

desmone

Andre` Clarke
Desmone Architects
3400 Butler Street
Pittsburgh PA 15201

City of Pittsburgh Department of Mobility & Infrastructure
414 Grant St
Pittsburgh PA 15219

April 21, 2021

Attention: Karina Ricks – DOMI Director

Dear Ms. Ricks

I am writing with regards to the new renovated Industrialist Hotel (the Arrott Building) located at 405 Wood Street, Pittsburgh PA 15222, permit # 18-B-04848.

The emergency generator exhaust coming from the basement within the building exits the building on Fourth Ave at a height of approximately 10' from the sidewalk and projects 3" from the building (see attached drawings). We are making this application to ensure that this slight encroachment is acceptable to DOMI.

Looking forward to your decision on this matter.

Sincerely,

Andre` J Clarke AIA | NCARB
Architect
412.639.9745
aclarke@desmone.com

WILLIAM PEDUTO
MAYOR



KARINA RICKS
DIRECTOR

CITY OF PITTSBURGH
DEPARTMENT OF MOBILITY & INFRASTRUCTURE
CITY-COUNTY BUILDING

Application for an Encroachment on City Dedicated Right-Of-Way

Date: April 21, 2021

Applicant Name: Andre` Clarke (Desmone Architects)

Property Owner's Name (if different from Applicant): Urban Pittsburgh Downtown Hotel Company LLC

Address: 405 Wood Street Pittsburgh PA 15222

Phone Number: 412-639-9745 Alternate Phone Number: 504-679-5049

Location of Proposed Encroachment: Fourth Ave At the Above the Rear Access Door

Ward: 101 1st Council District: _____ Lot and Block: 0001-H-00188-0000-00

What is the properties zoning district code: Golden Triangle District A (zoning office 255-2241)

Planning/Zoning Case OneStop Number (if applicable): ZDR- DOMI-EN-2021-04405

Is the existing right-of-way, a street or a sidewalk? A Sidewalk

Width of Existing Right-of-Way (sidewalk or street): 8'-6"+/- (Before encroachment)

Length of Existing Right-of-Way (sidewalk or street): 60'-6"+/- (Before encroachment)

Width of Proposed Encroachment: Approx. 10"

Length of Proposed Encroachment: Approx. 3"

Number of feet the proposed object will encroach into the ROW: 10" +/-

Description of encroachment: Emergency Generator exhaust pipe projecting in the ROW on Fourth Ave

Reason for application:

The Arrott Building Conversion on the intersection of Fourth and Wood Street @ 405 Wood Street and

Permit # 18-B-04848. Attached is a drawing illustrating the generator exhaust pipe slighted projecting

off the building maximum 3" at a starting height of approx.. 10'



June 1, 2021

**Brian Ralston
DOMI
CITY OF PITTSBURGH
611 2ND AVE
PITTSBURGH, PA 15219**

Re: PROPOSED ENCROACHMENT

This document was prepared in response to the request made to Verizon-PA. Inc

This is in response to your request for Verizon – PA, Inc. to investigate if there will be any impacts made to Verizon facilities by the construction of the project **405 Wood Street, The Industrialist Hotel**. According to the drawings provided, Verizon does have underground facilities in the proposed construction area. If the construction is non impacting to Verizon facilities where as cable and or duct banks will not be affected and/or protected during construction Verizon will have no objection to the proposed encroachment.

Should you have any questions or concerns regarding these terms, please contact **Gary Redondo** (412)237-2293

Sincerely

Gary Redondo
Engineer –Network Operations Engineering
15 E Montgomery Place, Pittsburgh, PA 15212
O 412.237.2293 | M 412.667.8618
Gary.Redondo@verizon.com



June 1, 2021

Mr. Andre` Clarke
Desmone
3400 Butler St.
Pittsburgh, PA 15201

Dear Mr. Clarke:

As the construction contact for Comcast, I am responding to your inquiry regarding an encroachment at 405 Wood Street, as described in your May 28, 2021, inquiry to Comcast.

As such, Comcast has no conflicts at this location.

Please let us know if you need any further information or confirmation.

Thank you.

Gene Levi

Eugene Levi
Comcast Cable Communications Inc
Construction / Engineering
Eugene_Levi@cable.comcast.com
412-996-4188 (c)

Cc: Jennifer M. Cloonan, Director, External & Government Affairs
Comcast – Keystone Region
Jennifer_Cloonan@comcast.com

To: Karina Ricks, Director of the Department of Mobility and Infrastructure
From: William J. Pickering, PWSA Chief Executive Officer
Date: June 9, 2021
Subject: Proposed Encroachment at 405 Wood Street

The following is in response to the attached 6/02/2021 request regarding the encroachment near 405 Wood Street in the 1st Ward of the City of Pittsburgh.

1. The Water Mapping (attached) indicates that there are no known PWSA waterlines within the area of the proposed encroachment.
2. The Sewer Mapping (attached) indicates that there are no known PWSA sewerlines within the area of the proposed encroachment that will be impacted during construction of project. Please note, PWSA does not maintain records of sewer service laterals and the property owner is responsible for maintenance. We cannot confirm if the private service lateral will be affected.

PWSA has no objection to the proposed encroachment under the conditions set forth above.

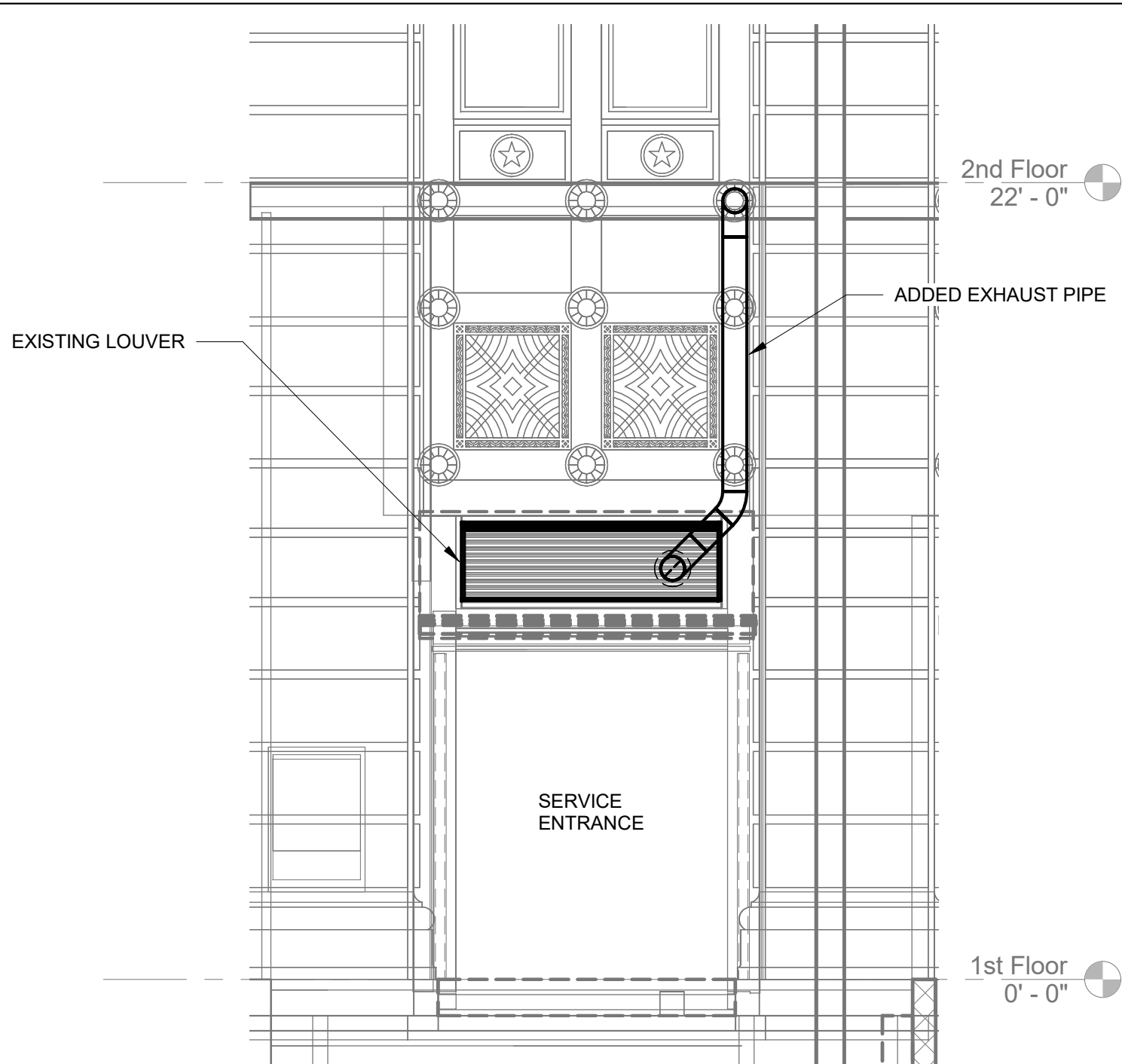
JAT

Attachment

405 Wood St, Pittsburgh, PA, 15: X



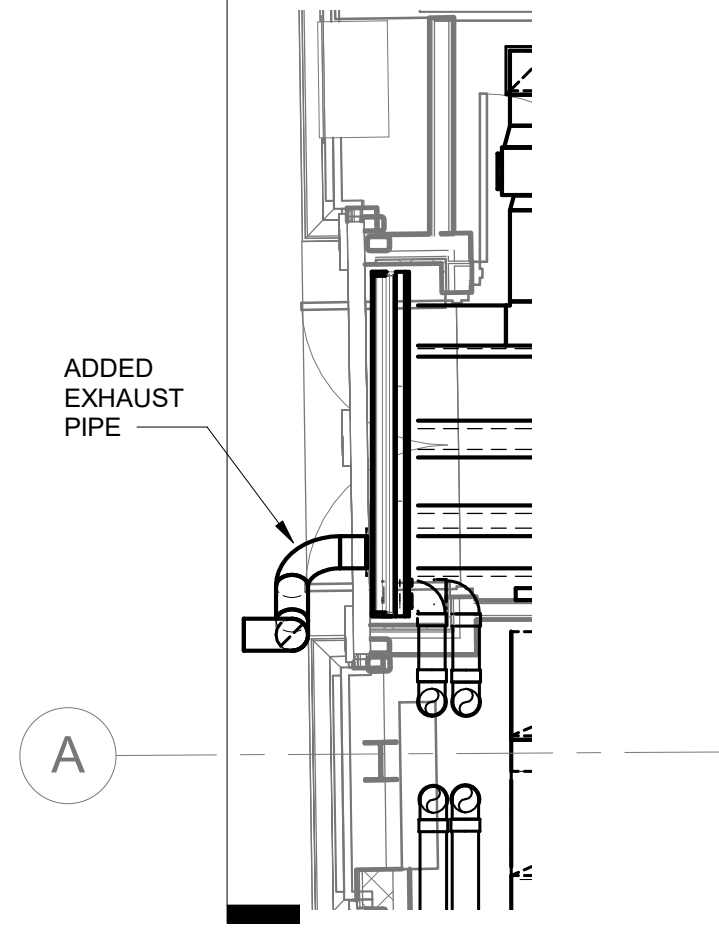
60ft
1,341,648.74 411,125.85 Feet



① Exterior Elevation @ Service Entrance
1/4" = 1'-0"

Note: Frame round opening in louver with angled aluminum painted to match louver. Extend piping beyond louver face and turn up. Exhaust piping shall line up with the cast iron rosettes vertically. The piping shall be between 2" and 3" from the vertical of the pipe to the rosettes. All new piping shall be painted with High Temperature Paint. Basis of Design: VHT "Flameproof" SP100 Primer and Flat Black SPB102 for 1300°F to 2000°F follow manufacturer's instructions for curing paint.

1
MSK-4



② First Floor Plan Above Service Entrance
1/4" = 1'-0"



SKETCH #	MSK-4		
PROJECT:	The Arrott Building Hotel		
PROJECT #:	1741144		
DATE:	04/13/21		
DRAWING:	Generator Exhaust Detail	REVISION#	12

Allen & Shariff
DESIGN | BUILD | MANAGE
Allen & Shariff Engineering, LLC
700 River Avenue, Suite 600
Pittsburgh, PA 15212
Tel: 412.322.9280



DESMONE ARCHITECTS

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100 Morris Road Pittsburgh, PA 15205
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GATEWAY PROJECT # - C-19919

GATEWAY INDEX # -

Construction Documents For

The Arrott Building Hotel

401 & 407 Wood Street, Pittsburgh PA 15222

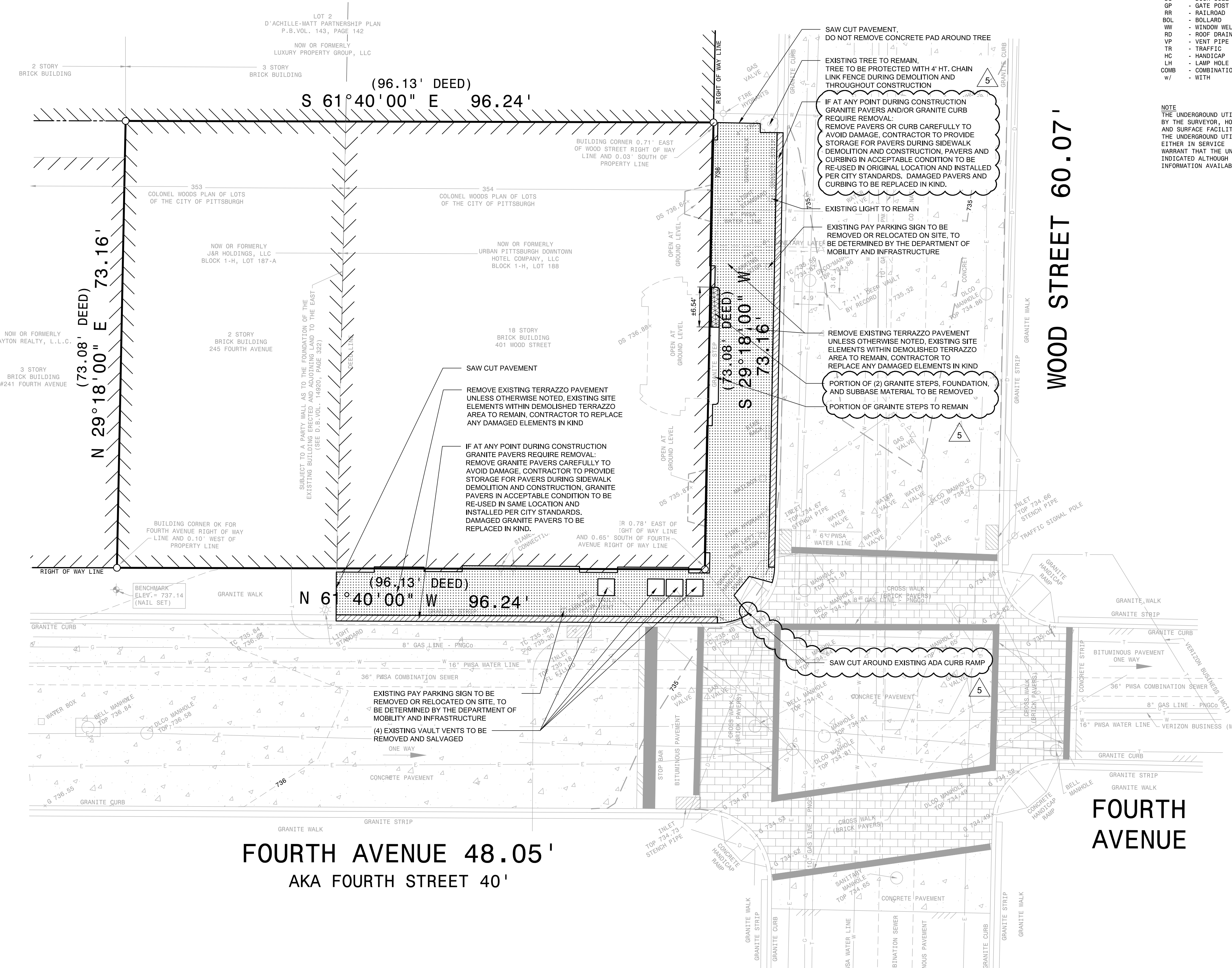
	EXISTING FEATURES TO BE REMAIN
	EXISTING FEATURES TO BE REMOVED
	REMOVE SIDEWALK PAVEMENT AND SUBBASE IN ITS ENTIRETY.
	EXISTING STRUCTURE SHALL BE REMOVED IN ITS ENTIRETY. REFER TO ARCHITECTURAL / STRUCTURAL DEMOLITION PLANS BY OTHERS.

GENERAL DEMOLITION NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK HAVE BEEN OBTAINED.
2. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
3. EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL IN NATURE AND DO NOT INCLUDE MISCELLANEOUS ITEMS. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING THE SITE PRIOR TO BIDDING. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF EXISTING CONDITIONS ARE SIGNIFICANTLY DIFFERENT THAN SHOWN ON THE PLANS.
4. ALL SALVAGEABLE ITEMS MUST BE STORED BY THE CONTRACTOR AND PROTECTED FROM DAMAGE/THEFT OR DELIVERED TO AN AREA APPROVED BY THE OWNER.
5. UNLESS OTHERWISE NOTED, ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
6. ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
7. CONTRACTOR SHALL AT ALL TIMES PROTECT ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO DEMOLITION ACTIVITIES.
8. SAW CUT ALL PAVEMENT PRIOR TO EXCAVATION. SAW CUT PAVEMENT FULL DEPTH WHERE PAVEMENT IS TO BE REMOVED AND WHERE IT ABUTS PAVEMENT TO REMAIN. PAVEMENT REMOVAL INCLUDES SUBBASE MATERIALS. SAW CUT CONCRETE PAVEMENT TO THE NEXT NEAREST EXISTING JOINT.
9. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
10. CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE THOSE ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
11. DEMOLITION CONTRACTOR SHALL COORDINATE EXISTING FACILITIES UTILITY DISCONNECTS WITH THE OWNER AND THE RESPECTIVE UTILITY PROVIDER A MINIMUM OF 7 DAYS PRIOR TO ANTICIPATED DEMOLITION OF STRUCTURES.
12. CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH THE PENNDOT PUBLICATION 213 "WORK ZONE TRAFFIC CONTROL" (LATEST REVISION), AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE THE LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT, AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.
13. EROSION AND SEDIMENT CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE INSTALLED PRIOR TO INITIATION OF DEMOLITION ACTIVITIES. REFER TO E&S PLAN FOR DETAILS.
14. ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
15. ALL DISTURBANCES WITHIN PUBLIC AREAS SHALL BE RESTORED TO THE EXISTING CONDITIONS. ALL STREET AND SIDEWALK DISTURBANCES MUST BE RESTORED PER CURRENT MUNICIPAL SPECIFICATIONS AND REGULATIONS.
16. UTILITIES MAY NOT BE PUBLICLY OWNED AND MAINTAINED. THEREFORE IT WILL BE NECESSARY FOR THE CONTRACTOR TO LOCATE PRIVATE UTILITIES IN ADVANCE OF ANY EXCAVATIONS.
17. CONTRACTOR SHALL HAVE A SUBSURFACE UTILITY INVESTIGATION PERFORMED IN ADVANCE OF ANY EXCAVATIONS IN AREAS OF WORK.
18. CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN IN ACCORDANCE WITH TREE PROTECTION REQUIREMENTS AND MUST CONSULT WITH AN ARBORIST WHERE NOTED.

LEGEND			
BIT	- BITUMINOUS	CGCO	- COLUMBIA GAS COMPANY
CONC	- CONCRETE	EGCO	- EQUITABLE GAS CO. (now PNGCO)
TC	- TOP OF CURB	VZPA	- VERIZON PENNSYLVANIA
G	- GUTTER	BTCO	- BELL TELEPHONE CO. (now VZPa)
TW	- TOP OF WALL	APCO	- ALLEGHENY POWER COMPANY
BS	- BOTTOM OF SLOPE	WPCCO	- WEST PENN POWER COMPANY
SAN	- SANITARY	PPCO	- PENN POWER COMPANY
ST	- STORM	DLCO	- DUQUESNE LIGHT COMPANY
WH	- MANHOLE	PNCO	- PEOPLES NATURAL GAS COMPANY
TOP	- TOP OF CASTING	ALCOGAN	- ALLEGHENY COUNTY SANITARY AUTHORITY
BOT	- BOTTOM	PWSA	- PITTSBURGH WATER AND SEWER AUTHORITY
FL	- FLOW LINE	PAWC	- PENNSYLVANIA AMERICAN WATER COMPANY
CO	- CLEAN OUT	DPW	- DEPARTMENT OF PUBLIC WORKS
WV	- WATER VALVE	PACT	- PITTSBURGH ALLEGHENY COUNTY THERMAL
WM	- WATER METER	RCP	- REINFORCED CONCRETE PIPE
WB	- WATER BOX	CMP	- CORRUGATED METAL PIPE
FW	- FINE MESH	CPP	- CORRUGATED PLASTIC PIPE
GV	- GAS VALVE	TCP	- TERRA COTTA PIPE
GM	- GAS METER	PVC	- POLYVINYL CHLORIDE PIPE
QMK	- GAS MARKER	VCP	- VITRIFIED CLAY PIPE
EB	- ELECTRIC BOX	DIP	- DUCTILE IRON PIPE
EM	- ELECTRIC METER	CIP	- CAST IRON PIPE
TRANS	- TRANSFORMER	SLCPP	- SMOOTH LINED CORRUGATED PLASTIC PIPE
GR	- GUY WIRE	HOPE	- HIGH DENSITY POLYETHYLENE PIPE
VLT	- VAULT	ETC	- ELECTRIC TELEPHONE COMMUNICATIONS
LS	- LIGHT STANDARD	G	- GAS LINE
YL	- YARD LIGHT	W	- WATER LINE
MB	- MAILBOX	T	- SUBSURFACE TELEPHONE LINE
PM	- PARKING METER	E	- SUBSURFACE ELECTRIC LINE
DS	- DOOR SILL	OH	- OVERHEAD WIRES
GP	- GATE POST	CATV	- CABLE TV
RR	- RAILROAD	X 908.8	- EXISTING SPOT ELEVATION
BOL	- BOLLARD	- 908.8	- EXISTING CONTOURS
WW	- WINDOW WELL	---	- EXISTING INLET
RD	- ROOF DRAIN	---	- EXISTING MANHOLE
VP	- VENT PIPE	---	- EXISTING SEWER PIPE
TR	- TRAFFIC		
HC	- HANDICAP		
LH	- LAIR HOLE		
COMB	- COMBINATION SEWER		
W/	- WITH		

NOTE
THE UNDERGROUND UTILITIES SHOWN HEREON HAVE NOT BEEN PHYSICALLY LOCATED BY THE SURVEYOR. HOWEVER, THE INFORMATION WAS OBTAINED FROM EXISTING PLANS AND SURFACE FACILITIES. THE GATEWAY ENGINEERS, INC. MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE GATEWAY ENGINEERS, INC. DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE SHOWN AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.



FOURTH AVENUE 48.05'
AKA FOURTH STREET 40'

WOOD STREET 60.07'

FOURTH AVENUE

Seal: Conformed Set



Drawn By:	Edited By:	Checked By:
Author	Designer	Checker

Revisions:
1. 02.07.19 Bid Set Add. 1
2. 02.15.19 Bid Set Add. 2
3. 6.14.19 Conformed Set

Date: 06.14.2019

Project Number: 4506

Client: HRI Properties

Drawing Title:

EXISTING CONDITIONS AND DEMOLITION PLAN

Scale: 1" = 10'

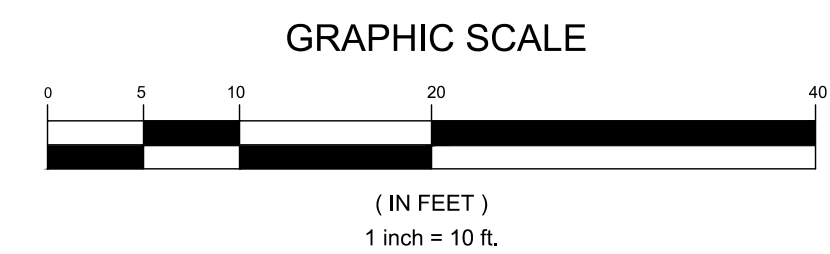
Drawing Number:

C061

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PITTSBURGH: ONE DOUGHBOY SQUARE 3400 BUTLER STREET PITTSBURGH PENNSYLVANIA, 15201 TEL : 412. 683. 3230 FAX : 412. 683. 3563



The Gateway Engineers, Inc. Full-Service Civil Engineering & Surveying 100 McMorris Road Pittsburgh, PA 15205 www.gatewayengineers.com 412-921-4030

GATEWAY PROJECT #: C-19919 GATEWAY INDEX #: --

Construction Documents For The Arrott Building Hotel 401 & 407 Wood Street, Pittsburgh PA 15222

Seal: Conformed Set

Table with columns: Drawn By, Edited By, Checked By. Values: Author, Designer, Checker.

Revisions table with columns: Revision, Date, Description. Includes revisions 1, 2, and 3.

Date: 06.14.2019

Project Number: 4506

Client: HRI Properties

Drawing Title: SITE AND GRADING PLAN

Scale: 1"=10'

Drawing Number: C100

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GRADING LEGEND

Table with 2 columns: Symbol, Description. Symbol: X-000.00, Description: PROPOSED SPOT GRADE

SPOT GRADE ABBREVIATIONS

Table with 2 columns: Abbreviation, Description. Includes TS (TOP STEP), BS (BOTTOM STEP), TC/BC (TOP CURB/ BOTTOM CURB), etc.

GRADING PLAN NOTES:

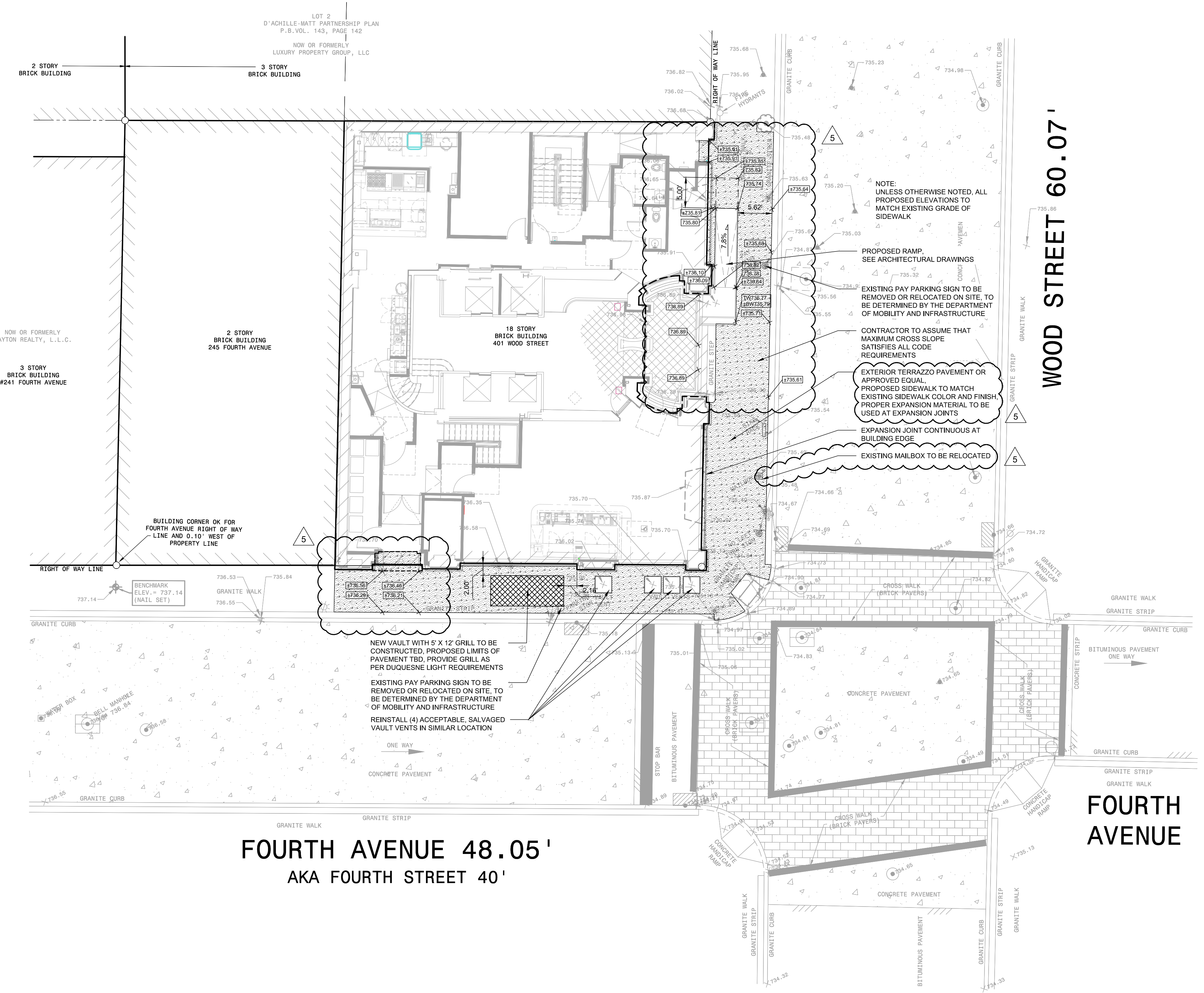
- 1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY THE GATEWAY ENGINEERS, INC. THE CURRENT REQUIREMENTS OF THE CITY AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
2. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-594), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.

SITE LEGEND

Table with 2 columns: Symbol, Description. Symbol: 1/C600, Description: PROPOSED SIDEWALK. Symbol: S, Description: PROPOSED SIGN

SITE PLAN NOTES:

- 1. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY ENTRANCES, BUILDING DIMENSIONS, ROOF LEADERS, EXIT DOORS, EXIT RAMPS AND PORCHES.
2. ALL DIMENSIONS ARE TO BUILDING FACE, FACE OF CURB OR EDGE OF SIDEWALK UNLESS NOTED OTHERWISE.
3. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.



FOURTH AVENUE 48.05' AKA FOURTH STREET 40'

WOOD STREET 60.07'

FOURTH AVENUE

811 logo with text 'Know what's below. Call before you dig.' and a graphic scale bar showing 0 to 40 feet.



DESMONE ARCHITECTS

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GATEWAY PROJECT #: C-19919 GATEWAY INDEX #: --

Construction Documents For The Arrott Building Hotel 401 & 407 Wood Street, Pittsburgh PA 15222

Seal: Conformed Set



Drawn By: Author Edited By: Designer Checked By: Checker

Revisions: 1. 02.07.19 Bid Set Add. 1 2. 02.15.19 Bid Set Add. 2 3. 6.14.19 Conformed Set

Date: 06.14.2019

Project Number: 4506

Client: HRI Properties

Drawing Title: UTILITY PLAN

Scale: 1"=10'

Drawing Number: C300

C300

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UTILITY LEGEND

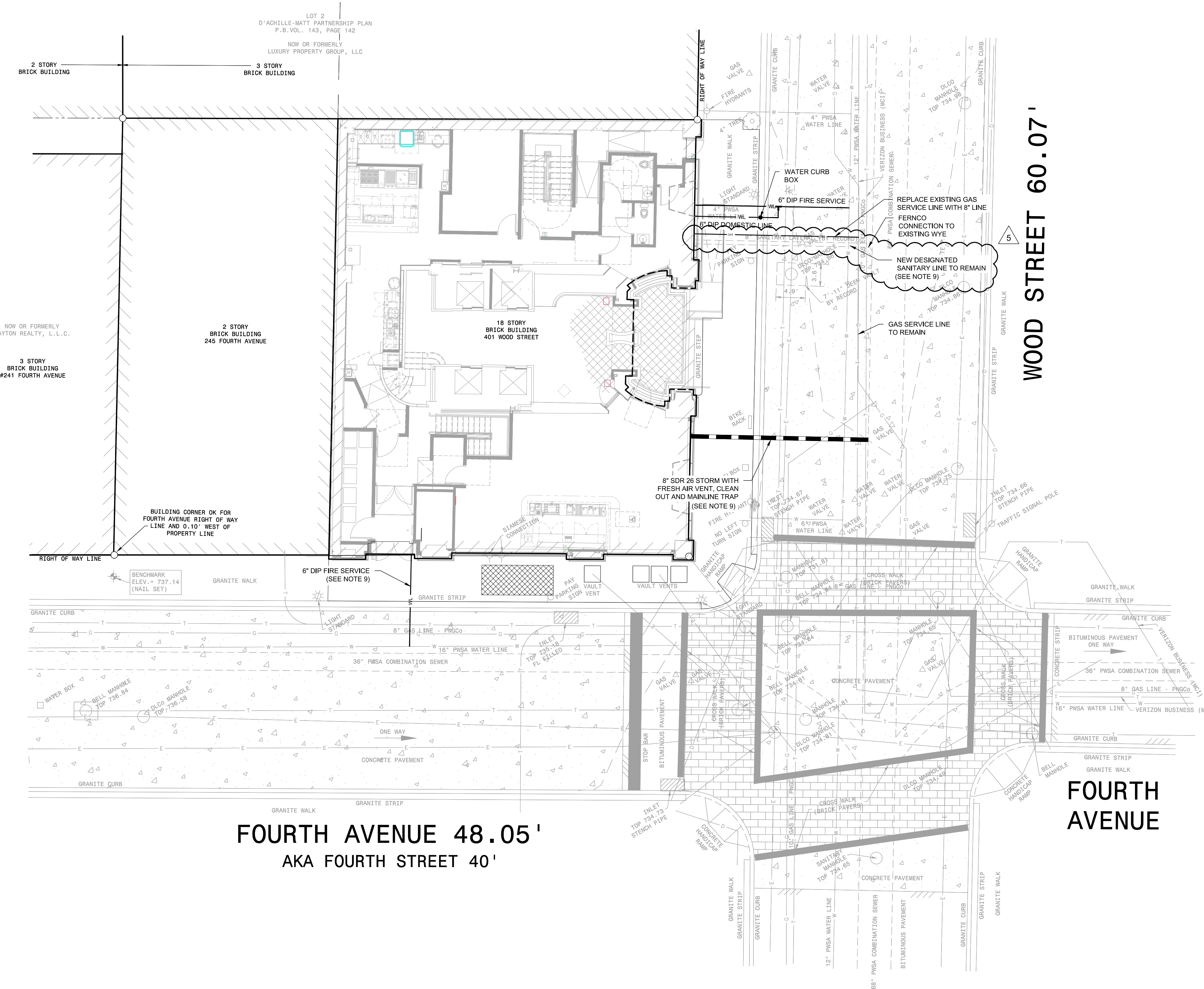
Table with 2 columns: Symbol and Description. Includes Proposed Sanitary Lateral, Proposed Storm Line, Proposed Water Line, and Proposed Water Lateral.

UTILITY ABBREVIATIONS

Table with 2 columns: Abbreviation and Full Name. Includes STM, SAN, MH, OS, CO, RD, HW, EW and their corresponding utility names.

SITE PLAN NOTES:

- 1. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY ENTRANCES, BUILDING DIMENSIONS, ROOF LEADERS, EXIT DOORS, EXIT RAMPS AND PORCHES.
2. ALL DIMENSIONS ARE TO BUILDING FACE, FACE OF CURB OR EDGE OF SIDEWALK UNLESS NOTED OTHERWISE.
3. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
4. LABELED DIMENSIONS OVERRIDE SCALED DIMENSIONS.
5. ALL NEW MATERIALS AND CONSTRUCTION METHODS MUST MEET PADOT PUBLICATION 408 STANDARDS.
6. CONTRACTOR TO WORK AROUND EXISTING UTILITIES, IF ADJUSTMENTS ARE NECESSARY, WORK WILL BE CONSIDERED INCIDENTAL.
7. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE NECESSARY SAFETY MEASURES TO SECURE THE SITE DURING CONSTRUCTION ACTIVITIES.
8. THE GATEWAY ENGINEERS, INC. IS NOT RESPONSIBLE TO INSPECT PROJECT SITES TO ENSURE COMPLIANCE WITH OCCUPATIONAL SAFETY HEALTH ADMINISTRATION (OSHA) STANDARDS.
9. WATER AND SEWER SERVICE INSTALLATION AND CONNECTIONS INTO PWSA MAINS TO BE DONE IN ACCORDANCE WITH APPROVED PWSA TAP CONNECTION/TERMINATION PLANS.
10. RESTORATION OF SIDEWALKS AND ROADWAY TO BE DONE IN ACCORDANCE WITH CITY OF PITTSBURGH DOMI SPECIFICATIONS.

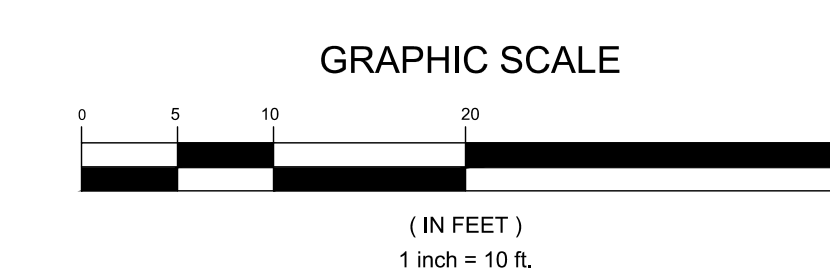


FOURTH AVENUE 48.05' AKA FOURTH STREET 40'

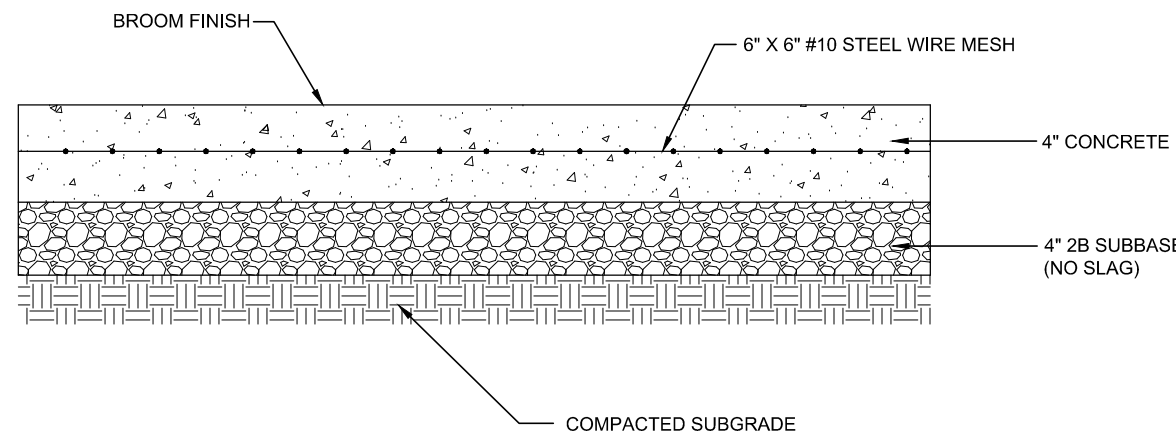
WOOD STREET 60.07'



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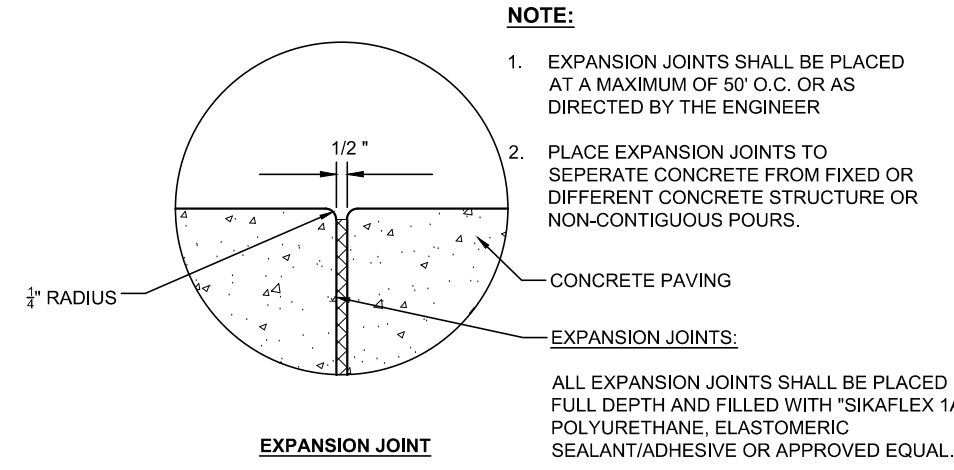


NOTE: SIDEWALK TO BE TERRAZZO OR APPROVED EQUAL.
SIDEWALK TO MATCH COLOR AND FINISH OF EXISTING SIDEWALK

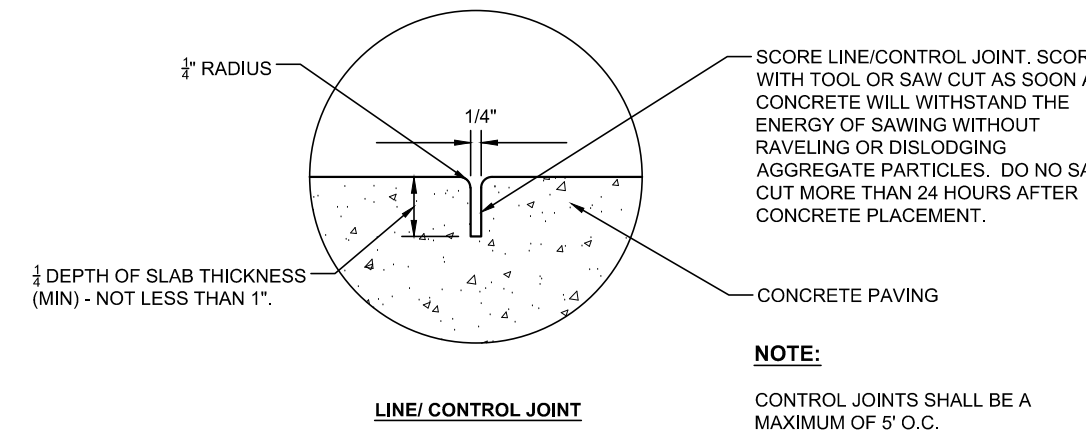


- NOTE:**
- CONTRACTOR SHALL PLACE A TOOLED JOINT AT EVERY 5' O.C.
 - THE CONCRETE SHALL BE TREATED WITH A TWO-COAT APPLICATION OF SEALTIGHT CS-309-25, OR APPROVED EQUAL. AFTER 7 DAYS, THE CONCRETE SHALL BE TREATED WITH SEALTIGHT T1AH OR APPROVED EQUAL. THE TEMPERATURE FOR APPLICATION TO THE CONCRETE SURFACE MUST 40° F RISING.

1	4" THICK SIDEWALK PAVEMENT
C600	

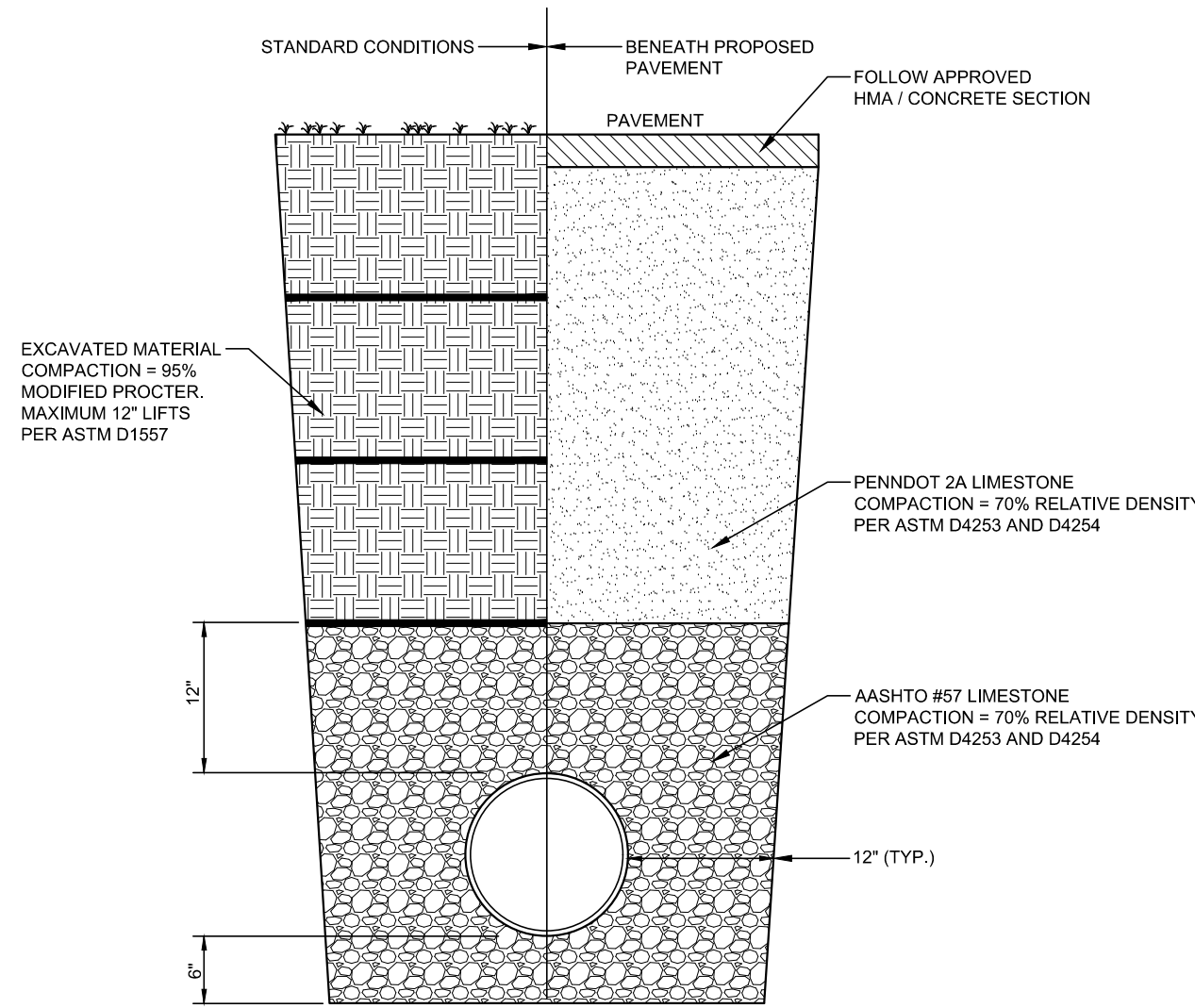


- NOTE:**
- EXPANSION JOINTS SHALL BE PLACED AT A MAXIMUM OF 50' O.C. OR AS DIRECTED BY THE ENGINEER
 - PLACE EXPANSION JOINTS TO SEPERATE CONCRETE FROM FIXED OR DIFFERENT CONCRETE STRUCTURE OR NON-CONTIGUOUS POURS.
- EXPANSION JOINTS:**
ALL EXPANSION JOINTS SHALL BE PLACED FULL DEPTH AND FILLED WITH "SIKAFLEX 1A POLYURETHANE, ELASTOMERIC SEALANT/ADHESIVE OR APPROVED EQUAL."



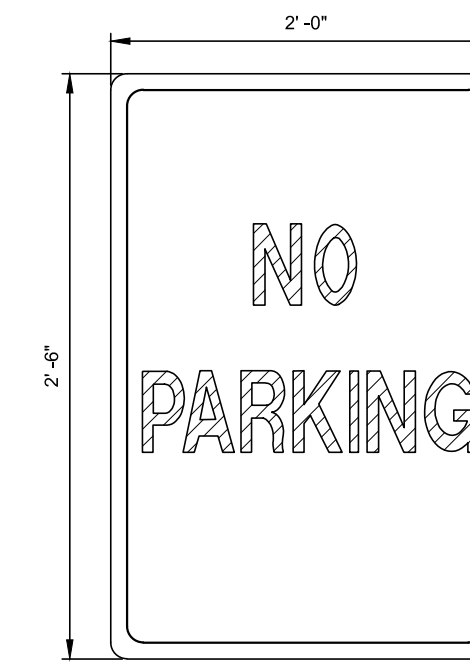
- NOTE:**
CONTROL JOINTS SHALL BE A MAXIMUM OF 5' O.C.

2	CONCRETE EXPANSION/SCORE LINE/ CONTROL
C600	

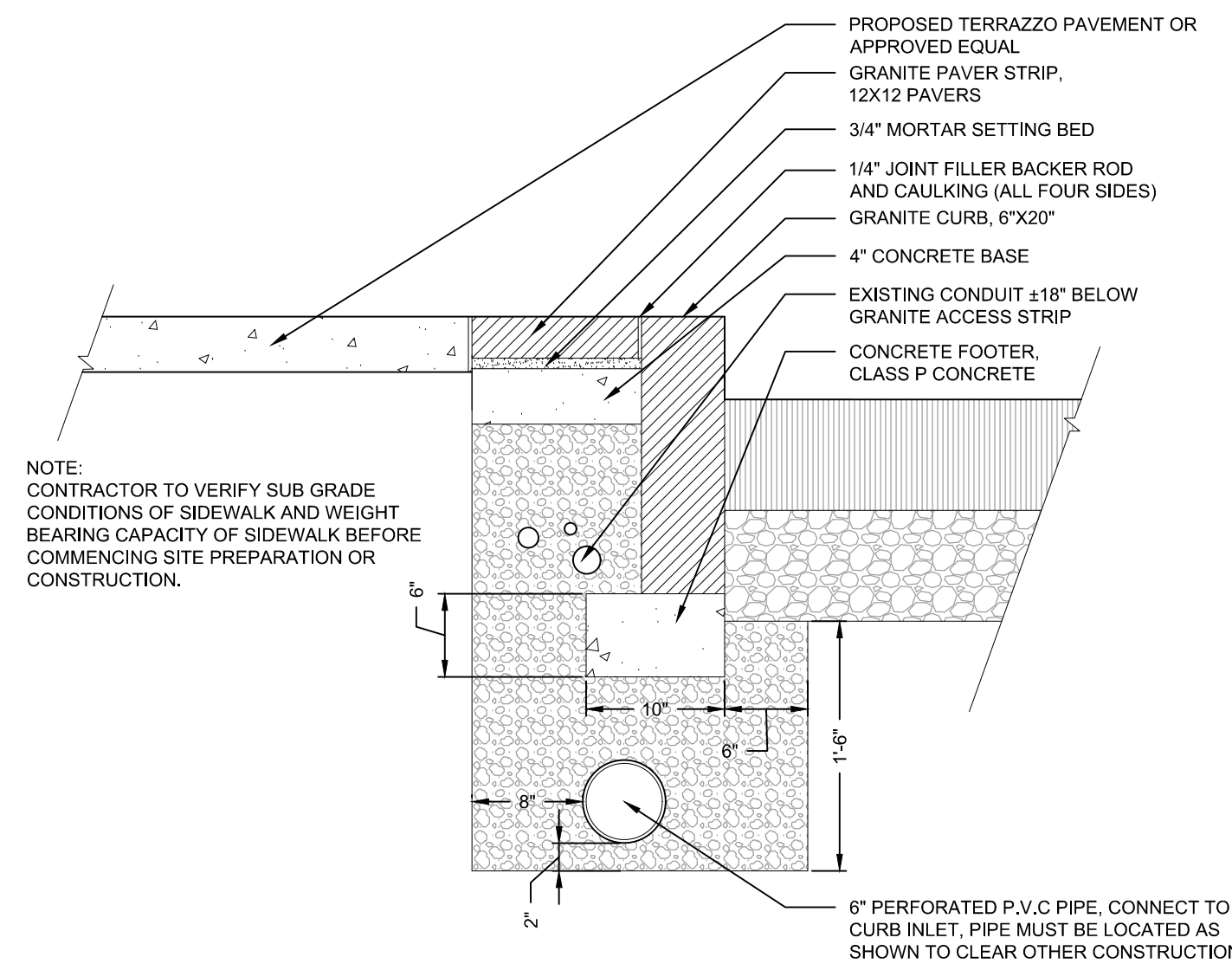
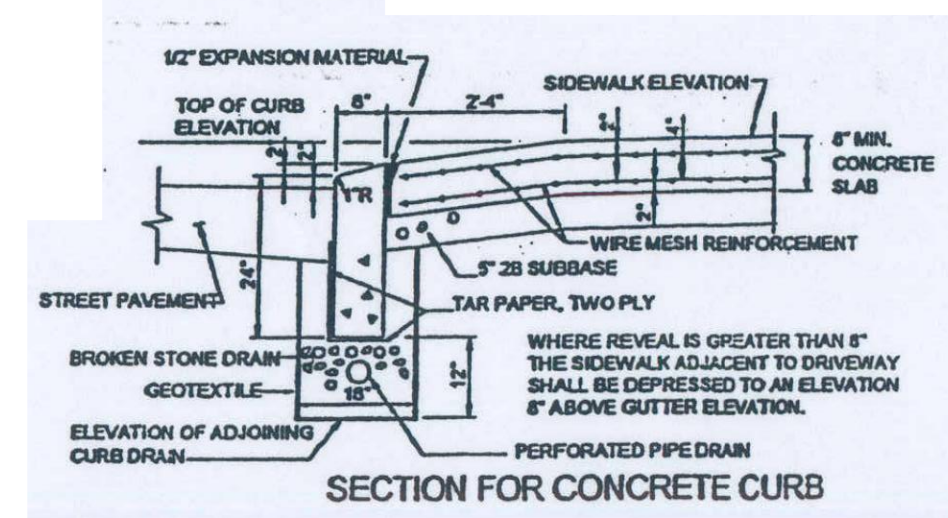
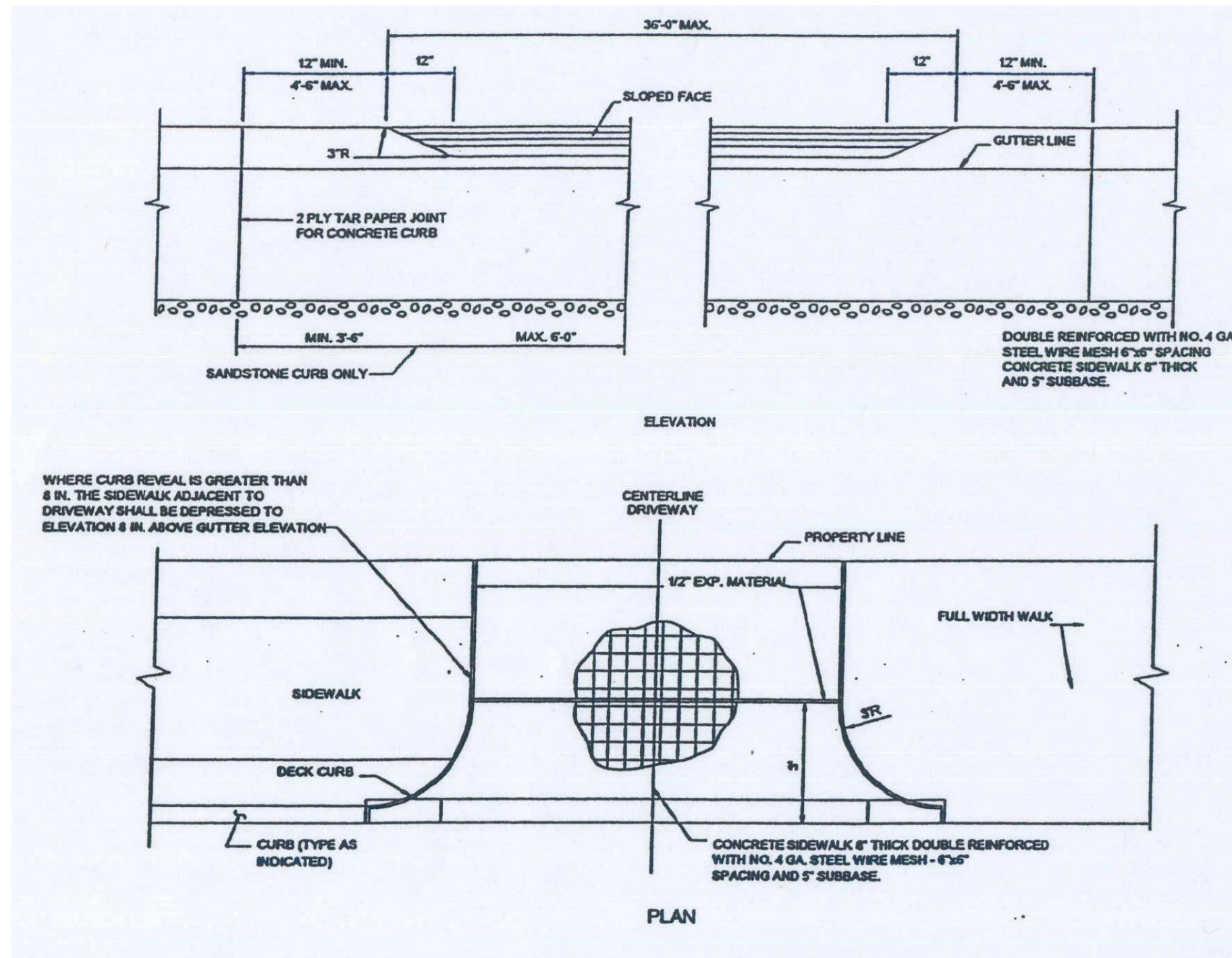


- NOTE:**
1. FOLLOW PIPE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS FOR TRENCH WIDTH IF GREATER THAN DETAIL.

3	UNDERGROUND PIPE OR CONDUIT BACKFILL
C600	



4	NO PARKING SIGN
C600	



6	GRANITE CURB AND ACCESS PAVER STRIP
C600	

NOTE: DETAIL PROVIDED IF DEPRESSED CURB IS APPROVED FOR CONSTRUCTION. OTHERWISE DISREGARD DETAIL 5/C600.

5	COMMERCIAL GRADE CURB CUT
C600	



Drawn By:	Edited By:	Checked By:
Author	Designer	Checker

- Revisions:**
- 1 02.07.19 Bid Set Add. 1
 - 2 02.15.19 Bid Set Add. 2
 - 3 6.14.19 Conformed Set

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06.14.2019

Project Number:
4506

Client:
HRI Properties

Drawing Title:
DETAILS

Scale: **NTS**
Drawing Number:

C600



Google

Image capture: Nov 2020



Janice Saltzman
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MOBILE 412.580.9744
jsaltzman@peoples-gas.com

June 9, 2021

Karina Ricks, Director
Department of Mobility and Infrastructure
City of Pittsburgh
611 Second Avenue
Pittsburgh, PA 15219

RE: Encroachment in Public Right of Way
405 Wood Street
Block/Lot 1-H-188
1st Ward, City of Pittsburgh

Dear Ms. Ricks:

This letter is in response to a request that Peoples Natural Gas Company (Peoples) received from Desmone Architects for a proposed emergency generator exhaust pipe to be constructed in a portion of the public right of way at 405 Wood Street.

Based on the drawings provided to Peoples, the proposed encroachment does not interfere with our gas facilities in this area. Peoples has no objection to this encroachment.

Sincerely,

Janice Saltzman
Land Department