENT IS ACQUIRED, IT SHALL INCLUDE AN EASEMENT IN THE AIR FOR THE ACCOMMODATION OF THE ELEVATED HIGHWAY STRUCTURE UNLIMITED IN VERTICAL DIMENSION ABOVE THE STRUCTURE, A SURFACE EASEMENT UNLIMITED IN VERTICAL DIMENSION FOR THE ACCOMMODATION OF PIERS AND OTHER APPURTENANCES AND A TEMPORARY EASEMENT FOR CONSTRUCTION PURPOSES INCLUDING THE STORAGE OF MATERIALS DURING CONSTRUCTION FOR THE ENTIRE AREA. THE FOLLOWING LIMITATIONS SHALL BE IMPOSED ON THE PROPERTY BENEATH THE AREA AFFECTED BY THE AERIAL EASEMENT.

1. NO USE SHALL BE MADE OF THE PROPERTY WHICH SHALL ENDANGER THE STRUCTURE OR THE HEALTH, SAFETY OR WELFARE OF THE TRAVELING PUBLIC.
2. NO FLAMMABLE, EXPLOSIVE, DANGEROUS OR HAZARDOUS MATERIAL SHALL BE USED, PLACED OR STORED ON THE PROPERTY.
3. NO BUILDING OR OTHER FACILITY SHALL BE CONSTRUCTED ON THE PROPERTY WITHOUT PRIOR AUTHORITY OF THE CITY OF PITTSBURGH. IF AND WHEN SUCH AUTHORITY IS GRANTED, THE PLANS FOR THE BUILDING OR FACILITY AND CONSTRUCTION METHODS SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF PITTSBURGH.
4. NO INTERFERENCE SHALL BE MADE WITH THE RIGHT OF THE CITY OF PITTSBURGH TO ENTER UPON THE PROPERTY FOR THE PURPOSES OF INSPECTION, MAINTENANCE, REPAIR, PAINTING, RECONSTRUCTION OR ALTERATION OF THE STRUCTURE OR APPURTENANCES. MOVEABLE ITEMS MAY HAVE TO BE REMOVED BY THE OWNER DURING SOME OR ALL OF THE ABOVE OPERATIONS.
5. ANY SUBSTANTIAL CHANGE IN PROPERTY USE TO BE MADE SUBSEQUENT TO THE ACQUISITION OF THE EASEMENT SHALL BE SUBJECT TO THE APPROVAL OF THE DEPARTMENT OF MOBILITY AND INFRASTRUCTURE.
6. THE NOTES ON THIS DRAWING SHALL NOT BE CONSTRUED AS LIMITING OR INTERFERING IN ANY WAY WITH THE PRESENT AND FUTURE OPERATION, USE, MAINTENANCE, REPAIR, RENEWAL, CHANGE, ADDITION, BETTERMENT OR ALTERATION OF THE RAILROAD AND ITS SUPPORTING FACILITIES.

AERIAL EASEMENT SKETCH



SKETCH SHOWING ESTATE TO BE ACQUIRED FOR A LIMITED AERIAL EASEMENT FROM NORTH AVENUE, STATION 9+96.99 TO STATION 12+19.68.

USE OF AIRSPACE BENEATH THE ESTABLISHED GRADE LINE OF THE HIGHWAY SHALL PROVIDE SUFFICIENT VERTICAL AND HORIZONTAL CLEARANCES FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, VENTILATION AND SAFETY OF THE HIGHWAY FACILITY. THE ESTATE ACQUIRED ABOVE THE AERIAL EASEMENT LINE MAY BE ENTERED ON BY MOVING VEHICLES SUCH AS TRUCKS OR RAILROAD ROLLING STOCK.

DIMENSIONS ARE GIVEN PARALLEL TO THE BRIDGE ABUTMENTS UNLESS OTHERWISE NOTED.

*MEASURED PERPENDICULAR TO THE BRIDGE BARRIER.

12/2/2025 8:53:48 AM

NS_NorIn_Ave_R0W_gen.dgn

DES:	DLJ	DWG:	WRB	CKD:	CAB
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GENERAL NOTES

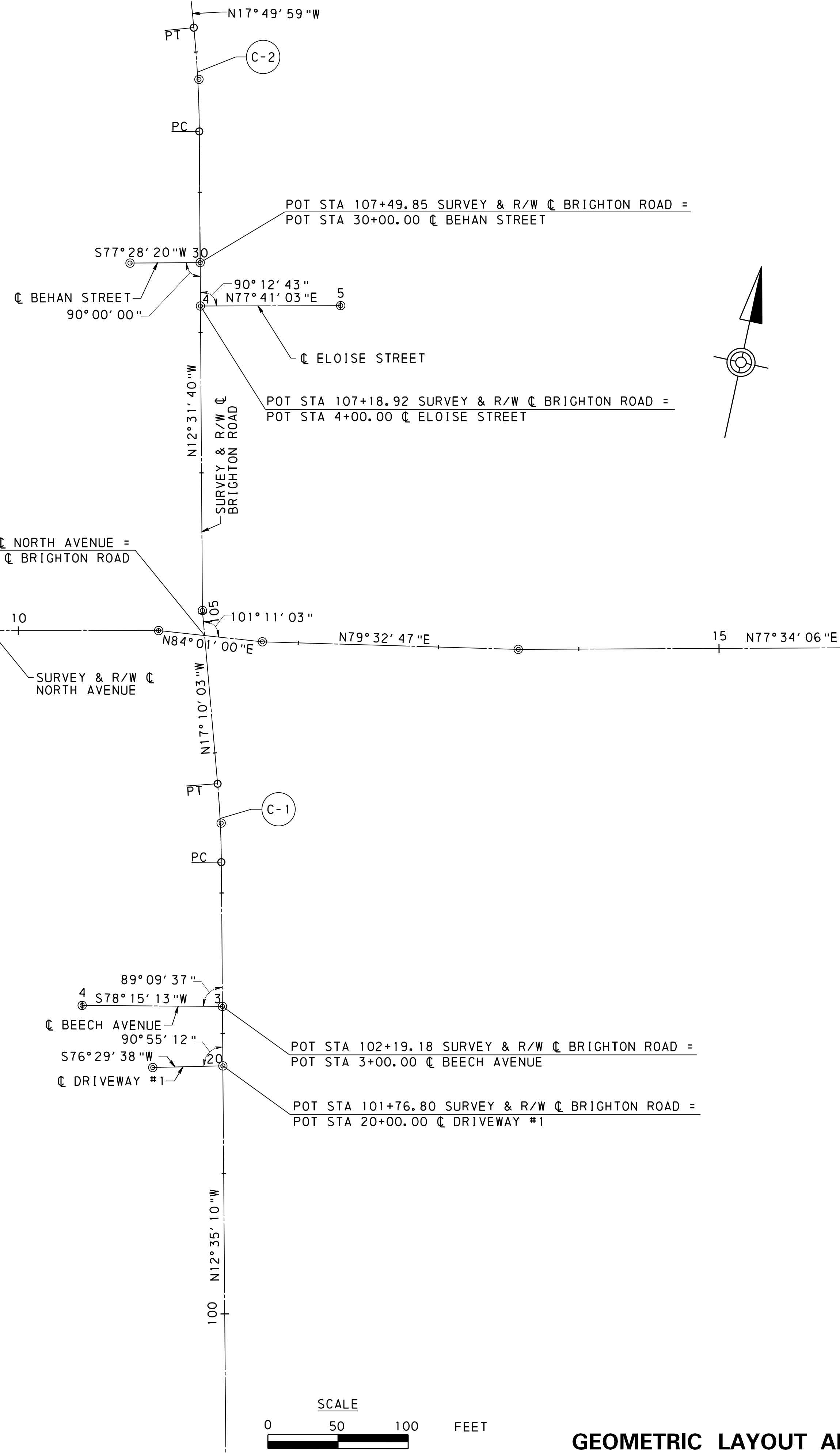
<p>REG PROF LAND SURVEYOR</p>	<p>REG PROF ENGINEER</p>
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12/2/2025

NS_NorIn_Ave_ROW_geo.dgn

CURVE	C-1	C-2
PI STA	103+50.00	108+80.44
Δ	4°34'53" LT	5°18'19" LT
D	8°11'06"	7°09'43"
T	28.00'	37.07'
L	55.97'	74.08'
R	700.00'	800.00'
E	0.56'	0.86'
PC STA	103+22.00	108+43.38
PT STA	103+77.97	109+17.46
SE	NORMAL CROWN	NORMAL CROWN



*NORTH AVENUE
BRIGHTON ROAD

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
11-0	ALLEGHENY	*	R/W	5 OF 17
CITY OF PITTSBURGH				
REVISION NUMBER	REVISIONS	DATE	BY	

TABULATION OF PROJECT COORDINATES

BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (NAD83, SOUTH ZONE 3702)

ROUTE	STATION	POINT	COORDINATES		BEARING
			NORTH	EAST	
SURVEY & R/W NORTH AVENUE	5+00.00	POT	416191.0845	1337749.1543	N 77°49'06" E
	11+00.00	PI	416317.6930	1338335.6441	N 84°01'00" E
	11+74.48	PI	416325.4572	1338409.7223	N 79°32'47" E
	13+56.87	PI	416358.5499	1338589.0831	N 77°34'06" E
SURVEY & R/W BRIGHTON ROAD	98+50.00	POT	415705.0967	1338516.9604	N 12°35'10" W
	103+22.00	PC	416165.7536	1338414.1086	
	103+50.00	PI	416193.0822	1338408.0069	
	103+77.97	PT	416219.8361	1338399.7417	N 17°10'03" W
	105+01.91	PI	416338.2492	1338363.1602	
	108+43.38	PC	416671.5902	1338289.0911	N 12°31'40" W
	108+80.44	PI	416707.7727	1338281.0513	N 17°49'59" W
109+17.46	PT	416743.0568	1338269.7003		
110+50.00	POT	416869.2331	1338229.1092		
BEECH AVENUE	3+00.00	POT	416065.4042	1338436.5138	S 78°15'13" W
	4+00.00	POT	416045.0463	1338338.6079	
ELOISE STREET	4+00.00	POT	416550.0964	1338316.0873	
	5+00.00	POT	416571.4264	1338413.7860	N 77°41'03" E
DRIVEWAY #1	20+00.00	POT	416024.0396	1338445.7494	
	20+50.00	POT	416012.3620	1338397.1321	S 76°29'38" W
BEHAN STREET	30+00.00	POT	416580.2886	1338309.3785	
	30+50.00	POT	416569.4430	1338260.5690	S 77°28'20" W

NOTE: FOUR (4) PLACE COORDINATES ARE USED FOR COMPUTATIONAL PURPOSES ONLY AND DO NOT IMPLY A PRECISION BEYOND TWO (2) PLACES.

THE AVERAGE COMBINED SCALE FACTOR IS 0.999928366922.

TABULATION OF REQUIRED RIGHT-OF-WAY BREAK POINT COORDINATES

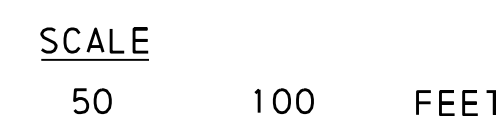
BASED ON PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (SPCS 83) (SOUTH ZONE)

ROUTE	STATION	OFFSET	COORDINATES	
			NORTH	EAST
SURVEY & R/W NORTH AVENUE	9+80.00	34.00' LT	416325.6057	1338211.1717
	9+88.00	25.55' LT*	416319.0381	1338220.7737
	9+85.00	39.00' LT	416331.5482	1338215.0040
	9+96.99*	39.52' LT*	416334.5854	1338226.6158
	10+09.47*	25.56' LT*	416323.5757	1338241.7568
	10+64.52*	51.44' LT*	416360.4844	1338290.1077
	10+88.38*	25.59' LT*	416340.2554	1338318.8869
	11+80.89*	35.00' LT	416361.0388	1338409.6728
	11+95.00	32.16' LT*	416360.8096	1338424.0620
11+95.00	35.00' LT	416363.5987	1338423.5473	
SURVEY & R/W BRIGHTON ROAD	103+40.68*	23.36' RT*	416189.6020	1338432.3566
	104+25.34*	29.12' RT*	416273.6899	1338413.5873
	105+32.05	33.00' RT	416374.8357	1338388.8355
	105+51.65	32.00' LT*	416379.8631	1338321.1330
	106+32.00	31.00' RT	416471.9688	1338365.2035
	106+32.00	33.00' RT	416472.4026	1338367.1559
	106+98.74	31.00' RT*	416537.1193	1338350.7269
	107+29.64*	32.00' LT	416553.6226	1338282.5233

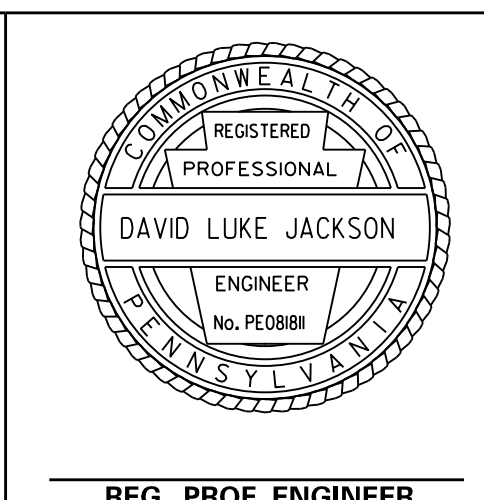
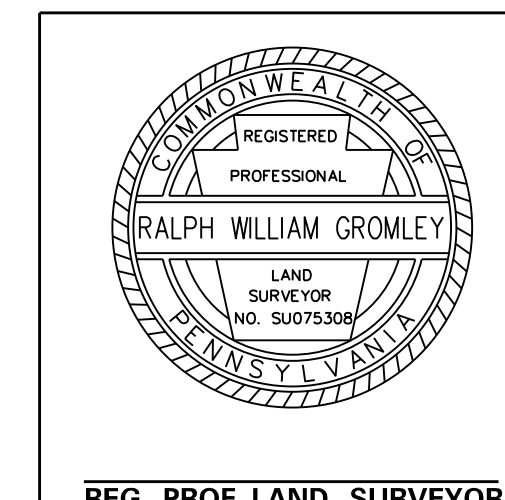
NOTE:

FOUR (4) PLACE COORDINATES ARE USED FOR COMPUTATIONAL PURPOSES ONLY AND DO NOT IMPLY A PRECISION BEYOND TWO (2) PLACES.

* SCALED DIMENSION



GEOMETRIC LAYOUT AND PROJECT COORDINATES

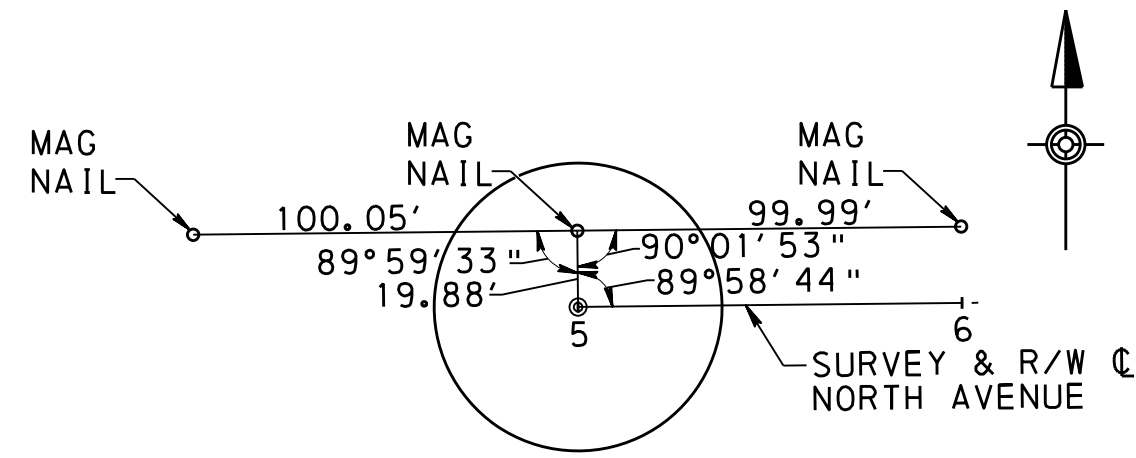


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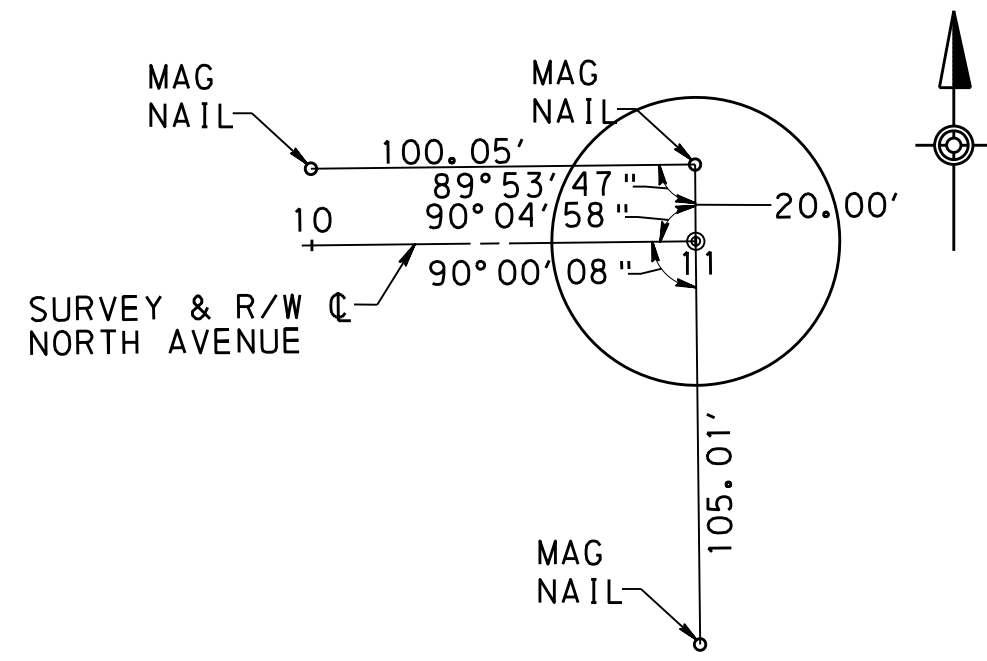
NS_North_Ave_RW_ref_circles.dgn

*NORTH AVENUE
BRIGHTON ROAD

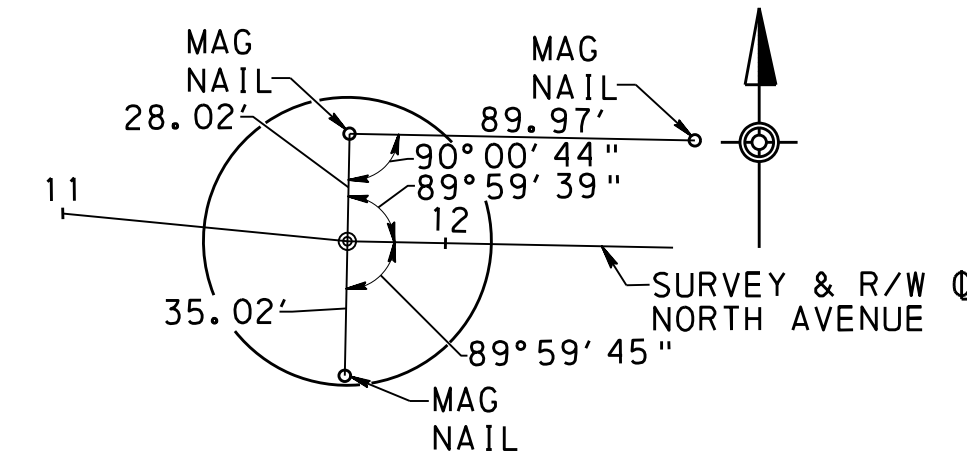
DISTRICT	COUNTY	ROUTE	SECTION	SHEET
11-0	ALLEGHENY	*	R/W	6 OF 17
CITY OF PITTSBURGH				
REVISION NUMBER	REVISIONS	DATE	BY	



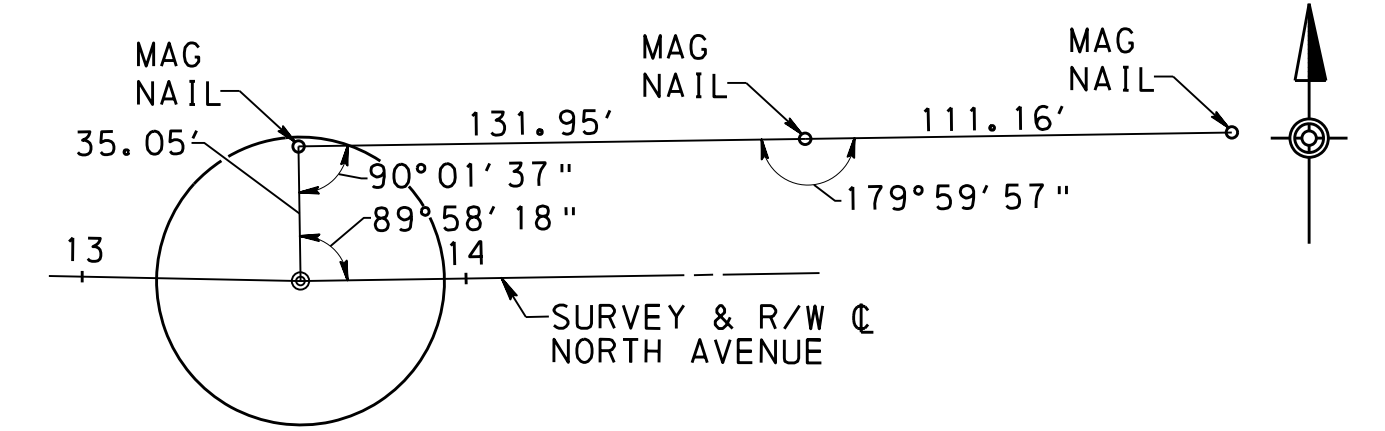
NORTH AVENUE
POT STA 5+00.00



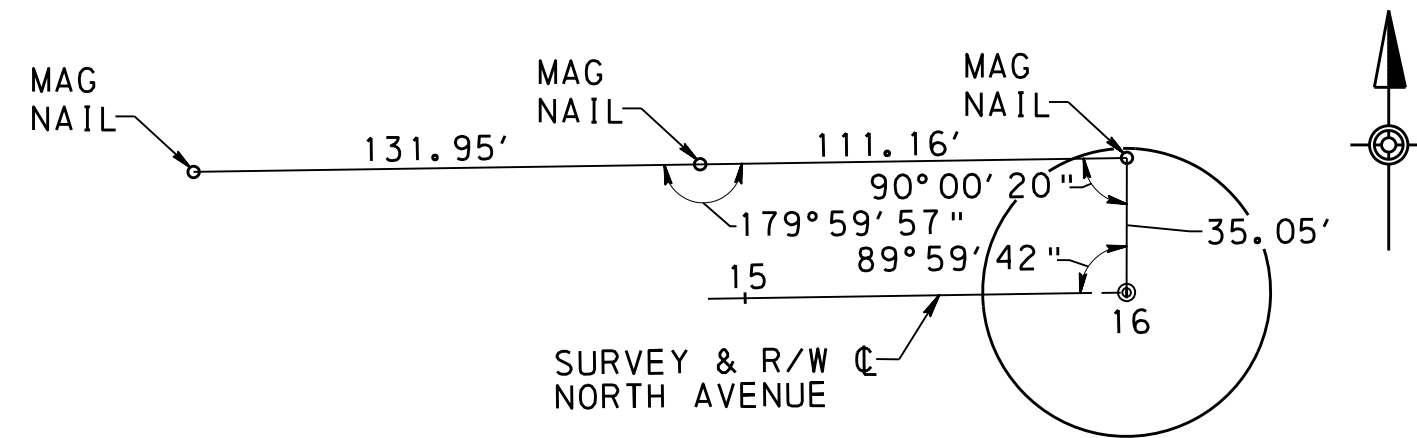
NORTH AVENUE
PI STA 11+00.00



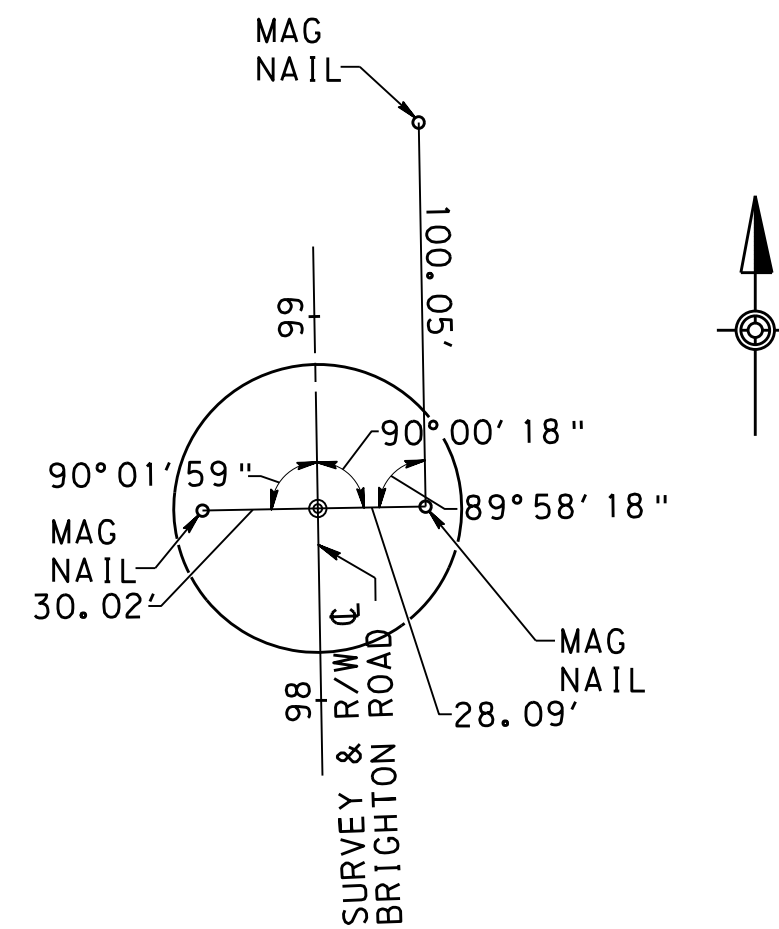
NORTH AVENUE
PI STA 11+74.48



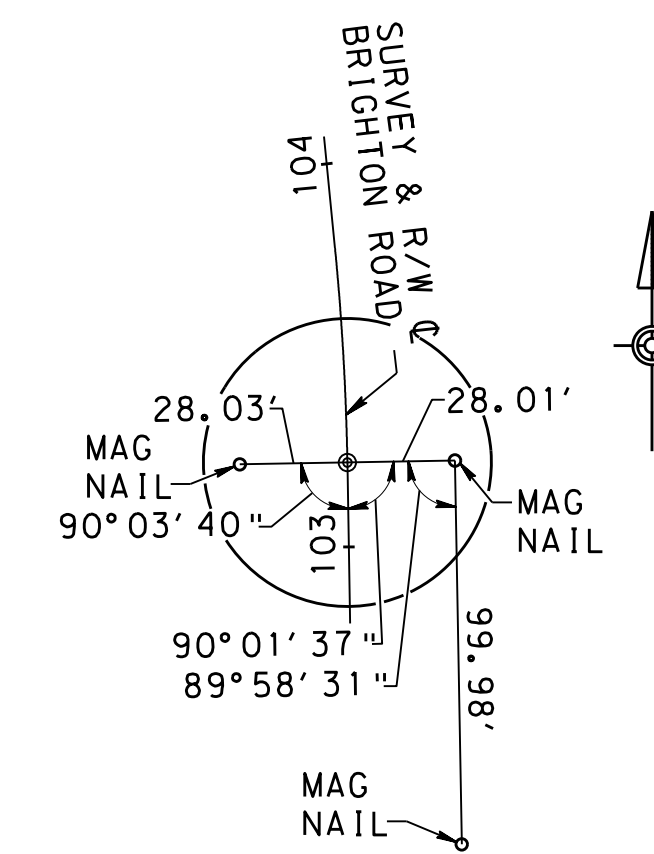
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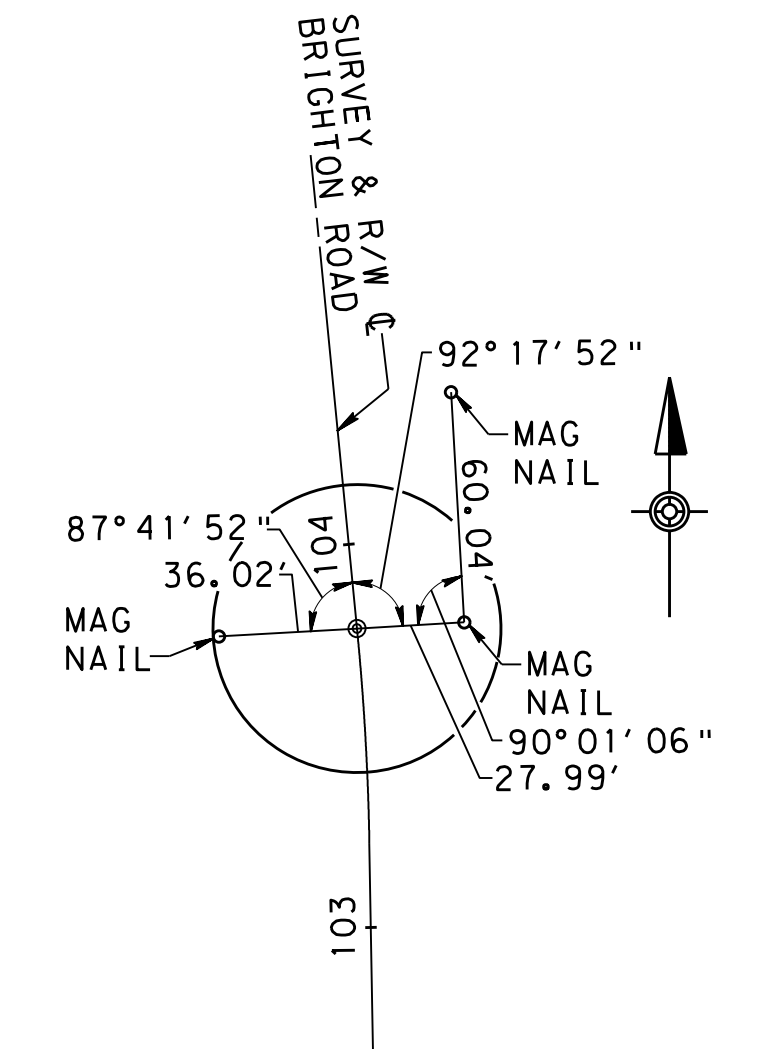
NORTH AVENUE
POT STA 16+00.00



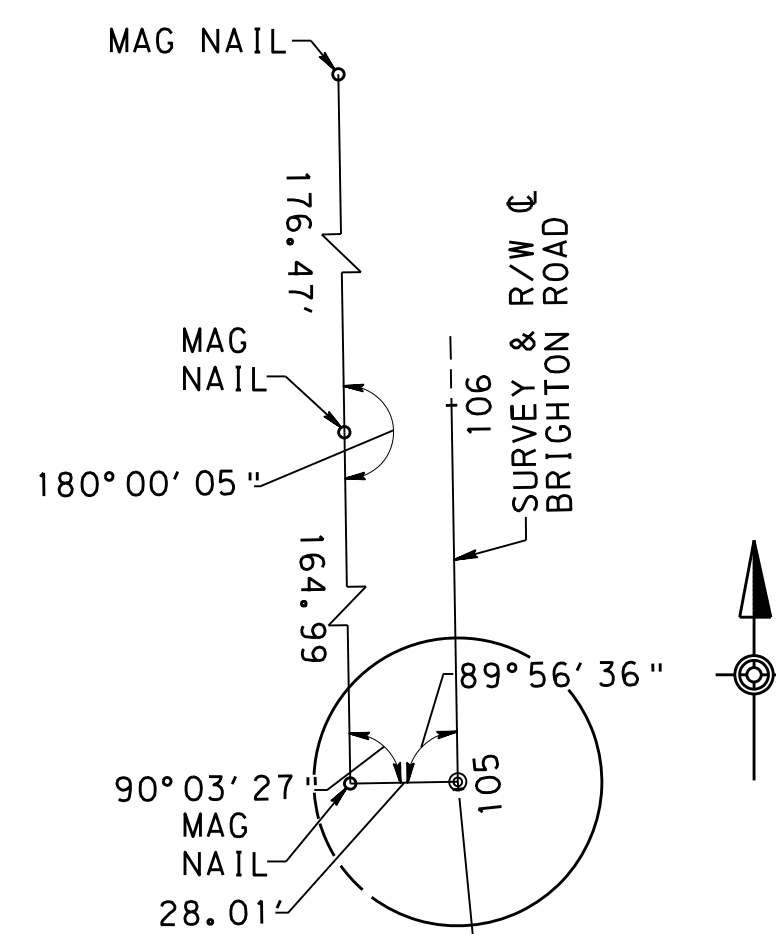
BRIGHTON AVENUE
POT STA 98+50.00



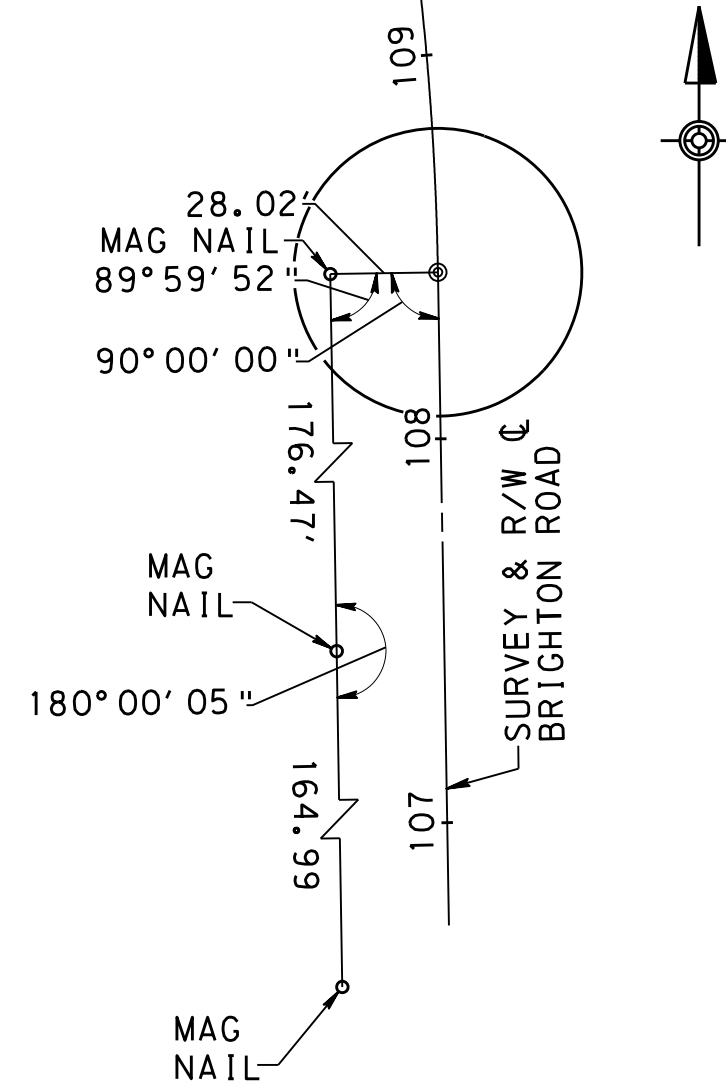
BRIGHTON AVENUE
PC STA 103+22.00



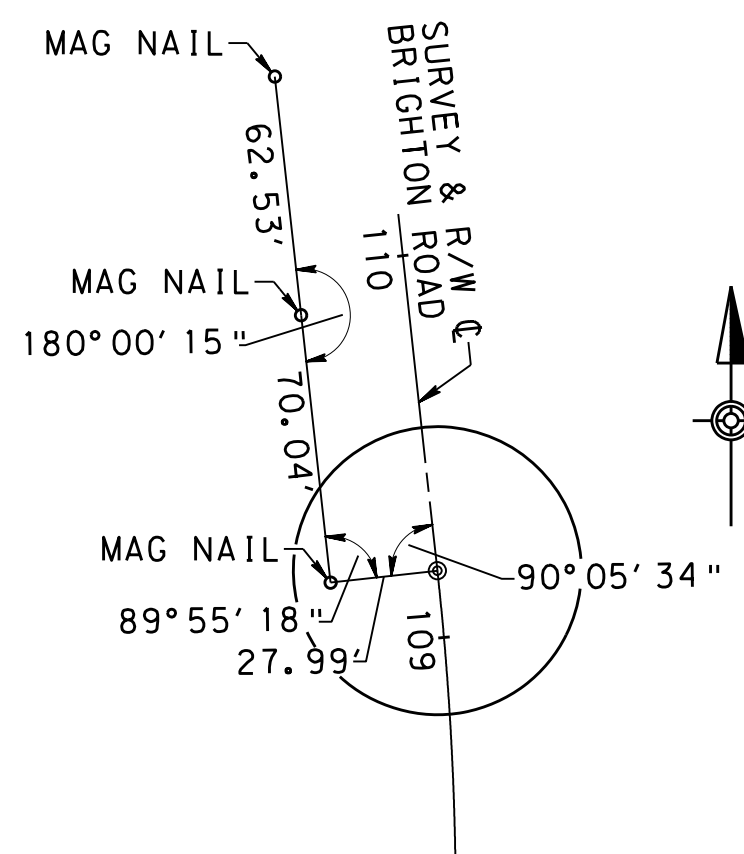
BRIGHTON AVENUE
PT STA 103+77.97



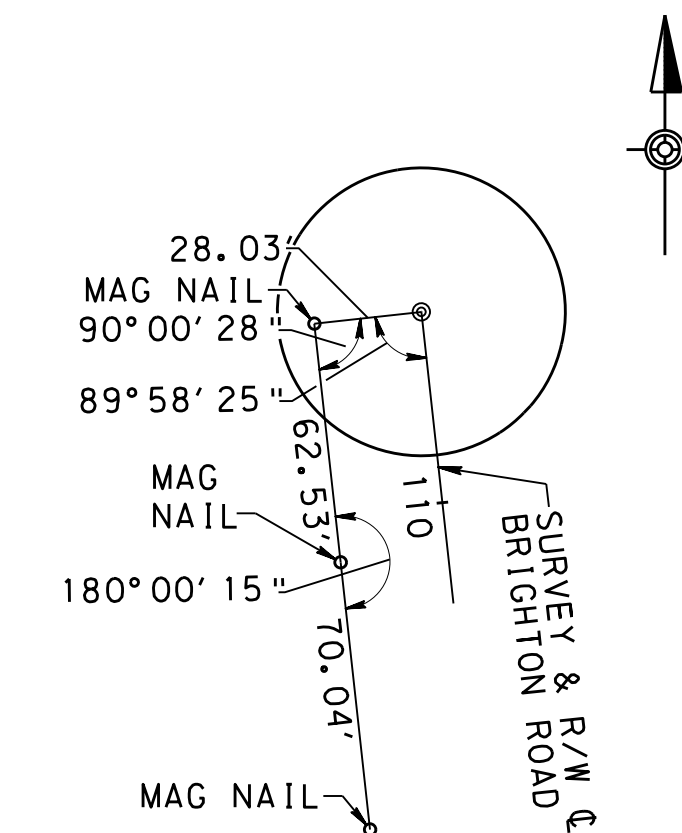
BRIGHTON AVENUE
PI STA 105+01.91



BRIGHTON AVENUE
PC STA 108+43.38



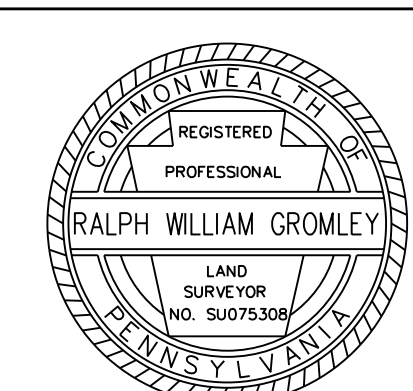
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PT STA 109+17.46



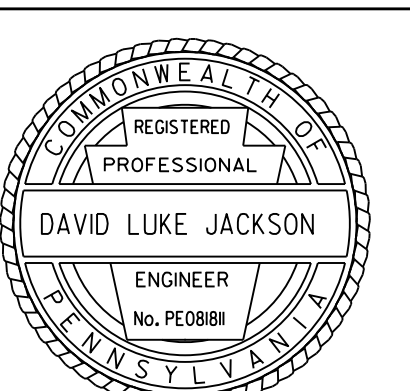
BRIGHTON AVENUE
POT STA 110+50.00

NOT TO SCALE

REFERENCE CIRCLES



REG PROF LAND SURVEYOR



REG PROF ENGINEER

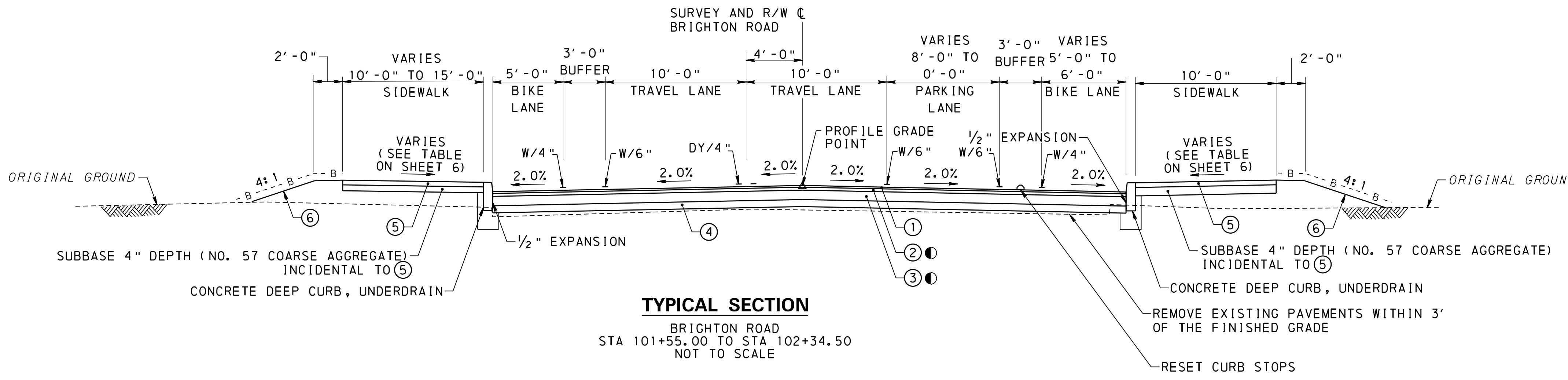
DISTRICT	COUNTY	ROUTE	SECTION	SHEET
11-0	ALLEGHENY	*	R/W	8 OF 17
CITY OF PITTSBURGH				
REVISION NUMBER	REVISIONS	DATE	BY	

LEGEND

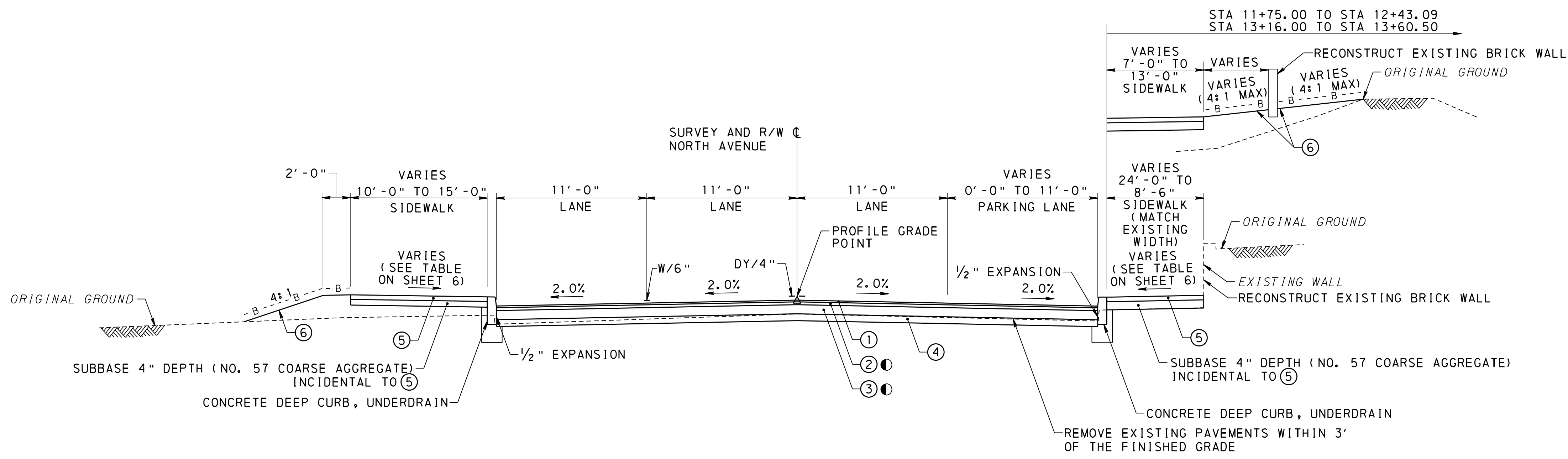
- ① SUPERPAVE ASPHALT MIXTURE DESIGN, WEARING COURSE, PG 64S-22, 10 TO <30 MILLION ESALS, 9.5 MM MIX, 1 1/2" DEPTH, SRL-E
- ② SUPERPAVE ASPHALT MIXTURE DESIGN, BINDER COURSE, PG 64S-22, 10 TO <30 MILLIAN ESALS, 19.0 MM MIX, 2 1/2" DEPTH
- ③ CEMENT CONCRETE BASE COURSE, 10" DEPTH, REINFORCED
- ④ SUBBASE 8" DEPTH (NO 2A)
- ⑤ CONCRETE SIDEWALK, 4", MODIFIED
- ⑥ TOPSOIL FURNISHED AND PLACED, MODIFIED

NOTES

- B -- SEEDING AND SOIL SUPPLEMENTS, FORMULA B RESIDENTIAL MIX, INCLUDING MULCH
- DY/4" SOLID DOUBLE YELLOW HOT THERMOPLASTIC PAVEMENT MARKING WIDTH
- W/4" SOLID WHITE HOT THERMOPLASTIC PAVEMENT MARKING WIDTH
- APPLY SEPARATE LAYER OF ASPHALT TACK COAT FOR EACH PAVING COURSE, INCLUDING MULTIPLE LIFTS OF THE SAME MATERIAL.
- APPLY ALL ROADWAY JOINT SEALING IN ACCORDANCE WITH PUBLICATION 408 SECTION 469.
- REMOVE AND RESET EXISTING CURB STOPS IN THE PARKING AREA FROM STA 101+55.00 TO STA 101+72.12
- FULL DEPTH CONCRETE BASE COURSE AND SUBBASE ARE EXCLUDED FROM THE PAVEMENT TIE IN WITH ASPHALT OVERLAY.



TYPICAL SECTION
BRIGHTON ROAD
STA 101+55.00 TO STA 102+34.50
NOT TO SCALE




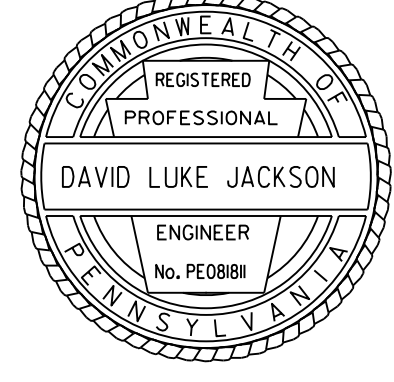
TYPICAL SECTION
NORTH AVENUE
STA 11+64.71 TO STA 13+60.50
NOT TO SCALE

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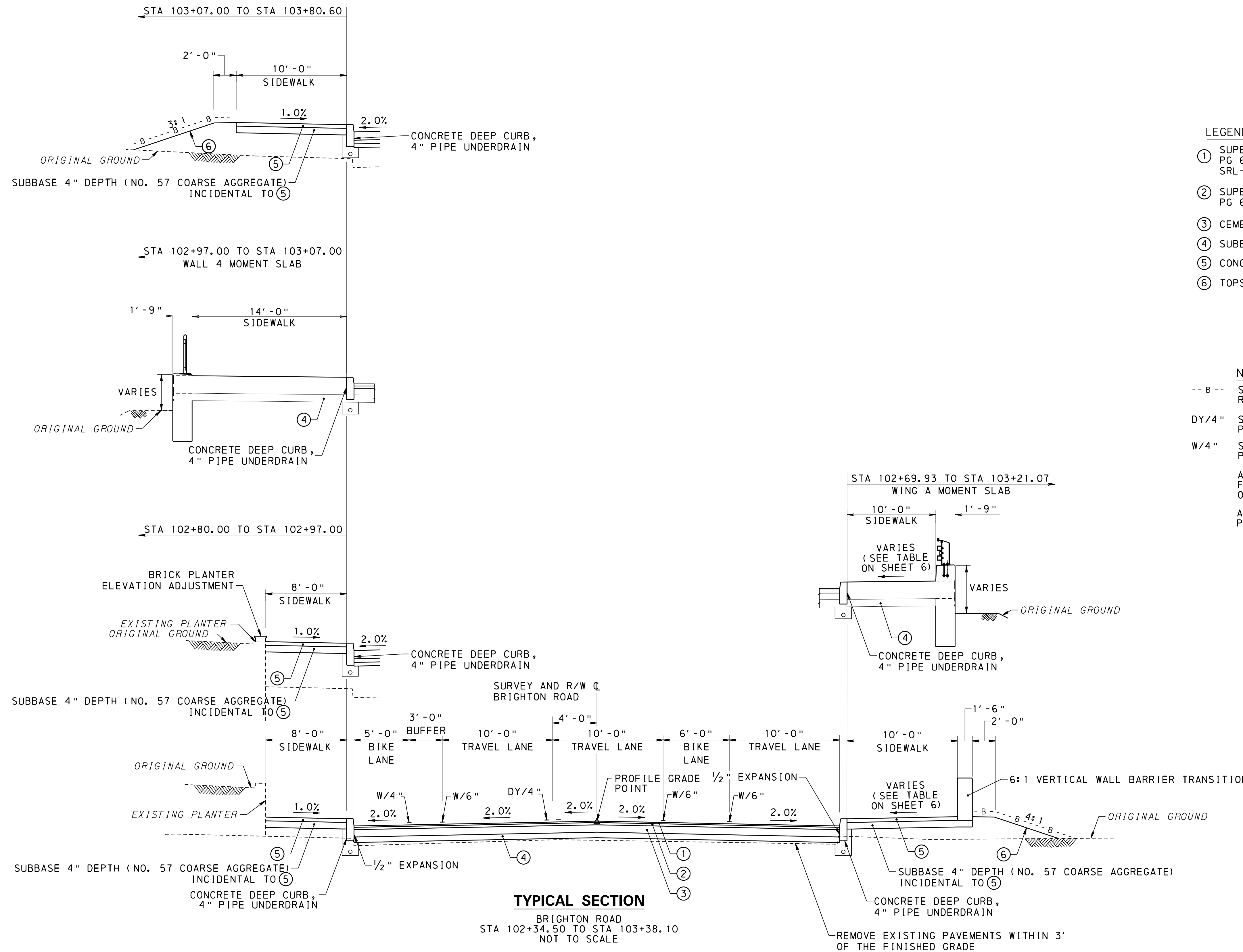
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DES: DLJ	DWG: WRB	CKD: CAB
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TYPICAL SECTIONS

 REG PROF LAND SURVEYOR	 REG PROF ENGINEER
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DISTRICT	COUNTY	ROUTE	SECTION	SHEET
11-0	ALLEGHENY	*	R/W	9 OF 17
CITY OF PITTSBURGH				
REVISION NUMBER	REVISIONS	DATE	BY	



LEGEND

- ① SUPERPAVE ASPHALT MIXTURE DESIGN, WEARING COURSE, PG 64S-22, 10 TO <30 MILLION ESALS, 9.5 MM MIX, 1 1/2" DEPTH, SRL-E
- ② SUPERPAVE ASPHALT MIXTURE DESIGN, BINDER COURSE, PG 64S-22, 10 TO <30 MILLIAN ESALS, 19.0 MM MIX, 2 1/2" DEPTH
- ③ CEMENT CONCRETE BASE COURSE, 10" DEPTH, REINFORCED
- ④ SUBBASE 8" DEPTH (NO 2A)
- ⑤ CONCRETE SIDEWALK, 4", MODIFIED
- ⑥ TOPSOIL FURNISHED AND PLACED, MODIFIED

NOTES

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TYPICAL SECTION

BRIGHTON ROAD
STA 102+34.50 TO STA 103+38.10
NOT TO SCALE

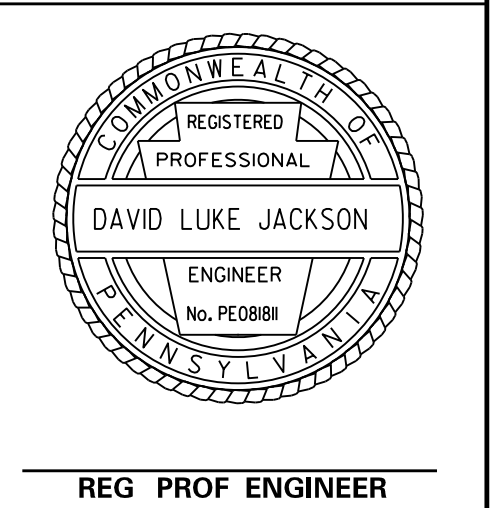
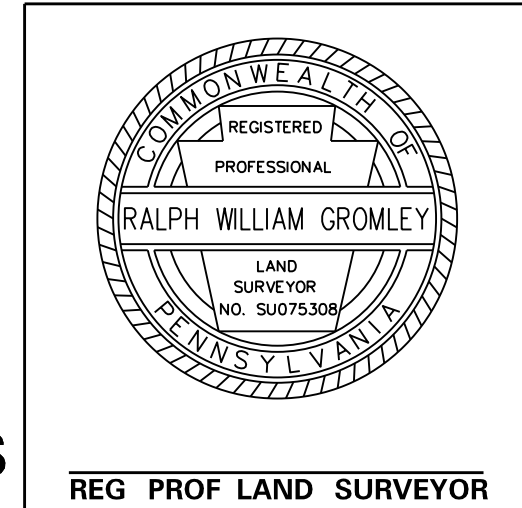
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DES: DLJ	DWG: WRB	CKD: CAB
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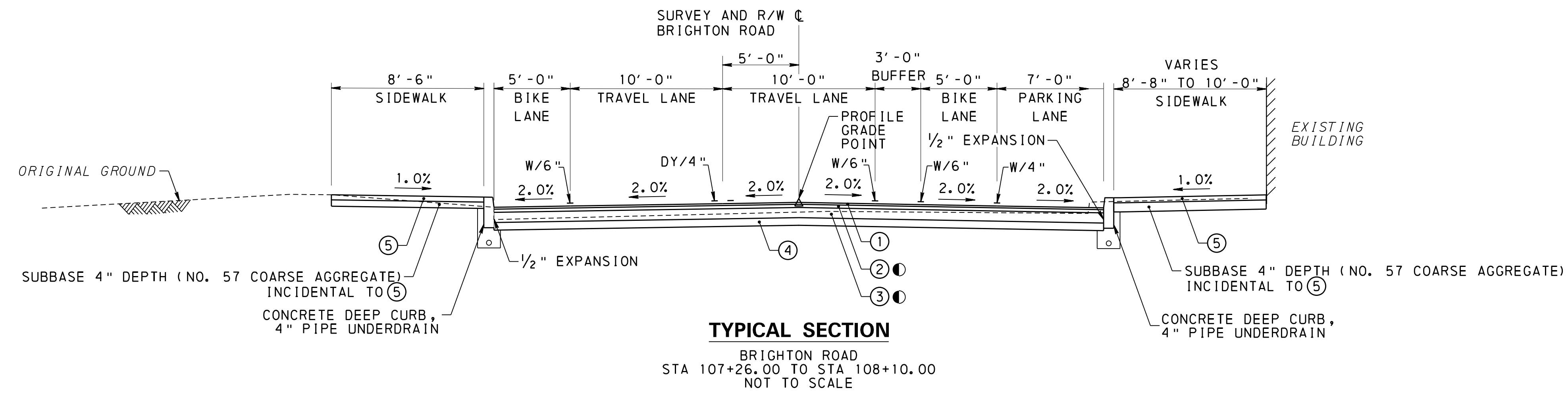
TYPICAL SECTIONS



REG PROF LAND SURVEYOR

REG PROF ENGINEER

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
11-0	ALLEGHENY	*	R/W	10 OF 17
CITY OF PITTSBURGH				
REVISION NUMBER	REVISIONS	DATE	BY	

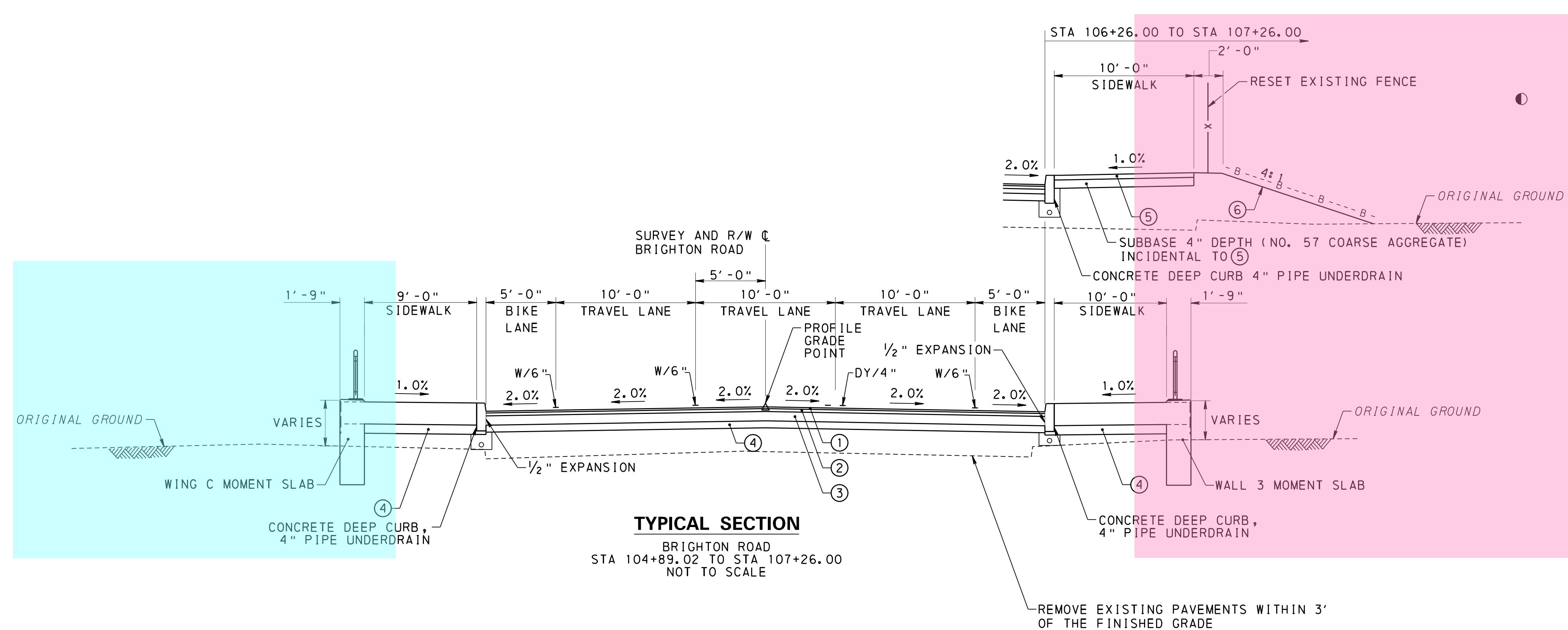


LEGEND

- ① SUPERPAVE ASPHALT MIXTURE DESIGN, WEARING COURSE, PG 64S-22, 10 TO <30 MILLION ESALS, 9.5 MM MIX, 1 1/2" DEPTH, SRL-E
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NOTES

- B -- SEEDING AND SOIL SUPPLEMENTS, FORMULA B RESIDENTIAL MIX, INCLUDING MULCH
- DY/4" SOLID DOUBLE YELLOW HOT THERMOPLASTIC PAVEMENT MARKING WIDTH
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- FULL DEPTH CONCRETE BASE COURSE AND SUBBASE ARE EXCLUDED FROM THE PAVEMENT TIE IN WITH ASPHALT OVERLAY. SEE SPECIAL DETAIL ON SHEET 12.

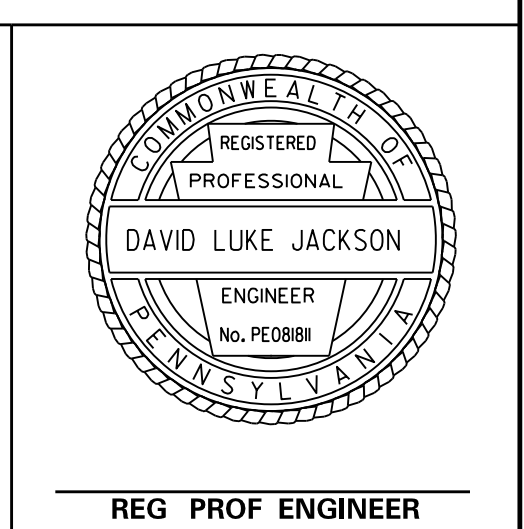
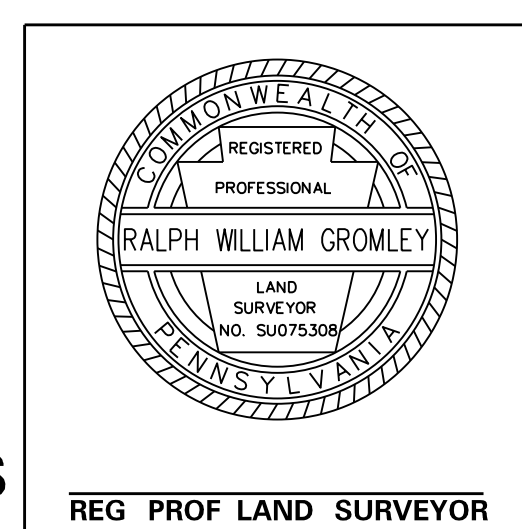


REMOVE EXISTING PAVEMENTS WITHIN 3' OF THE FINISHED GRADE

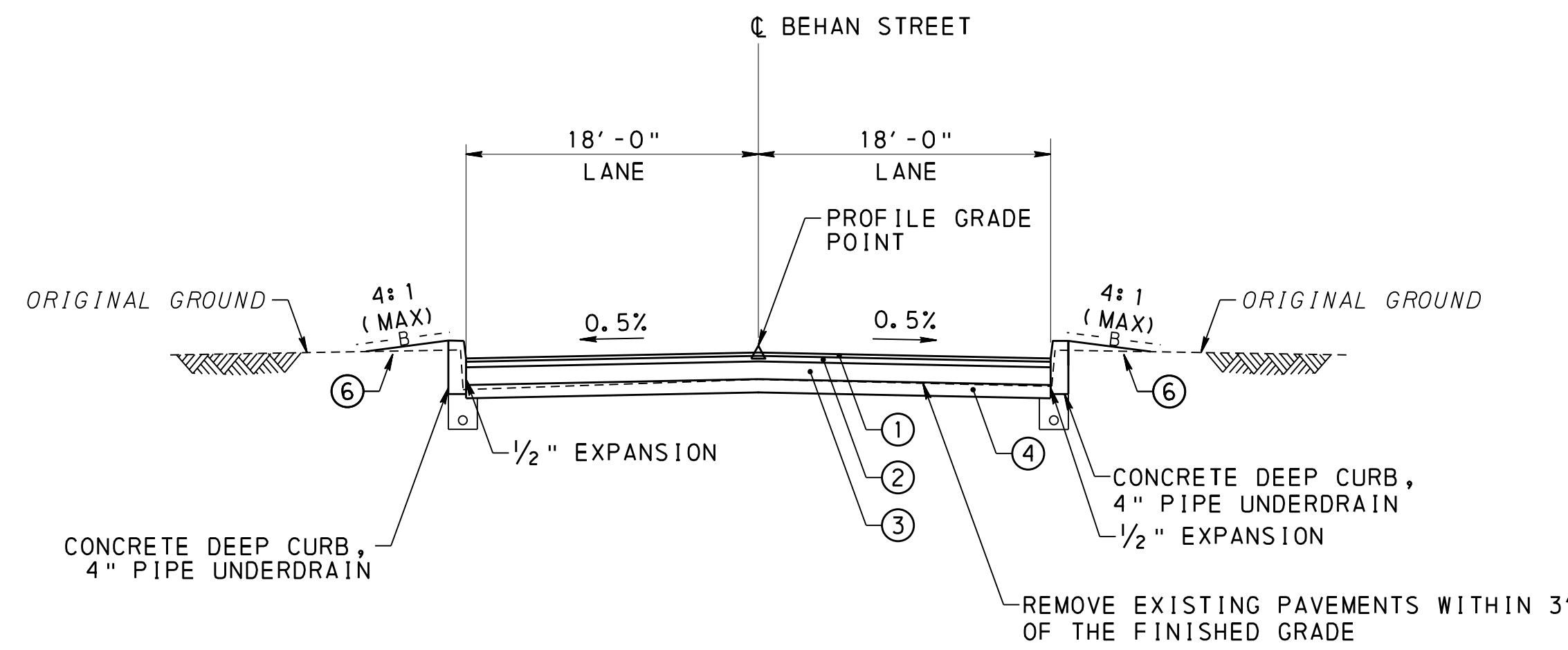
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DISTRICT	COUNTY	ROUTE	SECTION	SHEET
11-0	ALLEGHENY	*	R/W	11 OF 17
CITY OF PITTSBURGH				
REVISION NUMBER	REVISIONS	DATE	BY	

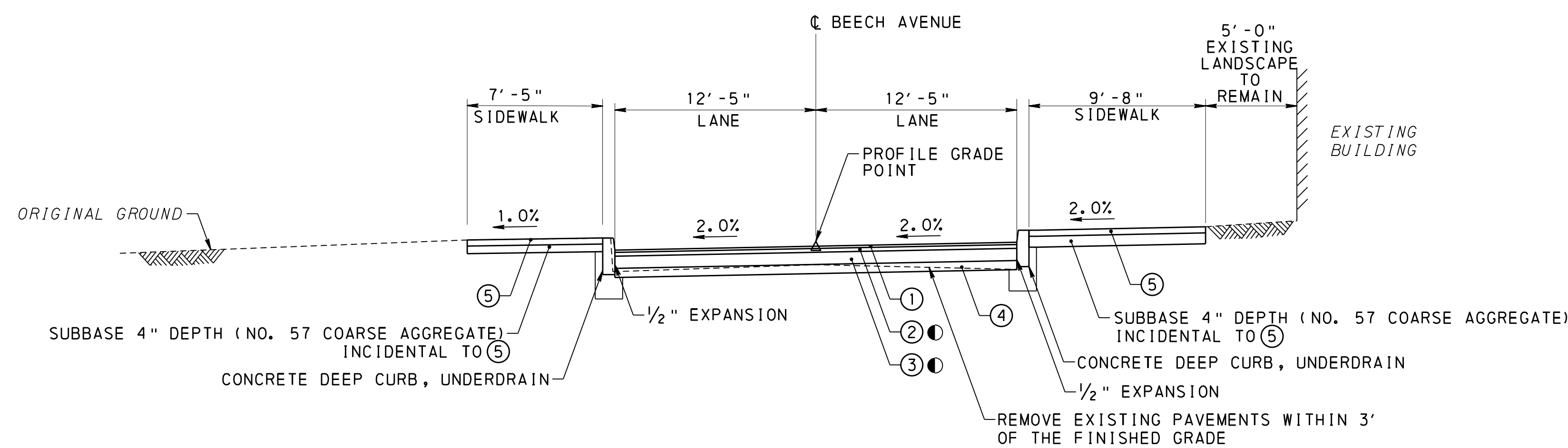


NOTES

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LEGEND

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- ③ CEMENT CONCRETE BASE COURSE, 10" DEPTH, REINFORCED
- ④ SUBBASE 8" DEPTH (NO 2A)
- ⑤ CONCRETE SIDEWALK, 4", MODIFIED
- ⑥ TOPSOIL FURNISHED AND PLACED, MODIFIED



SURVEY AND R/W C BRIGHTON ROAD

	EOP	EOP
STA 108+10.00	1.7%	2.6%
STA 107+85.00	2.0%	2.0%
STA 106+25.00	2.0%	2.0%
STA 105+75.00	0.0%	2.0%
STA 105+25.00	2.0%	4.0%
STA 105+00.00	5.9%*	5.9%*
STA 104+60.00	3.0%*	6.1%*
STA 104+35.00	2.0%	4.0%
STA 103+85.00	0.0%	2.0%
STA 103+35.00	2.0%	2.0%
STA 101+80.00	2.0%	2.0%
STA 101+55.00	3.0%	2.7%

SURVEY AND R/W C NORTH AVENUE

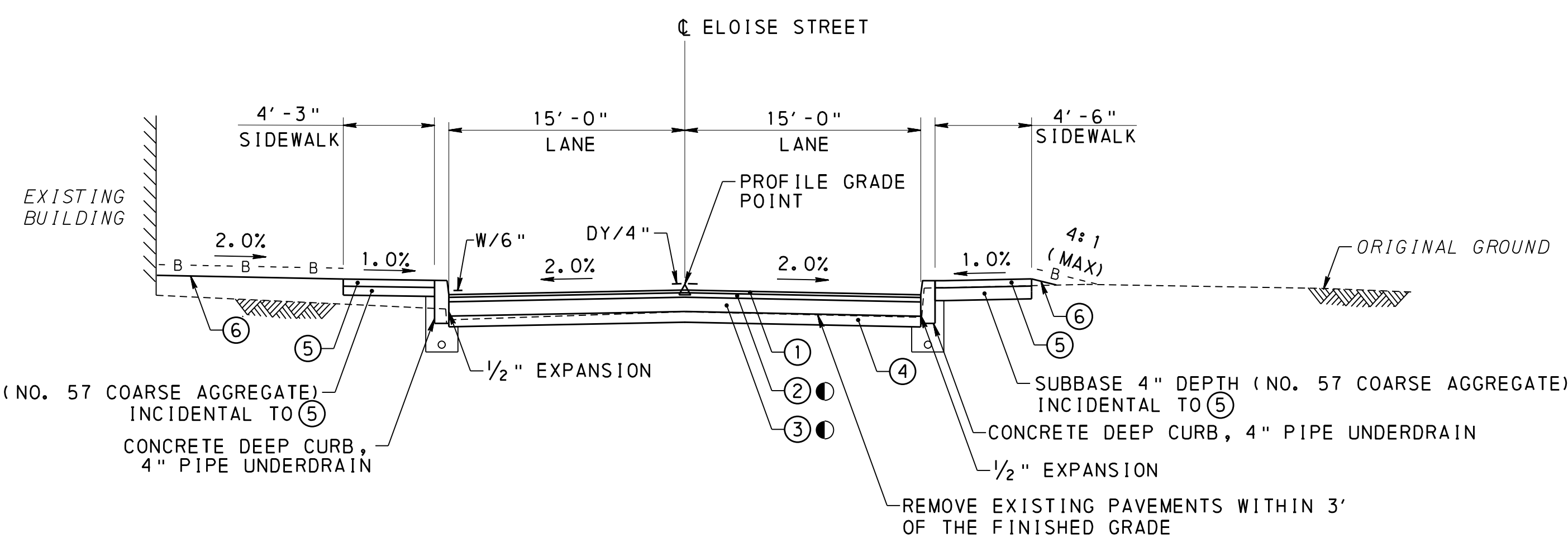
	EOP	EOP
STA 13+60.50	2.3%	1.0%
STA 13+40.00	2.0%	2.0%
STA 12+68.00	2.0%	2.0%
STA 12+31.00	2.0%	0.0%
STA 11+93.64	2.0%	2.0%
STA 11+75.00	3.0%*	3.0%*
STA 11+00.00	3.0%*	3.0%*
STA 10+77.80	2.0%	2.0%
STA 9+34.00	2.0%	0.0%
STA 9+89.00	2.0%	2.0%
STA 9+41.00	2.0%	2.0%
STA 9+03.00	2.0%	3.7%
STA 8+82.00	3.0%	4.7%

PAVEMENT CROSS SLOPE TRANSITION DETAIL

● SUPERELEVATION ROTATION POINT
*CROSS SLOPES WITHIN INTERSECTION ARE VARIABLE.

PAVEMENT CROSS SLOPE TRANSITION DETAIL

● SUPERELEVATION ROTATION POINT
*CROSS SLOPES WITHIN INTERSECTION ARE VARIABLE.



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12/2/2025

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TYPICAL SECTIONS

REG PROF LAND SURVEYOR

REG PROF ENGINEER

PRIVATE PROPERTY LINES ARE PLOTTED FROM THE DEED OF RECORD, RECORDED SUBDIVISION OR LOT PLANS, EXISTING TOPOGRAPHICAL FEATURES AND LIMITED FIELD DATA. PRIVATE PROPERTY LINES WERE NOT SURVEYED BY THE PROFESSIONAL LAND SURVEYOR RESPONSIBLE FOR THE PROJECT.

THIS PROPERTY PLOT PLAN IS NOT TO BE SUBSTITUTED FOR A BOUNDARY SURVEY. TEMPORARY CONSTRUCTION EASEMENT. AN EASEMENT TO USE THE LAND AS NECESSARY DURING CONSTRUCTION OF THE PROJECT. THE EASEMENT IS REQUIRED ONLY UNTIL THE CONSTRUCTION OR WORK INDICATED BY THE PLAN IS COMPLETED, UNLESS SOONER RELINQUISHED IN WRITING BY THE NORFOLK SOUTHERN RAILWAY COMPANY.

ALL TREES WITHIN THE CONSTRUCTION AREA ARE NOT TO BE REMOVED UNLESS OTHERWISE NOTED.

ALL UTILITIES WITHIN THE CONSTRUCTION AREA ARE TO REMAIN AND BE PROTECTED UNLESS OTHERWISE NOTED.

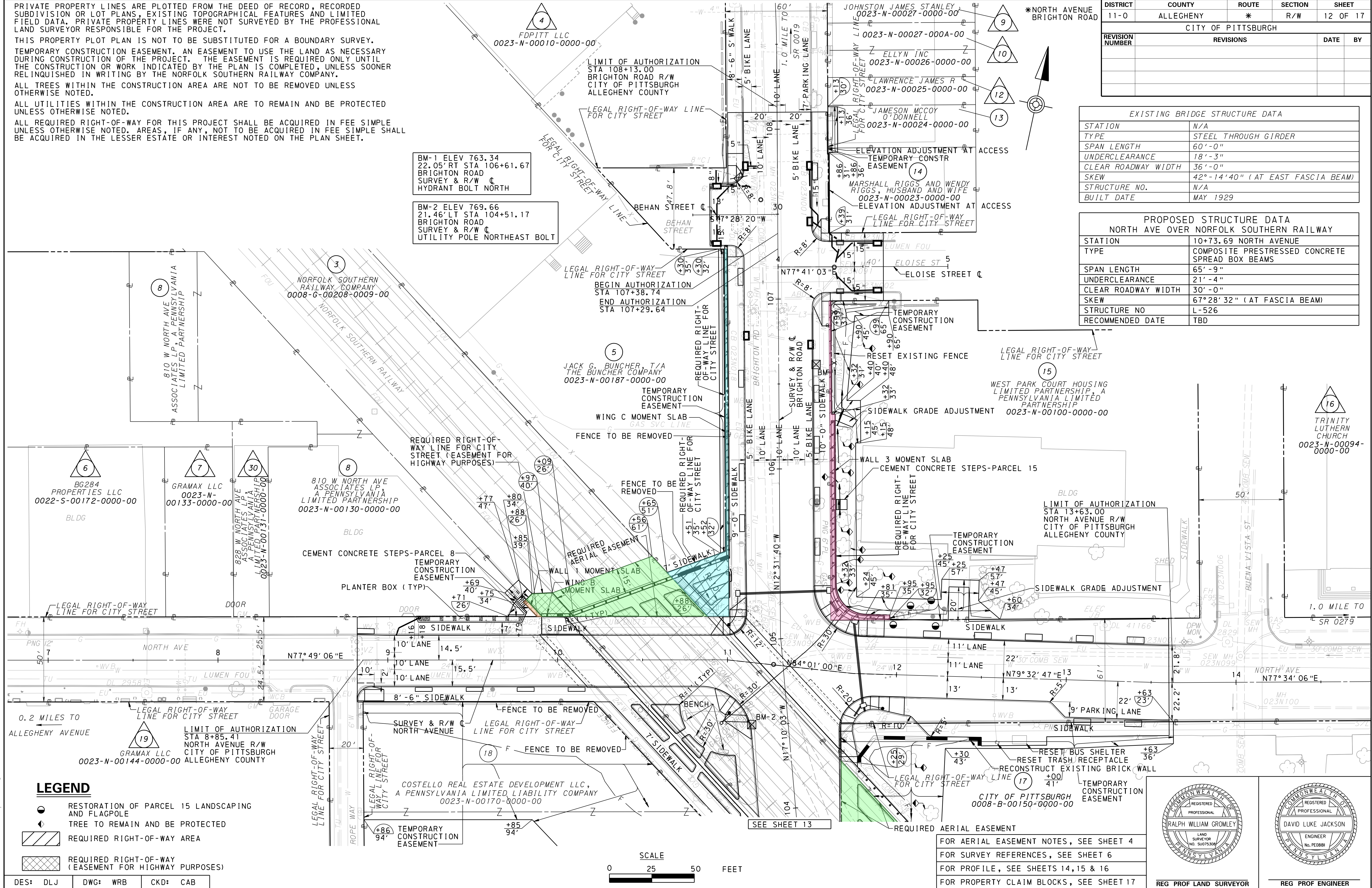
ALL REQUIRED RIGHT-OF-WAY FOR THIS PROJECT SHALL BE ACQUIRED IN FEE SIMPLE UNLESS OTHERWISE NOTED. AREAS, IF ANY, NOT TO BE ACQUIRED IN FEE SIMPLE SHALL BE ACQUIRED IN THE LESSER ESTATE OR INTEREST NOTED ON THE PLAN SHEET.

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
11-0	ALLEGHENY	*	R/W	12 OF 17
CITY OF PITTSBURGH				
REVISION NUMBER	REVISIONS	DATE	BY	

EXISTING BRIDGE STRUCTURE DATA	
STATION	N/A
TYPE	STEEL THROUGH GIRDER
SPAN LENGTH	60'-0"
UNDERCLEARANCE	18'-3"
CLEAR ROADWAY WIDTH	36'-0"
SKEW	42°-14'40" (AT EAST FASCIA BEAM)
STRUCTURE NO.	N/A
BUILT DATE	MAY 1929

PROPOSED STRUCTURE DATA NORTH AVE OVER NORFOLK SOUTHERN RAILWAY	
STATION	10+73.69 NORTH AVENUE
TYPE	COMPOSITE PRESTRESSED CONCRETE SPREAD BOX BEAMS
SPAN LENGTH	65'-9"
UNDERCLEARANCE	21'-4"
CLEAR ROADWAY WIDTH	30'-0"
SKEW	67°28'32" (AT FASCIA BEAM)
STRUCTURE NO	L-526
RECOMMENDED DATE	TBD

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BM-1 ELEV 763.34
22.05' RT STA 106+61.67
BRIGHTON ROAD
SURVEY & R/W
HYDRANT BOLT NORTH

BM-2 ELEV 769.66
21.46' LT STA 104+51.17
BRIGHTON ROAD
SURVEY & R/W
UTILITY POLE NORTHEAST BOLT

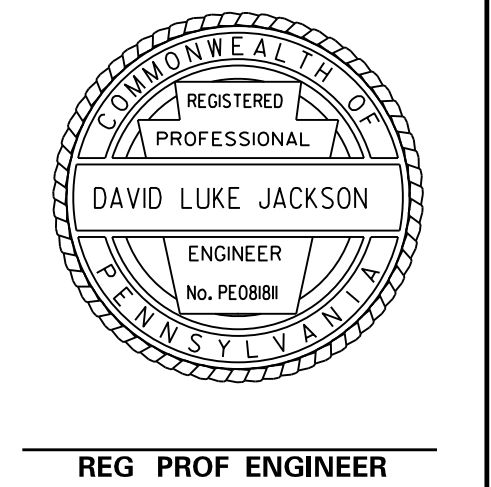
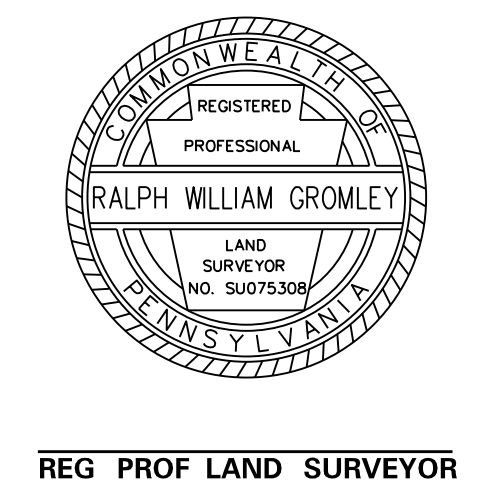
LEGEND

- RESTORATION OF PARCEL 15 LANDSCAPING AND FLAGPOLE
- TREE TO REMAIN AND BE PROTECTED
- REQUIRED RIGHT-OF-WAY AREA
- REQUIRED RIGHT-OF-WAY (EASEMENT FOR HIGHWAY PURPOSES)

DES: DLJ DWG: WRB CKD: CAB



FOR AERIAL EASEMENT NOTES, SEE SHEET 4
FOR SURVEY REFERENCES, SEE SHEET 6
FOR PROFILE, SEE SHEETS 14, 15 & 16
FOR PROPERTY CLAIM BLOCKS, SEE SHEET 17



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PROPOSED STRUCTURE DATA	
NORTH AVE OVER NORFOLK SOUTHERN RAILWAY	
STATION	10+73.69 NORTH AVENUE
TYPE	COMPOSITE PRESTRESSED CONCRETE SPREAD BOX BEAMS
SPAN LENGTH	65'-9"
UNDERCLEARANCE	21'-4"
CLEAR ROADWAY WIDTH	30'-0"
SKREW	67°28'32" (AT FASCIA BEAM)
STRUCTURE NO	L-526
RECOMMENDED DATE	TBD

BM-3 ELEV 766.71
 23.78' LT STA 102+98.24
 BRIGHTON ROAD
 SURVEY & R/W
 UTILITY POLE NORTHEAST BOLT

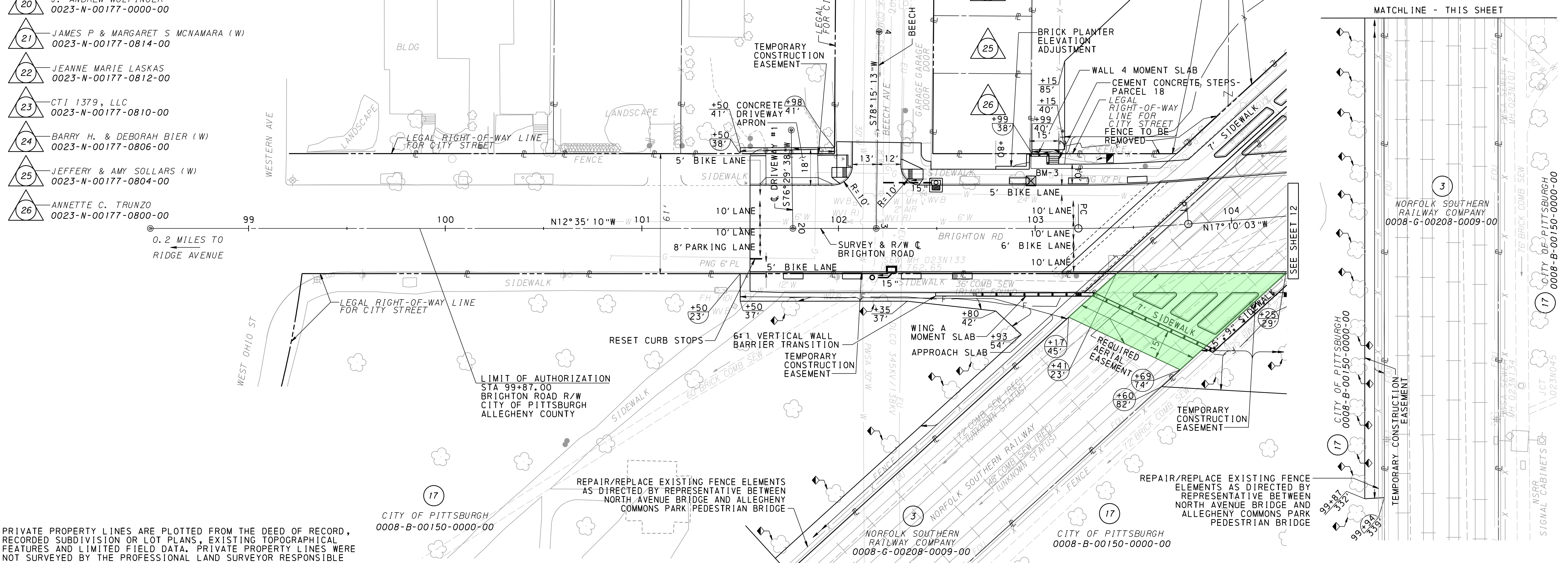
EXISTING BRIDGE STRUCTURE DATA	
STATION	N/A
TYPE	STEEL THROUGH GIRDER
SPAN LENGTH	60'-0"
UNDERCLEARANCE	18'-3"
CLEAR ROADWAY WIDTH	36'-0"
SKREW	42°-14'40" (AT EAST FASCIA BEAM)
STRUCTURE NO.	N/A
BUILT DATE	MAY 1929

LIST OF PROPERTY OWNERS

- 20 J. ANDREW WOLFINGER
0023-N-00177-0000-00
- 21 JAMES P & MARGARET S MCNAMARA (W)
0023-N-00177-0814-00
- 22 JEANNE MARIE LASKAS
0023-N-00177-0812-00
- 23 CT1 1379, LLC
0023-N-00177-0810-00
- 24 BARRY H. & DEBORAH BIER (W)
0023-N-00177-0806-00
- 25 JEFFERY & AMY SOLLARS (W)
0023-N-00177-0804-00
- 26 ANNETTE C. TRUNZO
0023-N-00177-0800-00

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
11-0	ALLEGHENY	*	R/W	13 OF 17
CITY OF PITTSBURGH				
REVISION NUMBER	REVISIONS	DATE	BY	

CURVE DATA BRIGHTON ROAD
 PI STA 103+50.00
 Δ=4°34'53" LT
 D=8°11'06"
 T=28.00'
 L=55.97'
 R=700.00'
 E=0.56'
 SE=NORMAL CROWN
 PC STA 103+22.00
 PT STA 103+77.97



PRIVATE PROPERTY LINES ARE PLOTTED FROM THE DEED OF RECORD, RECORDED SUBDIVISION OR LOT PLANS, EXISTING TOPOGRAPHICAL FEATURES AND LIMITED FIELD DATA. PRIVATE PROPERTY LINES WERE NOT SURVEYED BY THE PROFESSIONAL LAND SURVEYOR RESPONSIBLE FOR THE PROJECT.

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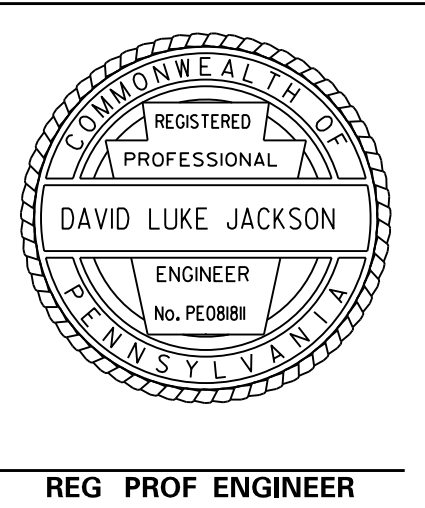
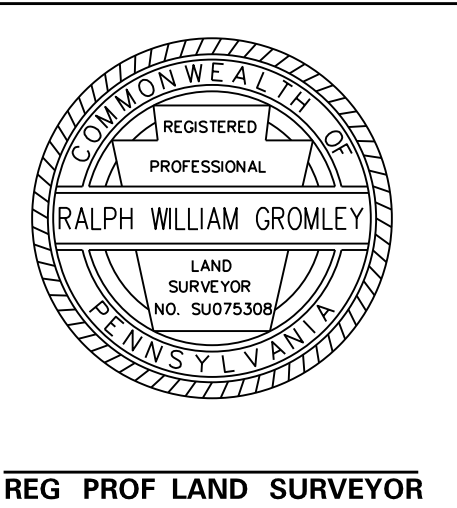
TEMPORARY CONSTRUCTION EASEMENT. AN EASEMENT TO USE THE LAND AS NECESSARY DURING CONSTRUCTION OF THE PROJECT. THE EASEMENT IS REQUIRED ONLY UNTIL THE CONSTRUCTION OR WORK INDICATED BY THE PLAN IS COMPLETED, UNLESS SOONER RELINQUISHED IN WRITING BY THE NORFOLK SOUTHERN RAILWAY COMPANY.

LEGEND

- ◀ TREE TO REMAIN AND BE PROTECTED
- TREE TO BE REMOVED



FOR AERIAL EASEMENT NOTES, SEE SHEET 4
 FOR SURVEY REFERENCES, SEE SHEET 6
 FOR PROFILE, SEE SHEETS 15 & 16
 FOR PROPERTY CLAIM BLOCKS, SEE SHEET 17



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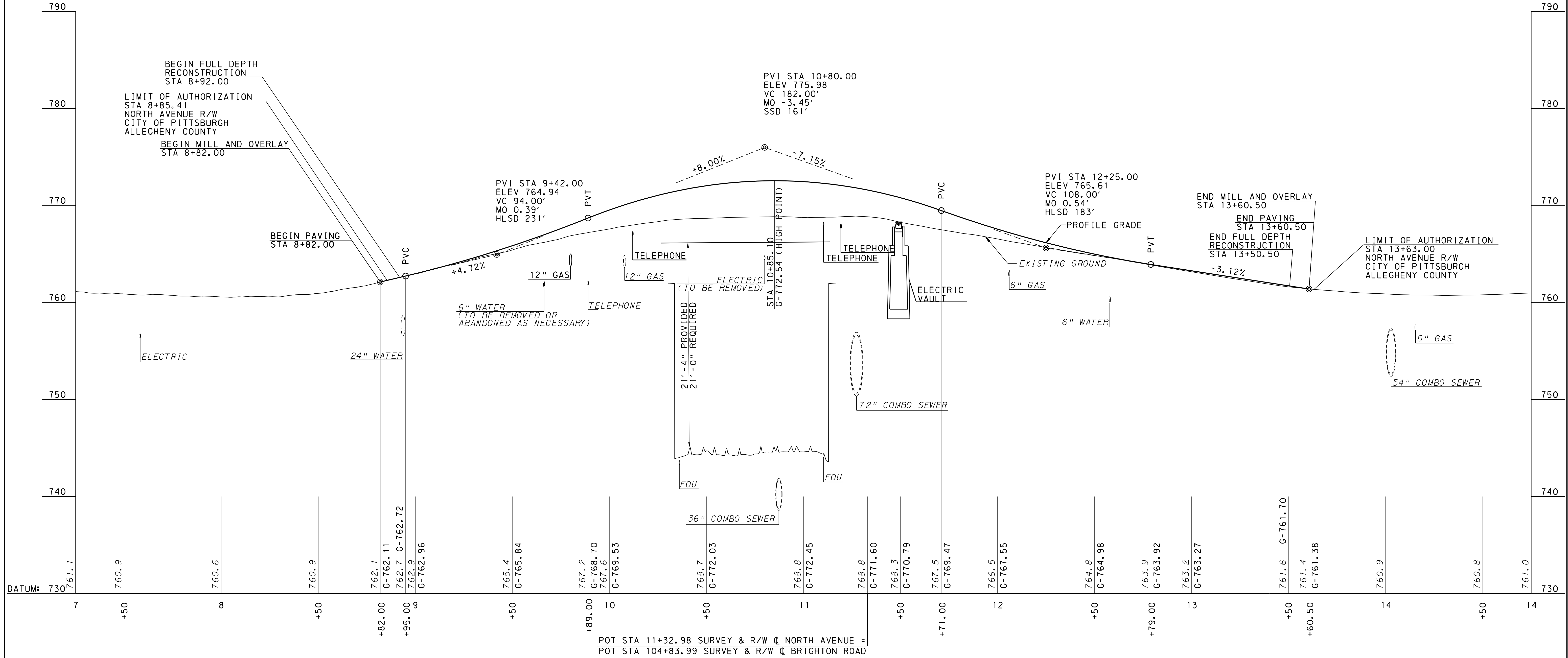
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PROPOSED STRUCTURE DATA NORTH AVE OVER NORFOLK SOUTHERN RAILWAY	
STATION	10+73.69 NORTH AVENUE
TYPE	COMPOSITE PRESTRESSED CONCRETE SPREAD BOX BEAMS
SPAN LENGTH	65' - 9"
UNDERCLEARANCE	21' - 4"
CLEAR ROADWAY WIDTH	30' - 0"
SKEW	67°28'32" (AT FASCIA BEAM)
STRUCTURE NO	L-526
RECOMMENDED DATE	TBD

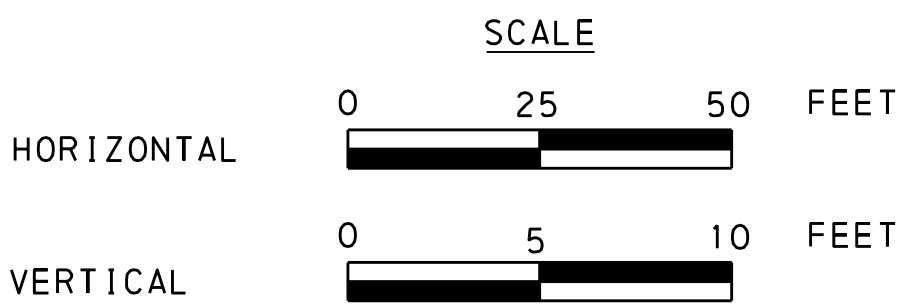
EXISTING BRIDGE STRUCTURE DATA	
STATION	N/A
TYPE	STEEL THROUGH GIRDER
SPAN LENGTH	60' - 0"
UNDERCLEARANCE	18' - 3"
CLEAR ROADWAY WIDTH	36' - 0"
SKEW	42° - 14'40" (AT EAST FASCIA BEAM)
STRUCTURE NO.	N/A
BUILT DATE	MAY 1929

*NORTH AVENUE
BRIGHTON ROAD

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
11-0	ALLEGHENY	*	R/W	14 OF 17
CITY OF PITTSBURGH				
REVISION NUMBER	REVISIONS	DATE	BY	

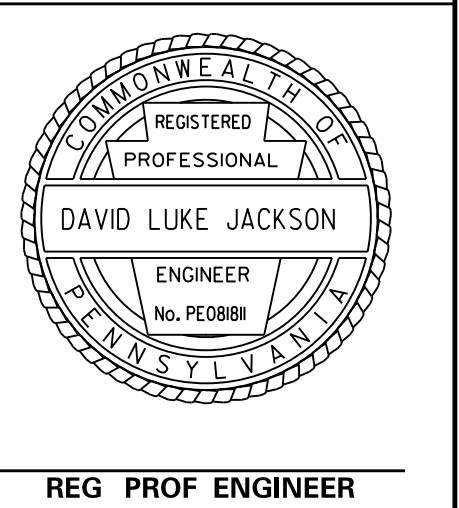
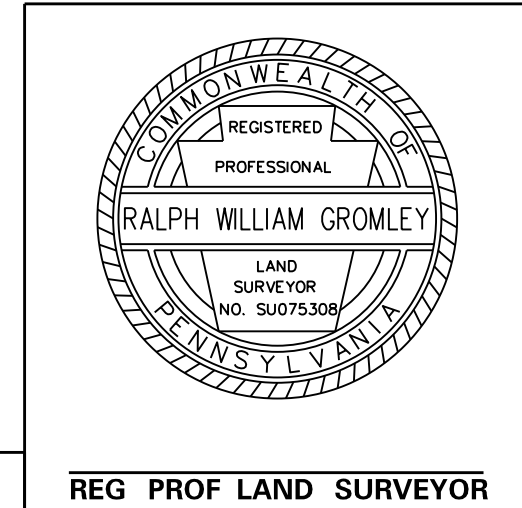


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DES: DLJ DWG: WRB CKD: CAB

FOR PLAN, SEE SHEET 12



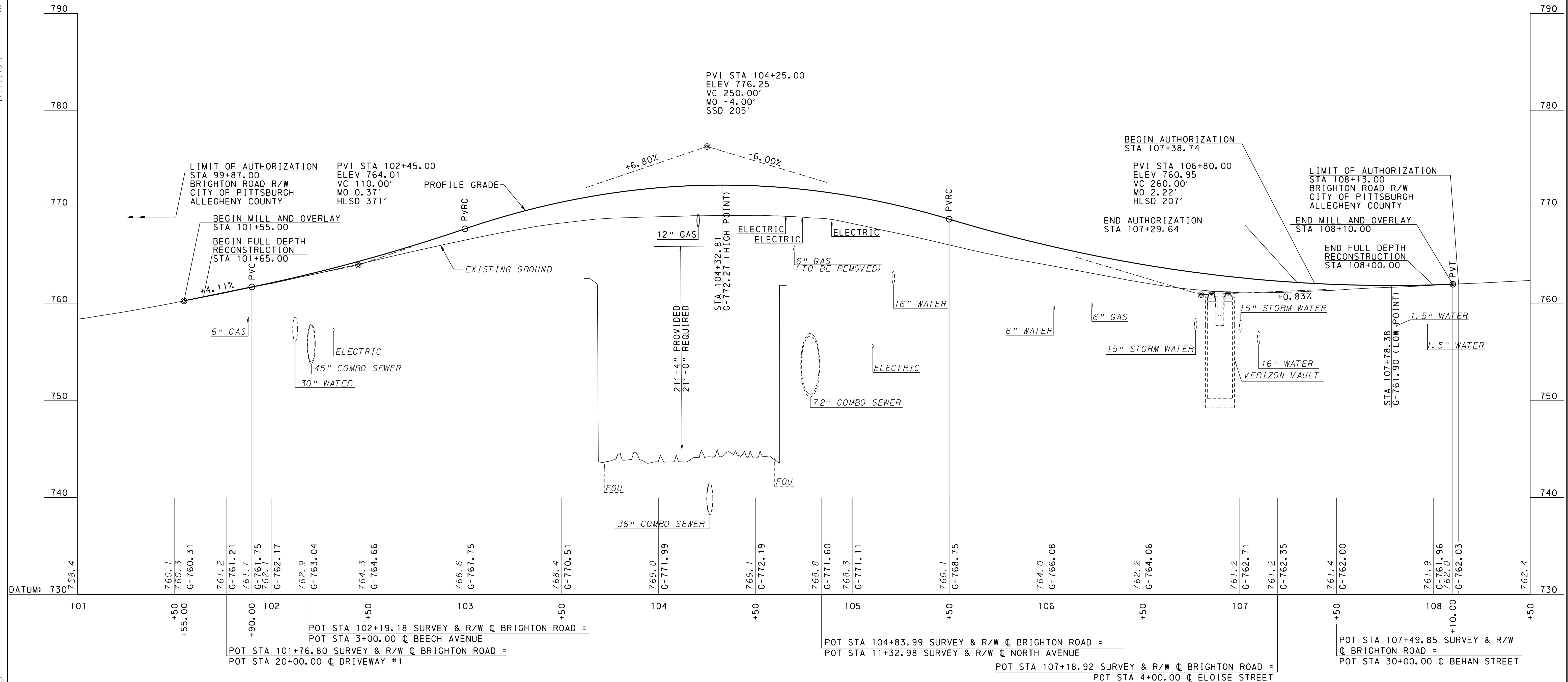
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PROPOSED STRUCTURE DATA NORTH AVE OVER NORFOLK SOUTHERN RAILWAY	
STATION	10+73.69 NORTH AVENUE
TYPE	COMPOSITE PRESTRESSED CONCRETE SPREAD BOX BEAMS
SPAN LENGTH	65' - 9"
UNDERCLEARANCE	21' - 4"
CLEAR ROADWAY WIDTH	30' - 0"
SKEW	67°28'32" (AT FASCIA BEAM)
STRUCTURE NO	L-526
RECOMMENDED DATE	TBD

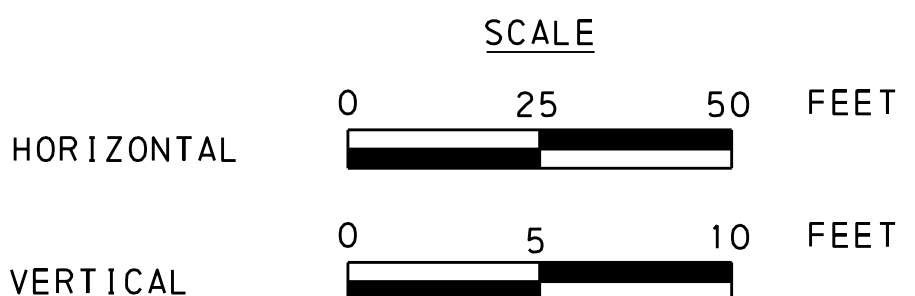
EXISTING BRIDGE STRUCTURE DATA	
STATION	N/A
TYPE	STEEL THROUGH GIRDER
SPAN LENGTH	60' - 0"
UNDERCLEARANCE	18' - 3"
CLEAR ROADWAY WIDTH	36' - 0"
SKEW	42° - 14' 40" (AT EAST FASCIA BEAM)
STRUCTURE NO.	N/A
BUILT DATE	MAY 1929

*NORTH AVENUE
BRIGHTON ROAD

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
11-0	ALLEGHENY	*	R/W	15 OF 17
CITY OF PITTSBURGH				
REVISION NUMBER	REVISIONS	DATE	BY	



PROFILE - BRIGHTON ROAD



DES: DLJ | DWG: WRB | CKD: CAB

FOR PLAN, SEE SHEETS 12 & 13

REG PROF LAND SURVEYOR

REG PROF ENGINEER

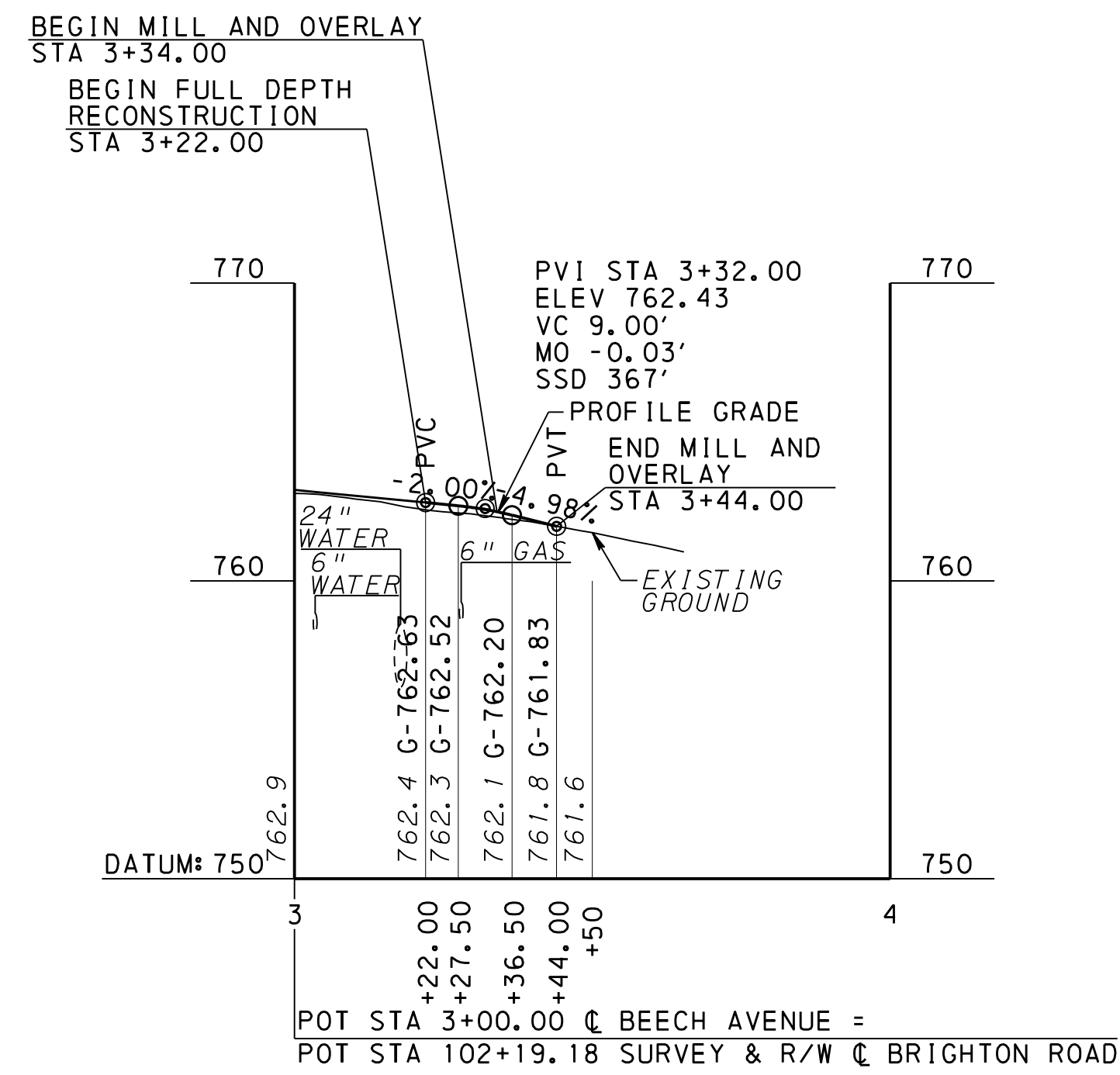
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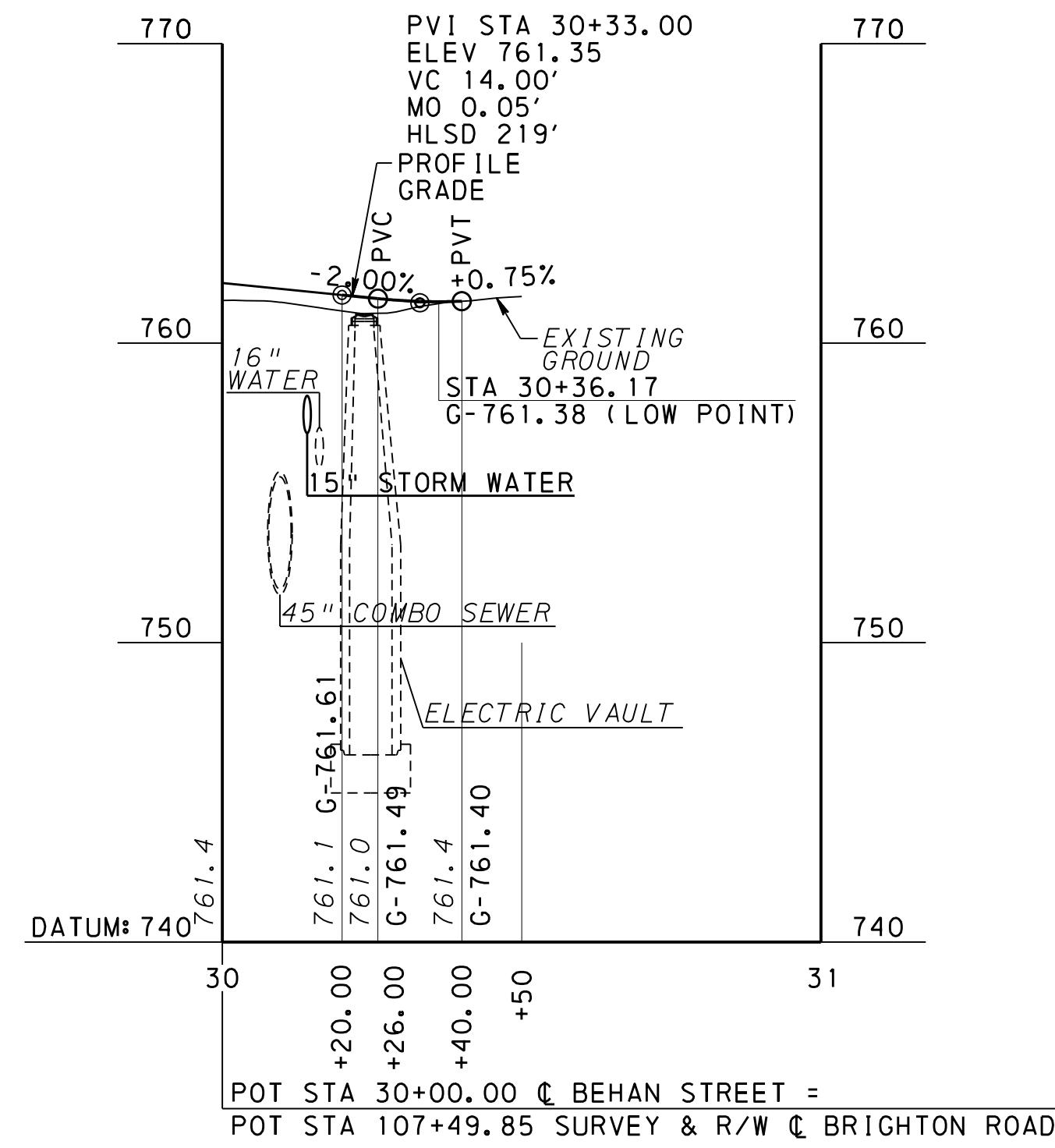
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*NORTH AVENUE
BRIGHTON ROAD

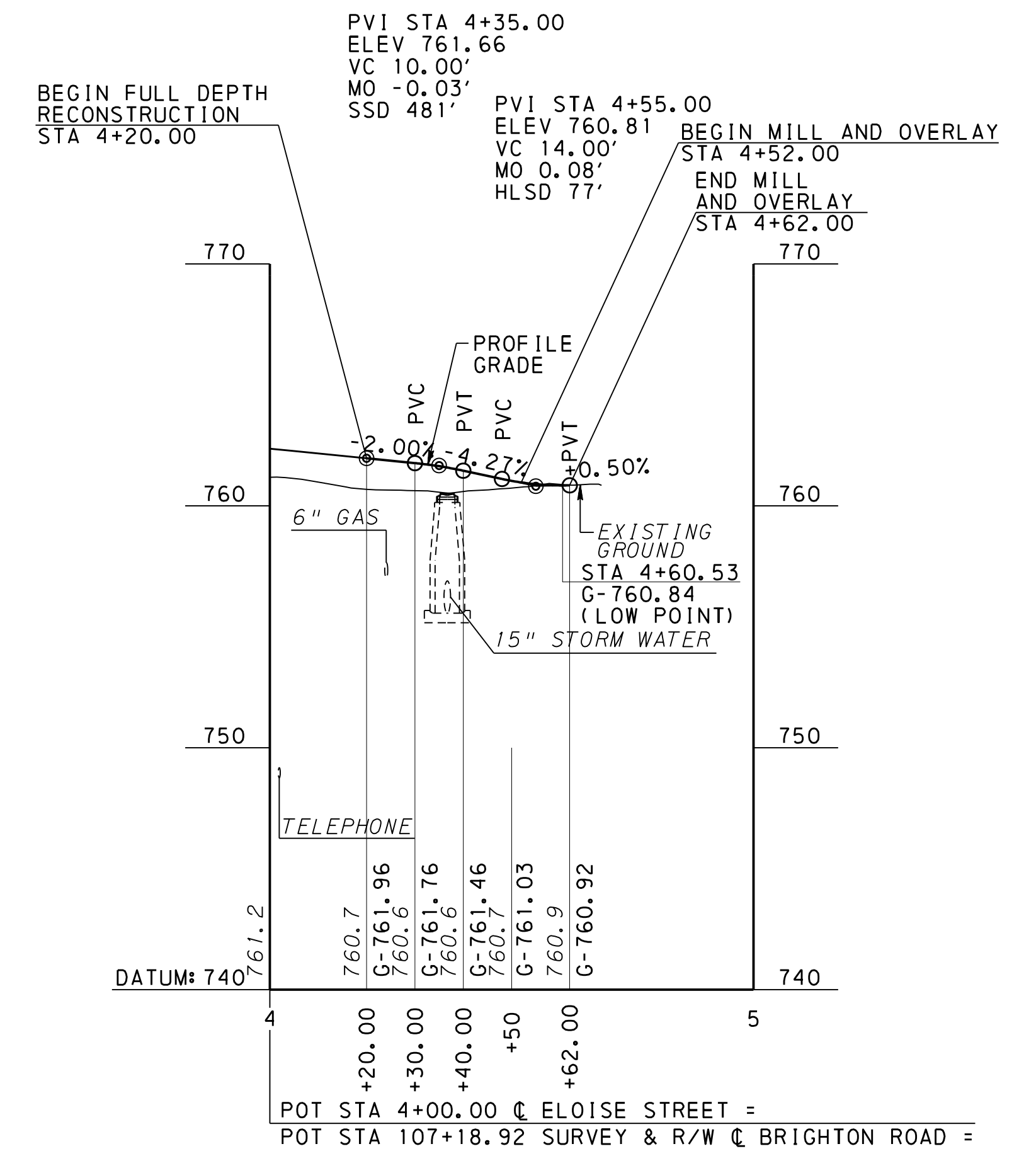
DISTRICT	COUNTY	ROUTE	SECTION	SHEET
11-0	ALLEGHENY	*	R/W	16 OF 17
CITY OF PITTSBURGH				
REVISION NUMBER	REVISIONS	DATE	BY	



PROFILE - BEECH AVENUE

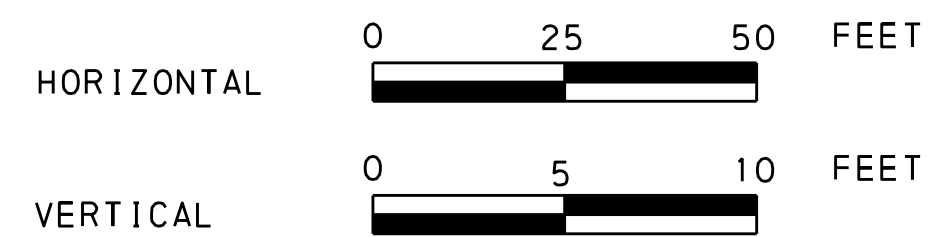


PROFILE - BEHAN STREET



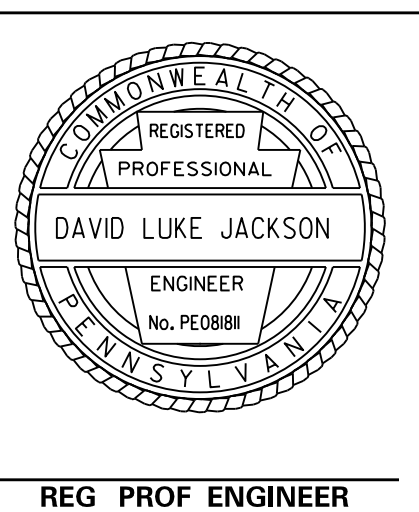
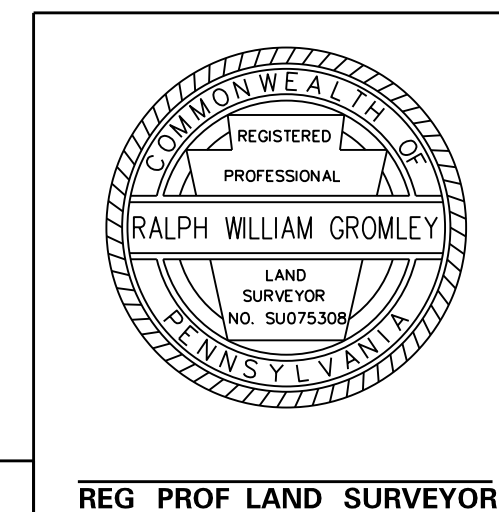
PROFILE - ELOISE STREET

SCALE



DES: DLJ DWG: WRB CKD: CAB

FOR PLAN, SEE SHEETS 12 & 13



*NORTH AVENUE
BRIGHTON ROAD

DISTRICT	COUNTY	ROUTE	SECTION	SHEET
11-0	ALLEGHENY	*	R/W	17 OF 17
CITY OF PITTSBURGH				
REVISION NUMBER	REVISIONS	DATE	BY	

RIGHT-OF-WAY CLAIM INFORMATION

NORFOLK SOUTHERN RAILWAY COMPANY
 ROUTE NORTH AVENUE & BRIGHTON ROAD, CITY OF PITTSBURGH, ALLEGHENY COUNTY
 PARCEL NO. 3 SHEET NOS. 12 & 13 CLAIM NO. _____
 PROPERTY OWNER(S) NORFOLK SOUTHERN RAILWAY COMPANY, SUCCESSOR THROUGH
 MERGER WITH PENNSYLVANIA LINES, LLC, DATED AUGUST 27, 2004
 GRANTOR(S) CONSOLIDATED RAIL CORPORATION, A PENNSYLVANIA CORPORATION

TAX PARCEL NO. 8-G-208-9	AREAS DEED	SF ***	REQUIRED AREA	SF
DEED BOOK 10558	CALCULATED	—	RIGHT OF WAY FOR CITY STREET (EASEMENT FOR HIGHWAY PURPOSES)	249
PAGE 096	ADVERSES	—	AERIAL EASEMENT	4,997
DATE OF DEED 05/19/1999	LEGAL R/W	—	TEMP CONSTR EASEMENT	56
DATE OF RECORD 08/18/1999	EFFECTIVE	***	VERIFICATION DATE	01/20/2026
CONSIDERATION	TOTAL REQ'D R/W	249	DRAWN BY	MBI
TAX STAMPS	TOTAL RESIDUE	***	SCALE AS INDICATED	
	RESIDUE LT	***		
	RESIDUE RT	***		

RIGHT-OF-WAY CLAIM INFORMATION

NORFOLK SOUTHERN RAILWAY COMPANY
 ROUTE BRIGHTON ROAD, CITY OF PITTSBURGH, ALLEGHENY COUNTY
 PARCEL NO. 14 SHEET NO. 12 CLAIM NO. _____
 PROPERTY OWNER(S) MARSHALL RIGGS AND WENDY RIGGS, HUSBAND AND WIFE
 GRANTOR(S) MARSHALL RIGGS, MARRIED

TAX PARCEL NO. 23-N-23	AREAS DEED	SF	REQUIRED AREA	SF
DEED BOOK 16202	CALCULATED	4,350	TEMP CONSTR EASEMENT	44
PAGE 300	ADVERSES	—	VERIFICATION DATE	01/20/2026
DATE OF DEED 11/16/2015	LEGAL R/W	—	DRAWN BY	MBI
DATE OF RECORD 11/19/2015	EFFECTIVE	4,350	SCALE AS INDICATED	
CONSIDERATION \$1.00	TOTAL REQ'D R/W	—		
TAX STAMPS	TOTAL RESIDUE	4,350		
	RESIDUE LT	—		
	RESIDUE RT	4,350		

NOTES:

** NO DEED AVAILABLE

*** TOO INUMERABLE TO CALCULATE

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ALL REQUIRED RIGHT-OF-WAY FOR THIS PROJECT SHALL BE ACQUIRED IN FEE SIMPLE UNLESS OTHERWISE NOTED. AREAS, IF ANY, NOT TO BE ACQUIRED IN FEE SIMPLE SHALL BE ACQUIRED IN THE LESSER ESTATE OR INTEREST NOTED ON THE PLAN SHEET.

REQUIRED RIGHT-OF-WAY FOR CITY STREET. RIGHT-OF-WAY ACQUIRED FOR THE BENEFIT OF THE APPLICABLE MUNICIPALITY IN THE SAME INTEREST AS DESIGNATED HEREIN, ALONG WITH A TEMPORARY CONSTRUCTION EASEMENT FOR THE BENEFIT AND USE OF THE NORFOLK SOUTHERN RAILWAY COMPANY. TITLE SHALL VEST IN THE APPLICABLE LOCAL MUNICIPALITY UPON ACQUISITION AND MAINTENANCE RESPONSIBILITY SHALL TRANSFER UPON THE COMPLETION OF CONSTRUCTION.

THIS RIGHT-OF-WAY CLAIM INFORMATION IS NOT TO BE SUBSTITUTED FOR A BOUNDARY SURVEY.

TEMPORARY CONSTRUCTION EASEMENT. AN EASEMENT TO USE THE LAND AS NECESSARY DURING CONSTRUCTION OF THE PROJECT. THE EASEMENT IS REQUIRED ONLY UNTIL THE CONSTRUCTION OR WORK INDICATED BY THE PLAN IS COMPLETED, UNLESS SOONER RELINQUISHED IN WRITING BY THE NORFOLK SOUTHERN RAILWAY COMPANY.

FOR AERIAL EASEMENT NOTES, SEE SHEET 4

RIGHT-OF-WAY CLAIM INFORMATION

NORFOLK SOUTHERN RAILWAY COMPANY
 ROUTE BRIGHTON ROAD, CITY OF PITTSBURGH, ALLEGHENY COUNTY
 PARCEL NO. 5 SHEET NO. 12 CLAIM NO. _____
 PROPERTY OWNER(S) JACK G. BUNCHER, T/A THE BUNCHER COMPANY
 GRANTOR(S) PITTSBURGH, FORT WAYNE AND CHICAGO RAILWAY COMPANY, A CORPORATION OF THE COMMONWEALTH OF PENNSYLVANIA

TAX PARCEL NO. 23-N-187	AREAS DEED	SF	REQUIRED AREA	SF
DEED BOOK 4361	CALCULATED	81,627	RIGHT OF WAY FOR CITY STREET	1,184
PAGE 365	ADVERSES	—	TEMP CONSTR EASEMENT	536
DATE OF DEED 08/03/1966	LEGAL R/W	—	VERIFICATION DATE	01/20/2026
DATE OF RECORD 08/23/1966	EFFECTIVE	81,627	DRAWN BY	MBI
CONSIDERATION \$84,500.00	TOTAL REQ'D R/W	1,184	SCALE AS INDICATED	
TAX STAMPS \$845.00	TOTAL RESIDUE	80,443		
	RESIDUE LT	80,443		
	RESIDUE RT	—		

RIGHT-OF-WAY CLAIM INFORMATION

NORFOLK SOUTHERN RAILWAY COMPANY
 ROUTE NORTH AVENUE & BRIGHTON ROAD, CITY OF PITTSBURGH, ALLEGHENY COUNTY
 PARCEL NO. 15 SHEET NO. 12 CLAIM NO. _____
 PROPERTY OWNER(S) WEST PARK COURT HOUSING LIMITED PARTNERSHIP, A PENNSYLVANIA LIMITED PARTNERSHIP
 GRANTOR(S) WEST PARK COURT, A PENNSYLVANIA NONPROFIT CORPORATION

TAX PARCEL NO. 23-N-100	AREAS DEED	SF	REQUIRED AREA	SF
DEED BOOK 13076	CALCULATED	38,486	RIGHT OF WAY FOR CITY STREET	645
PAGE 532	ADVERSES	—	TEMP CONSTR EASEMENT	3,557
DATE OF DEED 12/05/2003	LEGAL R/W	—	VERIFICATION DATE	01/20/2026
DATE OF RECORD 12/05/2003	EFFECTIVE	38,486	DRAWN BY	MBI
CONSIDERATION \$2,650,000.00	TOTAL REQ'D R/W	645	SCALE AS INDICATED	
TAX STAMPS \$106,000.00	TOTAL RESIDUE	37,841		
	RESIDUE LT	—		
	RESIDUE RT	37,841		

RIGHT-OF-WAY CLAIM INFORMATION

NORFOLK SOUTHERN RAILWAY COMPANY
 ROUTE NORTH AVENUE, CITY OF PITTSBURGH, ALLEGHENY COUNTY
 PARCEL NO. 8 SHEET NO. 12 CLAIM NO. _____
 PROPERTY OWNER(S) 810 W NORTH AVE ASSOCIATES LP, A PENNSYLVANIA LIMITED PARTNERSHIP
 GRANTOR(S) 828 W NORTH AVE ASSOCIATES LP, A PENNSYLVANIA LIMITED PARTNERSHIP

TAX PARCEL NO. 23-N-130	AREAS DEED	SF	REQUIRED AREA	SF
DEED BOOK 19045	CALCULATED	20,933	RIGHT OF WAY FOR CITY STREET	23
PAGE 228	ADVERSES	—	TEMP CONSTR EASEMENT	158
DATE OF DEED 08/19/2022	LEGAL R/W	—	VERIFICATION DATE	01/20/2026
DATE OF RECORD 09/08/2022	EFFECTIVE	20,933	DRAWN BY	MBI
CONSIDERATION \$10.00	TOTAL REQ'D R/W	23	SCALE AS INDICATED	
TAX STAMPS \$559.52	TOTAL RESIDUE	20,910		
	RESIDUE LT	20,910		
	RESIDUE RT	—		

RIGHT-OF-WAY CLAIM INFORMATION

NORFOLK SOUTHERN RAILWAY COMPANY
 ROUTE NORTH AVENUE & BRIGHTON ROAD, CITY OF PITTSBURGH, ALLEGHENY COUNTY
 PARCEL NO. 17 SHEET NOS. 12 & 13 CLAIM NO. _____
 PROPERTY OWNER(S) CITY OF PITTSBURGH
 GRANTOR(S) **

TAX PARCEL NO. 8-B-150	AREAS DEED	AC	REQUIRED AREA	SF/AC
DEED BOOK **	CALCULATED	***	TEMP CONSTR EASEMENT	12,547/0.288
PAGE **	ADVERSES	—	VERIFICATION DATE	01/20/2026
DATE OF DEED 05/05/1950	LEGAL R/W	—	DRAWN BY	MBI
DATE OF RECORD **	EFFECTIVE	***	SCALE AS INDICATED	
CONSIDERATION **	TOTAL REQ'D R/W	—		
TAX STAMPS	TOTAL RESIDUE	***		
	RESIDUE LT	***		
	RESIDUE RT	***		

RIGHT-OF-WAY CLAIM INFORMATION

NORFOLK SOUTHERN RAILWAY COMPANY
 ROUTE BRIGHTON ROAD, CITY OF PITTSBURGH, ALLEGHENY COUNTY
 PARCEL NO. 27 SHEET NO. 13 CLAIM NO. _____
 PROPERTY OWNER(S) KS MAX PROPERTY LLC
 GRANTOR(S) MARCIE, L.P., A PENNSYLVANIA LIMITED PARTNERSHIP

TAX PARCEL NO. 23-N-180	AREAS DEED	SF	REQUIRED AREA	SF
DEED BOOK 17666	CALCULATED	17,221	TEMP CONSTR EASEMENT	144
PAGE 482	ADVERSES	—	VERIFICATION DATE	01/20/2026
DATE OF DEED 06/11/2019	LEGAL R/W	—	DRAWN BY	MBI
DATE OF RECORD 06/25/2019	EFFECTIVE	17,221	SCALE AS INDICATED	
CONSIDERATION \$663,500.00	TOTAL REQ'D R/W	—		
TAX STAMPS \$29,857.50	TOTAL RESIDUE	17,221		
	RESIDUE LT	17,221		
	RESIDUE RT	—		

RIGHT-OF-WAY CLAIM INFORMATION

NORFOLK SOUTHERN RAILWAY COMPANY
 ROUTE BRIGHTON ROAD, CITY OF PITTSBURGH, ALLEGHENY COUNTY
 PARCEL NO. 13 SHEET NO. 12 CLAIM NO. _____
 PROPERTY OWNER(S) JAMESON MCCOY O' DONNELL
 GRANTOR(S) MARY BESSELMAN

TAX PARCEL NO. 23-N-24	AREAS DEED	SF	REQUIRED AREA	SF
DEED BOOK 14485	CALCULATED	2,175	TEMP CONSTR EASEMENT	135
PAGE 288	ADVERSES	—	VERIFICATION DATE	01/20/2026
DATE OF DEED 01/07/2011	LEGAL R/W	—	DRAWN BY	MBI
DATE OF RECORD 01/20/2011	EFFECTIVE	2,175	SCALE AS INDICATED	
CONSIDERATION \$38,500.00	TOTAL REQ'D R/W	—		
TAX STAMPS \$1,540.00	TOTAL RESIDUE	2,175		
	RESIDUE LT	2,175		
	RESIDUE RT	—		

RIGHT-OF-WAY CLAIM INFORMATION

NORFOLK SOUTHERN RAILWAY COMPANY
 ROUTE NORTH AVENUE & BRIGHTON ROAD, CITY OF PITTSBURGH, ALLEGHENY COUNTY
 PARCEL NO. 18 SHEET NOS. 12 & 13 CLAIM NO. _____
 PROPERTY OWNER(S) COSTELLO REAL ESTATE DEVELOPMENT, LLC, A PENNSYLVANIA LIMITED LIABILITY COMPANY
 GRANTOR(S) WEST PARK RENAISSANCE I, LP, A PENNSYLVANIA LIMITED PARTNERSHIP

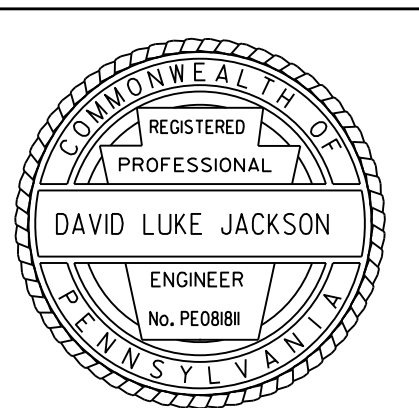
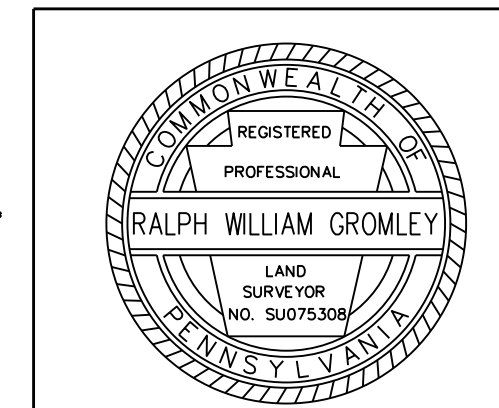
TAX PARCEL NO. 23-N-170	AREAS DEED	SF	REQUIRED AREA	SF
DEED BOOK 19549	CALCULATED	32,501	TEMP CONSTR EASEMENT	18,120
PAGE 133	ADVERSES	—	VERIFICATION DATE	01/20/2026
DATE OF DEED 01/12/2024	LEGAL R/W	—	DRAWN BY	MBI
DATE OF RECORD 01/12/2024	EFFECTIVE	32,501	SCALE AS INDICATED	
CONSIDERATION \$787,000.00	TOTAL REQ'D R/W	—		
TAX STAMPS \$39,350.00	TOTAL RESIDUE	32,501		
	RESIDUE LT	32,501		
	RESIDUE RT	—		

NOTES PERTAINING TO ALLEGHENY COMMONS PARK:

THE COMMON GROUNDS OF THE CITY OF ALLEGHENY WERE APPROPRIATED TO THE USE OF THE PUBLIC AS PUBLIC PARKS BY THE COMMON GROUND IMPROVEMENT ACT (ACT NO 527) APPROVED ON MARCH 26, 1867 BY THE STATE LEGISLATURE.

EXISTING MAP REFERENCES

RESERVE TRACT OF LAND OPPOSITE PITTSBURGH, DATED NOVEMBER 12, 1863. G.M. HOPKINS COMPANY MAP, 1901 VOLUME 1, REAL ESTATE PLAT BOOK OF THE CITY OF ALLEGHENY, PLAT NOS 6, 8, 11, 12, 13, AND 14.



PROPERTY CLAIM BLOCKS

REG PROF LAND SURVEYOR

REG PROF ENGINEER

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