

**PROJECT NARRATIVE
2700 PENN AVE RESIDENTIAL DEVELOPMENT
2700 PENN AVENUE
6TH WARD, CITY OF PITTSBURGH
ALLEGHENY COUNTY, PENNSYLVANIA**

**Prepared for:
2700 PENN AVE PARTNERS
110 DENNISON AVE
COLUMBUS, OHIO 43201**

Prepared by:
**KU RESOURCES, INC.
22 SOUTH LINDEN STREET
DUQUESNE, PENNSYLVANIA 15110**

JANUARY 2024

DESCRIPTION OF PROPOSED DEVELOPMENT

2700 Penn Ave Partners, is developing a lot at parcel number 25-K-261 located in the 6th Ward of the City of Pittsburgh, Allegheny County, Pennsylvania. The proposed development will include construction of a new townhouse building upon demolition of a portion of an existing structure located at 2700 Penn Avenue. The existing building to be demolished was most previously used as a commercial canvas shop. The new building will be comprised of five (5) attached, residential units.

According to the Federal Emergency Management Agency, the site is not within a floodway. The existing utilities include a 12-inch water line along Penn Avenue, a 6" water line along 27th street, and a 48" combination line in Penn Avenue.

EXISTING SANITARY FLOWS

Given that the portion of the building to be repurposed for the construction of the new 5-unit residential will be razed, no existing (credit flows) are available.

PROPOSED SANITARY DESIGN

PA DEP Code Chapter 73.17 indicates that for single family residential the effluent sanitary flows are 400 gpd/unit.

Effluent will ultimately be sent to the Allegheny County Sanitation Authority (ALCOSAN). See the attached Pittsburgh Water and Sewer Authority (PWSA) Sewer System map with the route to ALCOSAN highlighted.

PLANNING MODULE CALCULATIONS

Total Sanitary: 2,000 GPD

5 Single Family units x 400 gpd/unit = 2,000 gpd

Net flows = Proposed Flows – Existing flows = 2,000 gpd – 0 gpd = **2,000 gpd = 5.0 EDU's**

Total Water: 2,000 GPD

Net flows = Proposed Flows – Existing flows = 2,000 gpd – 0 gpd = **2,000 gpd = 5.0 EDU's**

STORMWATER CONVEYANCE

Stormwater flow rate and quality will be managed via an underground stormwater detention system. Stormwater flows conveyed from the underground stormwater detention Stormwater will be routed via roof leader connections and tied into the existing combination system on within 5' of the existing combined sewer.

Pre-development Storm Flows:

Q = 0.41 cfs

Post-development Storm Flows:

Q = 0.33 cfs

A Stormwater Management Permit application has been submitted to the City of Pittsburgh and is currently under review.

ALTERNATIVE SEWAGE FACILITIES ANALYSIS

1. Describe the chosen disposal method, its location, the daily flow proposed and if the method is an interim method (to be replaced by the ultimate method in 5 years or less), or is an ultimate method (to serve the development in the long term, for 5 years or more). Provide a description of how the chosen method will provide compliance with effluent limitations. Also provide the number of lots or EDU's that will be served.

ALCOSAN Treatment Facility. Credit for previous flows have not been considered, therefore there are 5 new EDUs.

2. Describe the types of land uses adjacent to the project area (Agricultural, Residential, Commercial etc.) and the type of sewage disposal method serving each of those land uses. Properties adjacent to the project must be described by indicating present land uses and zoning designations. Describe the sewage disposal methods being used for each of those adjacent land uses (onlot, municipal treatment, etc.) and if those methods are intended for interim or ultimate use.

The adjacent land uses are commercial. Sanitary flows from the existing location ultimately flow into the same interceptor.

3. Indicate if the sewage facilities described in (2) are in need of improvement due to noncompliance with effluent limitations, high rates of on-lot malfunction or overloaded public sewers. Is there a potential for a combined public/private project?

Adjacent infrastructure is new. No potential for combined public/private project.

4. Determine and indicate what sewage disposal method is proposed for the development area in the municipality's Official Sewage Facilities Plan (such as: on-lot disposal systems, public sewers, etc.).

Public sewers (ALCOSAN).

5. Describe any existing sewage management program(s) in the area, and/or any sewage management program(s) that this project would be required to participate in, and that program's requirements.

ALCOSAN's Wet Weather Plan (WWP).

6. Describe any potential alternative sewage disposal methods that are available for the project. Consider all reasonable possibilities for sewage disposal, such as a stream discharge or an alternate method of land disposal. The municipality, delegated local agency or DEP may also

require consideration of particular types of sewage disposal methods in the analysis. The chosen method must assure that applicable water quality standards are attained.

None.

7. Describe why the proposed method was chosen over any of the other methods described in the alternatives analysis. Environmental, administrative, and financial concerns may be addressed. Also indicate how the chosen method will guarantee adequate sewage disposal, including compliance with applicable water quality standards and effluent limitations, for the development in both the short-term (up to 5 years) and long-term (beyond 5 years) by describing the adequacy of the proposed facilities (organic and hydraulic loading) and the ability of the facility to accept additional flows or loads.

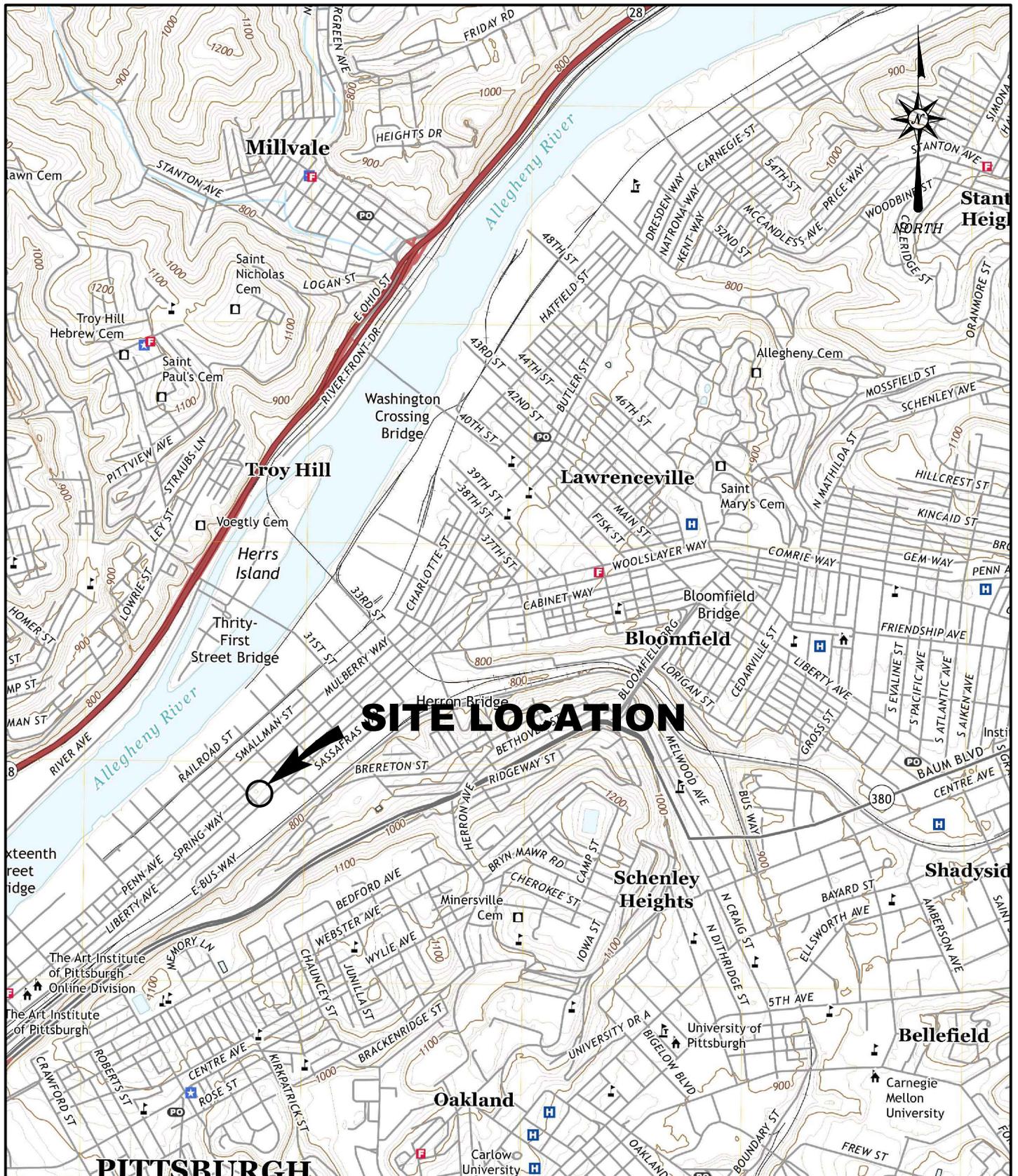
NA

8. Indicate who will be the owner of the facility, and who will be responsible for operation and maintenance of the facility and ultimately compliance with applicable water quality standards and effluent limitations.

Public sewers (ALCOSAN).

9. Finally, the applicant may use the narrative to describe any special considerations or provide any additional information that supports the choice of disposal method. The alternatives analysis must be attached to the planning module package for review by the municipality and approving agency.

NA



REFERENCE:
 USGS 7.5-MIN TOPOGRAPHIC
 QUADRANGLE PITTSBURGH - EAST,
 PENNSYLVANIA, DATED AUGUST 2019.



FIGURE 1

SITE LOCATION MAP
 2700 PENN AVE DEVELOPMENT
 CITY OF PITTSBURGH - 6TH WARD
 ALLEGHENY COUNTY, PENNSYLVANIA

PREPARED FOR
 2700 PENN AVE PARTNERS
 COLUMBUS, OHIO

APPROVED	APB 10/06/2023
CHECKED	APB 10/06/2023
DRAWN	APB 10/06/2023
CAD FILE NO.	
PROJECT NO.	PAP23319PARD



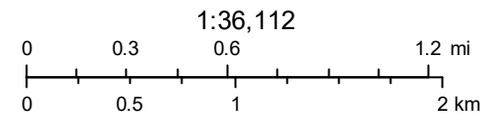
KU Resources, Inc.
 22 South Linden Street
 Duquesne, PA 15110
 412.469.9331
 412.469.9336 fax
www.kuresources.com

3RWW Sewer Atlas



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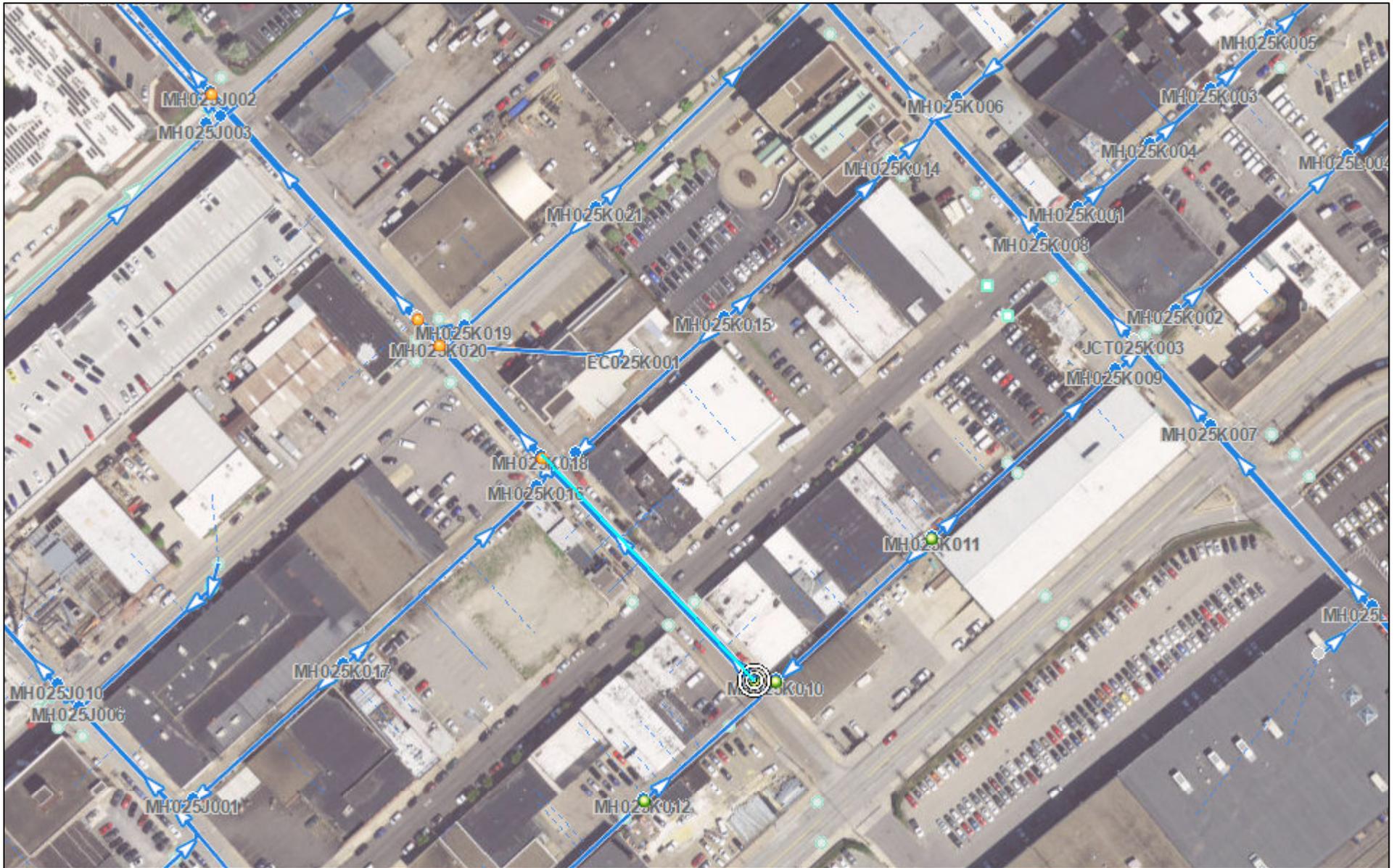
-  ALCOSAN Service Area
- Municipalities in the ALCOSAN Service Area**
-  Pipes (unknown width)
- Wastewater | Discharge Points**
-  Override 1
-  Override 1
-  Flow Direction



3 Rivers Wet Weather

3 Rivers Wet Weather

3RWW Sewer Atlas



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 ALCOSAN Service Area

Municipalities in the ALCOSAN Service Area

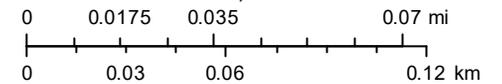
Wastewater | Manholes and Other Structures

Override 1

-  Manhole
-  (Missing Type)

 Wastewater | Virtual Laterals

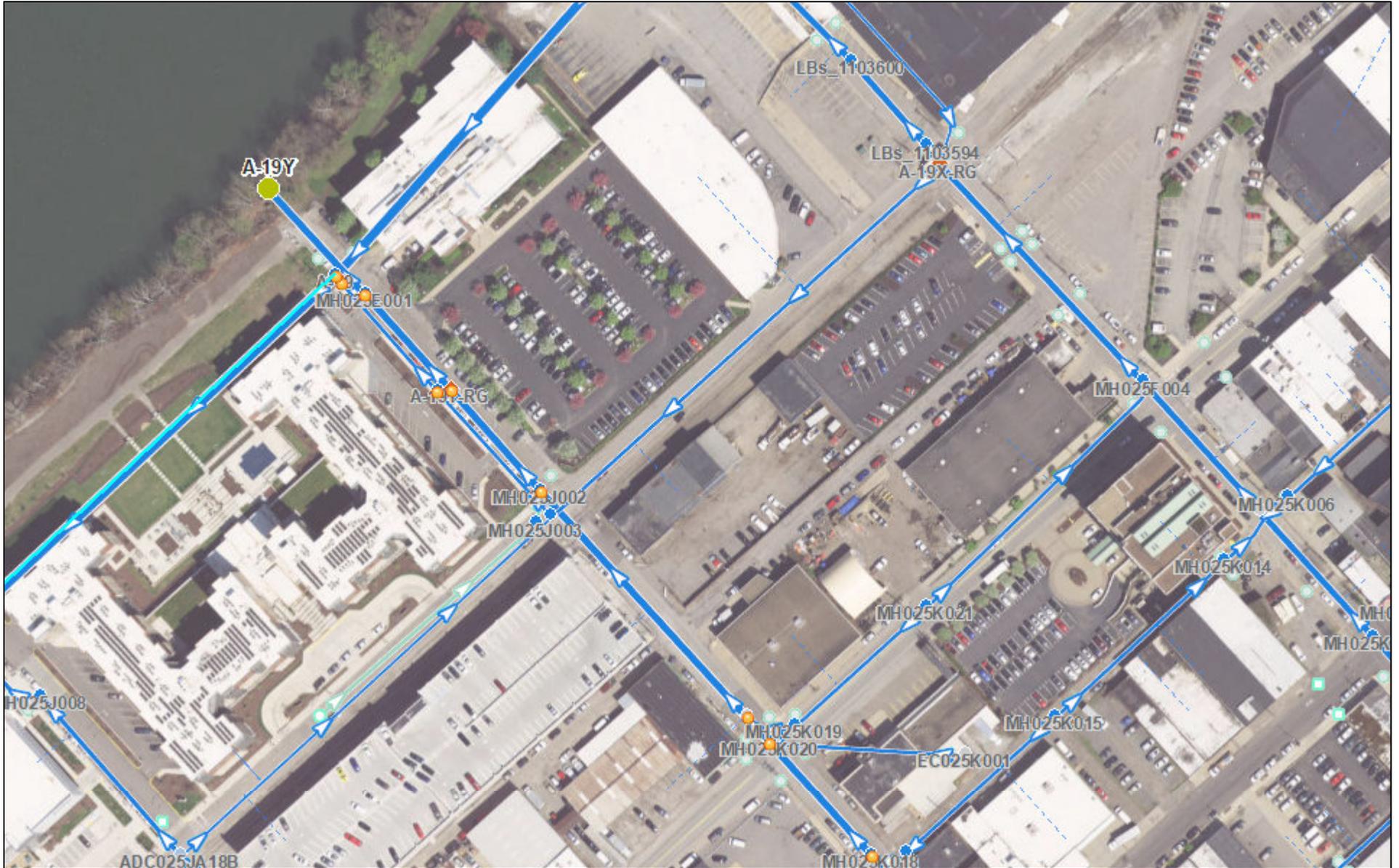
1:2,257



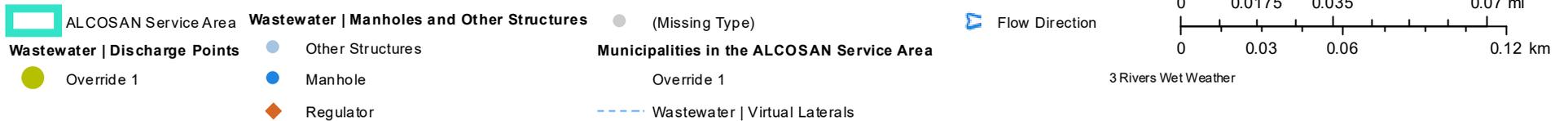
3 Rivers Wet Weather

3 Rivers Wet Weather

3RWW Sewer Atlas



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3 Rivers Wet Weather

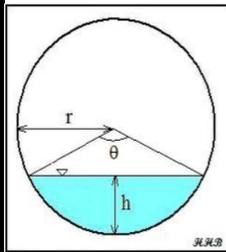
3 Rivers Wet Weather

Sewage Facilities Planning Module
Chapter 94 Consistency Determination
Hydraulic Calculations Spreadsheet for Peak Flow Depth Measurements

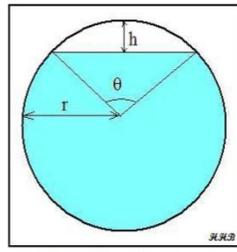
PROJECT NAME: 2700 Penn Avenue
PWSA PROJECT NUMBER:
PWSA REVIEWER:
DATE: March 21, 2024

LEGEND: Input Data Output Data

Section A: Manning Equation for Partially Filled Pipes



Partially Full Pipe Flow Parameters
(Less Than Half Full)



Partially Full Pipe Flow Parameters
(More Than Half Full)

Variable	Units	Description
Q	ft ³	Volumetric flowrate
n	Unitless	Manning Roughness Coeff.
A	ft ²	Cross-Sectional Area of Flow
R	ft	Hydraulic Radius
S	ft/ft	Slope of Hydraulic Grade Line
P	ft	Wetted Perimeter of "A"
r	ft	Radius
h	ft	Depth of Flow or Headspace
θ	radians	Central Angle

$$Q = \left(\frac{1.49}{n}\right) \times A \times R^{2/3} \times S^{1/2} \qquad R = \frac{A}{P} \qquad \theta = 2 \times \cos^{-1} \left(\frac{r-h}{r}\right)$$

$$A_{<50\% Full} = \frac{r^2(\theta - \sin \theta)}{2} \qquad \text{OR} \qquad A_{>50\% Full} = \pi \times r^2 \times \frac{r^2(\theta - \sin \theta)}{2}$$

$$P_{<50\% Full} = r \times \theta \qquad P_{>50\% Full} = (2 \times \pi \times r) - (r \times \theta)$$

Section B: Data for Calculations

Peaking Factor, P.F.	
Sanitary Sewers	3
Combined Sewers	3.5

Proposed Project Flows		
Variable	Value	Units
Q _p	2,000	gpd

Variable	Value	Units
Material	Brick	
n	0.016	unitless
S	0.009	ft/ft
h	0.250	ft
D	4.00	ft
P.F.	3.5	unitless

Section C: Calculations for Design and/or Permitted Capacities

Variable	Description	Definition
Q _{d, avg}	Design Capacity, Average	= full pipe flow conditions / peaking factor
Q _{d, peak}	Design Capacity, Peak	full pipe flow conditions

Design Capacity, Average

Design Capacity, Peak

Variable	Value	Unit
Q _{d, avg}	20,040,236	gpd

Variable	Value	Unit
D	4.000	ft
r	2.000	ft
A	12.566	ft ²
P	12.566	ft
R	1.000	ft
Q _{d, peak}	109	cfs
Q _{d, peak}	70,140,826	gpd

Section D: Calculations for Present Flows

Variable	Description	Definition
Q _{ex, avg}	Present Flows, Average	= Q _{ex, peak} / P.F.
Q _{ex, peak}	Present Flows, Peak	existing flow conditions per site investigations

Present Flows, Average		
Variable	Value	Unit
Q _{ex, avg}	154,831	gpd

Present Flows, Peak		
Variable	Value	Unit
D	4.000	ft
r	2.000	ft
θ	1.01	rad
h/D	0.0625	ft/ft
A	0.33	ft ²
P	2.02	ft
R	0.162	ft
Q _{ex, peak}	1	cfs
Q _{ex, peak}	541,908	gpd

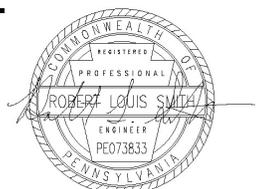
Section E: Calculations for Projected Flows in Five (5) Years

Variable	Description	Definition
Q _{proj, avg}	Projected Flows in Five (5) Years, Average	= Q _{proj, peak} ÷ P.F.
Q _{proj, peak}	Projected Flows in Five (5) Years, Peak	= (Q _{ex, peak} + Q _p) x 1.05

Projected Flow Calculations		
Variable	Value	Unit
Q _{proj, avg}	163,173	gpd
Q _{proj, peak}	571,104	gpd

Section F: Compare Results with Applicant's Submission

Variable	PWSA, gpd	Applicant, gpd	Difference, gpd	Difference, %
Q _{d, avg}	20,040,236		20,040,236	100%
Q _{d, peak}	70,140,826		70,140,826	100%
Q _{ex, avg}	154,831		154,831	100%
Q _{ex, peak}	541,908		541,908	100%
Q _{proj, avg}	163,173		163,173	100%
Q _{proj, peak}	571,104		571,104	100%



Adam Ballish

From: William Spanbauer
Sent: Thursday, March 21, 2024 9:34 AM
To: Adam Ballish
Subject: RE: Manhole Flow Depth Measurements

Inv. 14.85
Depth of water / time
0.15 /7:00
0.25 /7:15
0.21 /7:30
0.22 /7:45
0.20 /8:00

Let me know if you need anything else

Code No.



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF POINT AND NON-POINT SOURCE MANAGEMENT

SEWAGE FACILITIES PLANNING MODULE

Component 3. Sewage Collection and Treatment Facilities

(Return completed module package to appropriate municipality)

DEP USE ONLY				
DEP CODE #	CLIENT ID #	SITE ID #	APS ID #	AUTH ID #

This planning module component is used to fulfill the planning requirements of Act 537 for the following types of projects: (1) a subdivision to be served by sewage collection, conveyance or treatment facilities, (2) a tap-in to an existing collection system with flows on a lot of 2 EDU's or more, or (3) the construction of, or modification to, wastewater collection, conveyance or treatment facilities that will require DEP to issue or modify a Clean Streams Law permit. Planning for any project that will require DEP to issue or modify a permit cannot be processed by a delegated agency. Delegated agencies must send their projects to DEP for final planning approval.

This component, along with any other documents specified in the cover letter, must be completed and submitted to the municipality with jurisdiction over the project site for review and approval. All required documentation must be attached for the Sewage Facilities Planning Module to be complete. Refer to the instructions for help in completing this component.

REVIEW FEES: Amendments to the Sewage Facilities Act established fees to be paid by the developer for review of planning modules for land development. These fees may vary depending on the approving agency for the project (DEP or delegated local agency). Please see section R and the instructions for more information on these fees.

NOTE: All projects must complete Sections A through I, and Sections O through R. Complete Sections J, K, L, M and/or N if applicable or marked .

A. PROJECT INFORMATION (See Section A of instructions)

1. Project Name Penn Ave Residential Development

2. Brief Project Description Single Family Residences

B. CLIENT (MUNICIPALITY) INFORMATION (See Section B of instructions)

Municipality Name	County	City	Boro	Twp
City of Pittsburgh	Allegheny	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Municipality Contact Individual - Last Name	First Name	MI	Suffix	Title
Prendagrast	Kyla			Senior Environmental Planner
Additional Individual Last Name	First Name	MI	Suffix	Title
Municipality Mailing Address Line 1		Mailing Address Line 2		
Department of City Planning		200 Ross St. 4 th Floor		
Address Last Line -- City		State	ZIP+4	
Pittsburgh		PA	15219-2014	
Area Code + Phone + Ext.	FAX (optional)	Email (optional)		

C. SITE INFORMATION (See Section C of instructions)

Site (Land Development or Project) Name

Penn Ave Residential Development

Site Location Line 1

2700 Penn Ave

Site Location Line 2

Site Location Last Line -- City

Pittsburgh

State

PA

ZIP+4

15222

Latitude

40.455786

Longitude

-79.976681

Detailed Written Directions to Site

Description of Site Existing building on corner of Penn Ave and 27th Street

Site Contact (Developer/Owner)

Last Name

Sirkin

First Name

Gabe

MI

Suffix

Phone

919-980-93185

Ext.

Site Contact Title

Site Contact Firm (if none, leave blank)

2700 Penn Ave Partners

FAX

Email

gabe@solomanaquisitions.com

Mailing Address Line 1

101 Dennison Ave

Mailing Address Line 2

Mailing Address Last Line -- City

Columbus

State

OH

ZIP+4

43201

D. PROJECT CONSULTANT INFORMATION (See Section D of instructions)

Last Name

Ballish

First Name

Adam

MI

Suffix

Title

Engineer

Consulting Firm Name

KU Resources, Inc

Mailing Address Line 1

22 South Linden Street

Mailing Address Line 2

Address Last Line -- City

Duquesne

State

PA

ZIP+4

15110-1091

Country

USA

Email

aballish@kuresources.com

Area Code + Phone

412-469-9331

Ext.

Area Code + FAX

E. AVAILABILITY OF DRINKING WATER SUPPLY

The project will be provided with drinking water from the following source: (Check appropriate box)

- Individual wells or cisterns.
- A proposed public water supply.
- An existing public water supply.

If existing public water supply is to be used, provide the name of the water company and attach documentation from the water company stating that it will serve the project.

Name of water company: PWSA

F. PROJECT NARRATIVE (See Section F of instructions)

- A narrative has been prepared as described in Section F of the instructions and is attached.

The applicant may choose to include additional information beyond that required by Section F of the instructions.

G. PROPOSED WASTEWATER DISPOSAL FACILITIES (See Section G of instructions)

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter 93 (relating to wastewater treatment requirements).

1. COLLECTION SYSTEM

a. Check appropriate box concerning collection system

- New collection system Pump Station Force Main
 Grinder pump(s) Extension to existing collection system Expansion of existing facility

Clean Streams Law Permit Number _____

b. Answer questions below on collection system

Number of EDU's and proposed connections to be served by collection system. EDU's 5

Connections 1

Name of:

existing collection or conveyance system Penn Ave - 48"

owner Pittsburgh Water and Sewer Authority

existing interceptor Allegheny Interceptor

owner ALCOSAN

2. WASTEWATER TREATMENT FACILITY

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter(s) 91 (relating to general provisions), 92 (relating to national Pollution Discharge Elimination System permitting, monitoring and compliance) and 93 (relating to water quality standards).

a. Check appropriate box and provide requested information concerning the treatment facility

- New facility Existing facility Upgrade of existing facility Expansion of existing facility

Name of existing facility ALCOSAN Woods Run WWTP

NPDES Permit Number for existing facility 25984

Clean Streams Law Permit Number _____

Location of discharge point for a new facility. Latitude _____ Longitude _____

b. The following certification statement must be completed and signed by the wastewater treatment facility permittee or their representative.

As an authorized representative of the permittee, I confirm that the ALCOSAN Woods Run (Name from above) sewage treatment facilities can accept sewage flows from this project without adversely affecting the facility's ability to achieve all applicable technology and water quality based effluent limits (see Section I) and conditions contained in the NPDES permit identified above.

Name of Permittee Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent Joe Fedor

Agent Signature Joe Fedor Date 4-11-24

(Also see Section I. 4.)

G. PROPOSED WASTEWATER DISPOSAL FACILITIES (Continued)

3. PLOT PLAN

The following information is to be submitted on a plot plan of the proposed subdivision.

- a. Existing and proposed buildings.
- b. Lot lines and lot sizes.
- c. Adjacent lots.
- d. Remainder of tract.
- e. Existing and proposed sewerage facilities. Plot location of discharge point, land application field, spray field, COLDS, or LVCOLDS if a new facility is proposed.
- f. Show tap-in or extension to the point of connection to existing collection system (if applicable).
- g. Existing and proposed water supplies and surface water (wells, springs, ponds, streams, etc.)
- h. Existing and proposed rights-of-way.
- i. Existing and proposed buildings, streets, roadways, access roads, etc.
- j. Any designated recreational or open space area.
- k. Wetlands - from National Wetland Inventory Mapping and USGS Hydric Soils Mapping.
- l. Flood plains or Flood prone areas, floodways, (Federal Flood Insurance Mapping)
- m. Prime Agricultural Land.
- n. Any other facilities (pipelines, power lines, etc.)
- o. Orientation to north.
- p. Locations of all site testing activities (soil profile test pits, slope measurements, permeability test sites, background sampling, etc. (if applicable).
- q. Soils types and boundaries when a land based system is proposed.
- r. Topographic lines with elevations when a land based system is proposed

4. WETLAND PROTECTION

YES NO

- a. Are there wetlands in the project area? If yes, ensure these areas appear on the plot plan as shown in the mapping or through on-site delineation.
- b. Are there any construction activities (encroachments, or obstructions) proposed in, along, or through the wetlands? If yes, Identify any proposed encroachments on wetlands and identify whether a General Permit or a full encroachment permit will be required. If a full permit is required, address time and cost impacts on the project. Note that wetland encroachments should be avoided where feasible. Also note that a feasible alternative **MUST BE SELECTED** to an identified encroachment on an exceptional value wetland as defined in Chapter 105. Identify any project impacts on streams classified as HQ or EV and address impacts of the permitting requirements of said encroachments on the project.

5. PRIME AGRICULTURAL LAND PROTECTION

YES NO

- Will the project involve the disturbance of prime agricultural lands?
If yes, coordinate with local officials to resolve any conflicts with the local prime agricultural land protection program. The project must be consistent with such municipal programs before the sewage facilities planning module package may be submitted to DEP.
If no, prime agricultural land protection is not a factor to this project.
- Have prime agricultural land protection issues been settled?

6. HISTORIC PRESERVATION ACT

YES NO

- Sufficient documentation is attached to confirm that this project is consistent with DEP Technical Guidance 012-0700-001 *Implementation of the PA State History Code* (available online at the DEP website at www.dep.state.pa.us, select "subject" then select "technical guidance"). As a minimum this includes copies of the completed Cultural Resources Notice

(CRN), a return receipt for its submission to the PHMC and the PHMC review letter.

7. PROTECTION OF RARE, ENDANGERED OR THREATENED SPECIES

Check one:

- The "Pennsylvania Natural Diversity Inventory (PNDI) Project Environmental Review Receipt" resulting from my search of the PNDI database and all supporting documentation from jurisdictional agencies (when necessary) is/are attached.
- A completed "Pennsylvania Natural Diversity Inventory (PNDI) Project Planning & Environmental Review Form," (PNDI Form) available at www.naturalheritage.state.pa.us, and all required supporting documentation is attached. I request DEP staff to complete the required PNDI search for my project. I realize that my planning module will be considered incomplete upon submission to the Department and that the DEP review will not begin, and that processing of my planning module will be delayed, until a "PNDI Project Environmental Review Receipt" and all supporting documentation from jurisdictional agencies (when necessary) is/are received by DEP.

Applicant or Consultant Initials APB.

H. ALTERNATIVE SEWAGE FACILITIES ANALYSIS (See Section H of instructions)

- An alternative sewage facilities analysis has been prepared as described in Section H of the attached instructions and is attached to this component.
The applicant may choose to include additional information beyond that required by Section H of the attached instructions.

I. COMPLIANCE WITH WATER QUALITY STANDARDS AND EFFLUENT LIMITATIONS (See Section I of instructions) (Check and complete all that apply.)

1. Waters designated for Special Protection

- The proposed project will result in a new or increased discharge into special protection waters as identified in Title 25, Pennsylvania Code, Chapter 93. The Social or Economic Justification (SEJ) required by Section 93.4c. is attached.

2. Pennsylvania Waters Designated As Impaired

- The proposed project will result in a new or increased discharge of a pollutant into waters that DEP has identified as being impaired by that pollutant. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss water quality based discharge limitations.

3. Interstate and International Waters

- The proposed project will result in a new or increased discharge into interstate or international waters. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss effluent limitations necessary to meet the requirements of the interstate or international compact.

4. Tributaries To The Chesapeake Bay

- The proposed project result in a new or increased discharge of sewage into a tributary to the Chesapeake Bay. This proposal for a new sewage treatment facility or new flows to an existing facility includes total nitrogen and total phosphorus in the following amounts: _____ pounds of TN per year, and _____ pounds of TP per year. Based on the process design and effluent limits, the total nitrogen treatment capacity of the wastewater treatment facility is _____ pounds per year and the total phosphorus capacity is _____ pounds per year as determined by the wastewater treatment facility permittee. The permittee has determined that the additional TN and TP to be contributed by this project (as modified by credits and/or offsets to be provided) will not cause the discharge to exceed the annual total mass limits for these parameters. Documentation of compliance with nutrient allocations is attached.

Name of Permittee Agency, Authority, Municipality _____

Initials of Responsible Agent (See Section G 2.b) _____

See *Special Instructions* (Form 3800-FM-BPNPSM0353-1) for additional information on Chesapeake Bay watershed requirements.

J. CHAPTER 94 CONSISTENCY DETERMINATION (See Section J of instructions)

Projects that propose the use of existing municipal collection, conveyance or wastewater treatment facilities, or the construction of collection and conveyance facilities to be served by existing municipal wastewater treatment facilities must be consistent with the requirements of Title 25, Chapter 94 (relating to Municipal Wasteload Management). If not previously included in Section F, include a general map showing the path of the sewage to the treatment facility. If more than one municipality or authority will be affected by the project, please obtain the information required in this section for each. Additional sheets may be attached for this purpose.

1. Project Flows 2000 gpd
2. Total Sewage Flows to Facilities (pathway from point of origin through treatment plant)

When providing "treatment facilities" sewage flows, use Annual Average Daily Flow for "average" and Maximum Monthly Average Daily Flow for "peak" in all cases. For "peak flows" in "collection" and "conveyance" facilities, indicate whether these flows are "peak hourly flow" or "peak instantaneous flow" and how this figure was derived (i.e., metered, measured, estimated, etc.).

- a. Enter average and peak sewage flows for each proposed or existing facility as designed or permitted.
- b. Enter the average and peak sewage flows for the most restrictive sections of the existing sewage facilities.
- c. Enter the average and peak sewage flows, projected for 5 years (2 years for pump stations) through the most restrictive sections of the existing sewage facilities. Include existing, proposed (this project) and future project (other approved projects) flows.

To complete the table, refer to the instructions, Section J.

	a. Design and/or Permitted Capacity (gpd)		b. Present Flows (gpd)		c. Projected Flows in 5 years (gpd) (2 years for P.S.)	
	Average	Peak	Average	Peak	Average	Peak
Collection	20040236	70140826	154831	541908	163173	571104
Conveyance	717,000	717,000	31,000	34,000	35,400	38,400
Treatment	250,000,000	250,000,000	194,200,000	250,000,000	248,800,000	480,000,000

3. Collection and Conveyance Facilities

The questions below are to be answered by the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities. These questions should be answered in coordination with the latest Chapter 94 annual report and the above table. The individual(s) signing below must be legally authorized to make representation for the organization.

YES NO

- a. YES NO This project proposes sewer extensions or tap-ins. Will these actions create a hydraulic overload within five years on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until all inconsistencies with Chapter 94 are resolved or unless there is an approved Corrective Action Plan (CAP) granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the module package.

If no, a representative of the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not affect that status.

- b. Collection System

Name of Agency, Authority, Municipality Pittsburgh Water and Sewer Authority

Name of Responsible Agent Zach Rinker

Agent Signature Rinker Date _____

Digitally signed by Zach Rinker
DN: cn=Zach Rinker,
ou=Engineering
Date: 2024.04.02 14:28:46 -
04'00'

J. CHAPTER 94 CONSISTENCY DETERMINATION (See Section J of instructions)

c. Conveyance System

Name of Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent Joe Fedor

Agent Signature Joe Fedor

Date 4-11-24

4. Treatment Facility

The questions below are to be answered by a representative of the facility permittee in coordination with the information in the table and the latest Chapter 94 report. The individual signing below must be legally authorized to make representation for the organization.

YES NO

- a. This project proposes the use of an existing wastewater treatment plant for the disposal of sewage. Will this action create a hydraulic or organic overload within 5 years at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this inconsistency with Chapter 94 is resolved or unless there is an approved CAP granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the planning module.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not impact that status.

- b. Name of Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent Joe Fedor

Agent Signature Joe Fedor

Date 4-11-24

K. TREATMENT AND DISPOSAL OPTIONS (See Section K of instructions)

This section is for land development projects that propose construction of wastewater treatment facilities. Please note that, since these projects require permits issued by DEP, these projects may **NOT** receive final planning approval from a delegated local agency. Delegated local agencies must send these projects to DEP for final planning approval.

Check the appropriate box indicating the selected treatment and disposal option.

- 1. Spray irrigation (other than individual residential spray systems (IRSIS)) or other land application is proposed, and the information requested in Section K.1. of the planning module instructions are attached.
- 2. Recycle and reuse is proposed and the information requested in Section K-2 of the planning module instructions is attached.
- 3. A discharge to a dry stream channel is proposed, and the information requested in Section K.3. of the planning module instructions are attached.
- 4. A discharge to a perennial surface water body is proposed, and the information requested in Section K.4. of the planning module instructions are attached.

L. PERMEABILITY TESTING (See Section L of instructions)

- The information required in Section L of the instructions is attached.

M. PRELIMINARY HYDROGEOLOGIC STUDY (See Section M of instructions)

- The information required in Section M of the instructions is attached.

N. DETAILED HYDROGEOLOGIC STUDY (See Section N of instructions)

The detailed hydrogeologic information required in Section N. of the instructions is attached.

O. SEWAGE MANAGEMENT (See Section O of instructions)

(1-3 for completion by the developer(project sponser), 4-5 for completion by the non-municipal facility agent and 6 for completion by the municipality)

Yes No

1. Is connection to, or construction of, a DEP permitted, non-municipal sewage facility or a local agency permitted, community onlot sewage facility proposed.

If Yes, respond to the following questions, attach the supporting analysis, and an evaluation of the options available to assure long-term proper operation and maintenance of the proposed non-municipal facilities. If No, skip the remainder of Section O.

2. Project Flows 2000 gpd

Yes No

3. Is the use of nutrient credits or offsets a part of this project?

If yes, attach a letter of intent to purchase the necessary credits and describe the assurance that these credits and offsets will be available for the remaining design life of the non-municipal sewage facility;

(For completion by non-municipal facility agent)

4. Collection and Conveyance Facilities

The questions below are to be answered by the organization/individual responsible for the non-municipal collection and conveyance facilities. The individual(s) signing below must be legally authorized to make representation for the organization.

Yes No

- a. If this project proposes sewer extensions or tap-ins, will these actions create a hydraulic overload on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, a representative of the organization responsible for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with Chapter 71 §71.53(d)(3) and that this proposal will not affect that status.

- b. Collection System

Name of Responsible Organization _____

Name of Responsible Agent _____

Agent Signature _____

Date _____

- c. Conveyance System

Name of Responsible Organization _____

Name of Responsible Agent _____

Agent Signature _____

Date _____

5. Treatment Facility

The questions below are to be answered by a representative of the facility permittee. The individual signing below must be legally authorized to make representation for the organization.

Yes No

- a. If this project proposes the use of an existing non-municipal wastewater treatment plant for the disposal of sewage, will this action create a hydraulic or organic overload at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with §71.53(d)(3) and that this proposal will not impact that status.

- b. Name of Facility _____
Name of Responsible Agent _____
Agent Signature _____
Date _____

(For completion by the municipality)

6. The **SELECTED OPTION** necessary to assure long-term proper operation and maintenance of the proposed non-municipal facilities is clearly identified with documentation attached in the planning module package.

P. PUBLIC NOTIFICATION REQUIREMENT (See Section P of instructions)

This section must be completed to determine if the applicant will be required to publish facts about the project in a newspaper of general circulation to provide a chance for the general public to comment on proposed new land development projects. This notice may be provided by the applicant or the applicant's agent, the municipality or the local agency by publication in a newspaper of general circulation within the municipality affected. Where an applicant or an applicant's agent provides the required notice for publication, the applicant or applicant's agent shall notify the municipality or local agency and the municipality and local agency will be relieved of the obligation to publish. The required content of the publication notice is found in Section P of the instructions.

To complete this section, each of the following questions must be answered with a "yes" or "no". Newspaper publication is required if any of the following are answered "yes".

Yes No

1. Does the project propose the construction of a sewage treatment facility ?
2. Will the project change the flow at an existing sewage treatment facility by more than 50,000 gallons per day?
3. Will the project result in a public expenditure for the sewage facilities portion of the project in excess of \$100,000?
4. Will the project lead to a major modification of the existing municipal administrative organizations within the municipal government?
5. Will the project require the establishment of *new* municipal administrative organizations within the municipal government?
6. Will the project result in a subdivision of 50 lots or more? (onlot sewage disposal only)
7. Does the project involve a major change in established growth projections?
8. Does the project involve a different land use pattern than that established in the municipality's Official Sewage Plan?

P. PUBLIC NOTIFICATION REQUIREMENT cont'd. (See Section P of instructions)

- 9. Does the project involve the use of large volume onlot sewage disposal systems (Flow > 10,000 gpd)?
- 10. Does the project require resolution of a conflict between the proposed alternative and consistency requirements contained in §71.21(a)(5)(i), (ii), (iii)?
- 11. Will sewage facilities discharge into high quality or exceptional value waters?
- Attached is a copy of:
 - the public notice,
 - all comments received as a result of the notice,
 - the municipal response to these comments.
- No comments were received. A copy of the public notice is attached.

Q. FALSE SWEARING STATEMENT (See Section Q of instructions)

I verify that the statements made in this component are true and correct to the best of my knowledge, information and belief. I understand that false statements in this component are made subject to the penalties of 18 PA C.S.A. §4904 relating to unsworn falsification to authorities.

Adam Ballish	
Name (Print)	Signature
Engineer	03/21/24
Title	Date
22 South Linden Street, Duquesne PA 15110	412-469-9331
Address	Telephone Number

R. REVIEW FEE (See Section R of instructions)

The Sewage Facilities Act establishes a fee for the DEP planning module review. DEP will calculate the review fee for the project and invoice the project sponsor **OR** the project sponsor may attach a self-calculated fee payment to the planning module prior to submission of the planning package to DEP. (Since the fee and fee collection procedures may vary if a "delegated local agency" is conducting the review, the project sponsor should contact the "delegated local agency" to determine these details.) Check the appropriate box.

- I request DEP calculate the review fee for my project and send me an invoice for the correct amount. I understand DEP's review of my project will not begin until DEP receives the correct review fee from me for the project.
- I have calculated the review fee for my project using the formula found below and the review fee guidance in the instructions. I have attached a check or money order in the amount of \$50 payable to "Commonwealth of PA, DEP". Include DEP code number on check. I understand DEP will not begin review of my project unless it receives the fee and determines the fee is correct. If the fee is incorrect, DEP will return my check or money order, send me an invoice for the correct amount. I understand DEP review will NOT begin until I have submitted the correct fee.
- I request to be exempt from the DEP planning module review fee because this planning module creates **only** one new lot and is the **only** lot subdivided from a parcel of land as that land existed on December 14, 1995. I realize that subdivision of a second lot from this parcel of land shall disqualify me from this review fee exemption. I am furnishing the following deed reference information in support of my fee exemption.

County Recorder of Deeds for _____ County, Pennsylvania

Deed Volume _____ Book Number _____

Page Number _____ Date Recorded _____

R. REVIEW FEE (continued)

Formula:

1. For a new collection system (with or without a Clean Streams Law Permit), a collection system extension, or individual tap-ins to an existing collection system use this formula.

$$\#5 \text{ Lots (or EDUs)} \times \$50.00 = \$250$$

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
 - For community sewer system projects, one EDU is equal to a sewage flow of 400 gallons per day.
2. For a surface or subsurface discharge system, use the appropriate one of these formulae.

- A. A new surface discharge greater than 2000 gpd will use a flat fee:

$$\begin{aligned} & \$ 1,500 \text{ per submittal (non-municipal)} \\ & \$ 500 \text{ per submittal (municipal)} \end{aligned}$$

- B. An increase in an existing surface discharge will use:

$$\# \text{ Lots (or EDUs)} \times \$35.00 = \$$$

to a maximum of \$ 1,500 per submittal (non-municipal) or \$ 500 per submittal (municipal)

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
 - For community sewage system projects one EDU is equal to a sewage flow of 400 gallons per day.
 - For non-single family residential projects, EDUs are calculated using projected population figures
- C. A sub-surface discharge system that requires a permit under The Clean Streams Law will use a flat fee:
- $$\begin{aligned} & \$ 1,500 \text{ per submittal (non-municipal)} \\ & \$ 500 \text{ per submittal (municipal)} \end{aligned}$$



INSTRUCTIONS FOR COMPLETING COMPONENT 4A MUNICIPAL PLANNING AGENCY REVIEW

Remove and recycle these instructions prior to mailing component to the approving agency.

Background

This component, Component 4, is used to obtain the comments of planning agencies and/or health departments having jurisdiction over the project area. It is used in conjunction with other planning module components appropriate to the characteristics of the project proposed.

Who Should Complete the Component?

The component should be completed by any existing municipal planning agency, county planning agency, planning agency with areawide jurisdiction, and/or health department having jurisdiction over the project site. It is divided into sections to allow for convenient use by the appropriate agencies.

The project sponsor must forward copies of this component, along with supporting components and data, to the appropriate planning agency(ies) and health department(s) (if any) having jurisdiction over the development site. These agencies are responsible for responding to the questions in their respective sections of Component 4, as well as providing whatever additional comments they may wish to provide on the project plan. After the agencies have completed their review, the component will be returned to the applicant. The agencies have 60 days in which to provide comments to the applicant. If the agencies fail to comment within this 60 day period, the applicant may proceed to the next stage of the review without the comments. The use of registered mail or certified mail (return receipt requested) by the applicant when forwarding the module package to the agencies will document a date of receipt.

After receipt of the completed Component 4 from the planning agencies, or following expiration of the 60 day period without comments, the applicant must submit the entire component package to the municipality having jurisdiction over the project area for review and action. If approved by the municipality, the proposed plan, along with the municipal action, will be forwarded to the approving agency (Department of Environmental Protection or delegated local agency). The approving agency, in turn, will either approve the proposed plan, return it as incomplete, or disapprove the plan, based upon the information provided.

Instructions for Completing Planning Agency and/or Health Department Review Component

Section A. Project Name

Enter the project name as it appears on the accompanying sewage facilities planning module component (Component 2, 2m, 3, 3s or 3m).

Section B. Review Schedule

Enter the date the package was received by the reviewing agency, and the date that the review was completed.

Section C. Agency Review

1. Answer the yes/no questions and provide any descriptive information necessary on the lines provided. Attach additional sheets, if necessary.
2. Complete the name, title, and signature block.

Section D. Additional Comments

The Agency may provide whatever additional comment(s) it deems necessary, as described in the form. Attach additional sheets, if necessary.



DEP Code #: _____

**SEWAGE FACILITIES PLANNING MODULE
 COMPONENT 4A - MUNICIPAL PLANNING AGENCY REVIEW**

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning module package and one copy of this *Planning Agency Review Component* should be sent to the local municipal planning agency for their comments.

SECTION A. PROJECT NAME (See Section A of instructions)

Project Name
2700 Penn Ave Development

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by municipal planning agency 10/6/2023
2. Date review completed by agency 10/30/2023

SECTION C. AGENCY REVIEW (See Section C of instructions)

Yes	No	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	1. Is there a municipal comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101, <i>et seq.</i>)?
<input type="checkbox"/>	<input type="checkbox"/>	2. Is this proposal consistent with the comprehensive plan for land use? If no, describe the inconsistencies _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	3. Is this proposal consistent with the use, development, and protection of water resources? If no, describe the inconsistencies _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	4. Is this proposal consistent with municipal land use planning relative to Prime Agricultural Land Preservation?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	5. Does this project propose encroachments, obstructions, or dams that will affect wetlands? If yes, describe impacts _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	6. Will any known historical or archaeological resources be impacted by this project? If yes, describe impacts _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7. Will any known endangered or threatened species of plant or animal be impacted by this project? If yes, describe impacts _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	8. Is there a municipal zoning ordinance?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	9. Is this proposal consistent with the ordinance? If no, describe the inconsistencies <u>In review</u>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	10. Does the proposal require a change or variance to an existing comprehensive plan or zoning ordinance?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	11. Have all applicable zoning approvals been obtained?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	12. Is there a municipal subdivision and land development ordinance?

SECTION C. AGENCY REVIEW (continued)

- | Yes | No | |
|-------------------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 13. Is this proposal consistent with the ordinance?
If no, describe the inconsistencies <u>In review</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 14. Is this plan consistent with the municipal Official Sewage Facilities Plan?
If no, describe the inconsistencies _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 15. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality?
If yes, describe _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16. Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision? |
| <input type="checkbox"/> | <input type="checkbox"/> | If yes, is the proposed waiver consistent with applicable ordinances?
If no, describe the inconsistencies
_____ |

17. Name, title and signature of planning agency staff member completing this section:
 Name: Kyla Prendergast
 Title: Senior Environmental Planner
 Signature: *Kyla Prendergast*
 Date: 10/30/2023
 Name of Municipal Planning Agency: Department of City Planning
 Address 100 Ross Street, Suite 202, Pittsburgh, PA 15219
 Telephone Number: 412-255-2676

SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)

This component does not limit municipal planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The planning agency must complete this component within 60 days.

This component and any additional comments are to be returned to the applicant.

COUNTY OF



ALLEGHENY

SARA INNAMORATO
COUNTY EXECUTIVE

April 19, 2024

Mr. Adam Ballish, EIT
KU Resources, Inc
22 South Linden Street
Duquesne, PA 15110

RE: SEWAGE FACILITIES PLANNING MODULE
Penn Ave Residential Development - City of Pittsburgh
Allegheny County, Pennsylvania

Dear Mr. Ballish,

Enclosed is a signed copy of Component 4C, County or Joint County Health Department Review, for the above-referenced development. This Planning Module Component was received on April 17, 2024. The project proposes the following:

Project Description:	This project proposed to demolish commercial canvas shop and use the open space to build townhouse.
Sewage Flow:	2000 GPD
Conveyance:	Sewage from proposed development will be conveyed by PWSA to the Allegheny River Interceptor and finally transported to the Alcosan Treatment Plant at Woods Run Road
Sewer's Owner:	PWSA (collection), ALCOSAN (interceptor)
Sewage Treatment Plant:	ALCOSAN

Please be advised that a permit must be obtained from the Allegheny County Health Department's (ACHD) Plumbing Section prior to commencing any plumbing work for the proposed project. Plumbing work for which an ACHD Plumbing Permit must be obtained includes any plumbing work done on the site and any sewers, which will not be owned and operated by a municipality or a sewer authority.



ALLEGHENY COUNTY HEALTH DEPARTMENT
WATER POLLUTION CONTROL & SOLID WASTE MANAGEMENT
3901 PENN AVENUE • BUILDING 5 • PITTSBURGH, PA 15224-1318
PHONE: 412.578.8040 • FAX: 412.578.8053
WWW.ALLEGHENYCOUNTY.US/HEALTHDEPARTMENT



In addition, it should be noted that the approval of this sewage facilities planning module does not include approval of pipe size and/or type. Approval for pipe size and/or type must be obtained by filing a specific plumbing plan with the ACHD's Plumbing Section. If you should have any questions relative to ACHD's plumbing requirements, please contact Drew Grese, Plumbing Program Manager at 412-578-8055.

The ACHD has no objection to the approval of this project. If you have any questions, please call me at 412-578-8046.

Sincerely,

A handwritten signature in black ink, appearing to read 'Issa Tijani', with a horizontal line extending to the right.

Issa Tijani
Environmental Health Engineer II
Water Pollution Control & Solid Waste Management

Enclosure

cc: Regis Ryan, PA Department of Environmental Protection w/attachment
Drew Grese, ACHD w/attachment



INSTRUCTIONS FOR COMPLETING COMPONENT 4C COUNTY OR JOINT HEALTH DEPARTMENT REVIEW

Remove and recycle these instructions prior to mailing component to the approving agency.

Background

This component, Component 4, is used to obtain the comments of planning agencies and/or health departments having jurisdiction over the project area. It is used in conjunction with other planning module components appropriate to the characteristics of the project proposed.

Who Should Complete the Component?

The component should be completed by any existing municipal planning agency, county planning agency, planning agency with areawide jurisdiction, and/or health department having jurisdiction over the project site. It is divided into sections to allow for convenient use by the appropriate agencies.

The project sponsor must forward copies of this component, along with supporting components and data, to the appropriate planning agency(ies) and health department(s) (if any) having jurisdiction over the development site. These agencies are responsible for responding to the questions in their respective sections of Component 4, as well as providing whatever additional comments they may wish to provide on the project plan. After the agencies have completed their review, the component will be returned to the applicant. The agencies have 60 days in which to provide comments to the applicant. If the agencies fail to comment within this 60 day period, the applicant may proceed to the next stage of the review without the comments. The use of registered mail or certified mail (return receipt requested) by the applicant when forwarding the module package to the agencies will document a date of receipt.

After receipt of the completed Component 4 from the planning agencies, or following expiration of the 60 day period without comments, the applicant must submit the entire component package to the municipality having jurisdiction over the project area for review and action. If approved by the municipality, the proposed plan, along with the municipal action, will be forwarded to the approving agency (Department of Environmental Protection or delegated local agency). The approving agency, in turn, will either approve the proposed plan, return it as incomplete, or disapprove the plan, based upon the information provided.

Instructions for Completing Planning Agency and/or Health Department Review Component

Section A. Project Name

Enter the project name as it appears on the accompanying sewage facilities planning module component (Component 2, 2m, 3, 3s or 3m).

Section B. Review Schedule

Enter the date the package was received by the reviewing agency, and the date that the review was completed.

Section C. Agency Review

1. Answer the yes/no questions and provide any descriptive information necessary on the lines provided. Attach additional sheets, if necessary.
2. Complete the name, title, and signature block.

Section D. Additional Comments

The Agency may provide whatever additional comment(s) it deems necessary, as described in the form. Attach additional sheets, if necessary.

**SEWAGE FACILITIES PLANNING MODULE
 COMPONENT 4C - COUNTY OR JOINT HEALTH DEPARTMENT REVIEW**

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning module package and one copy of this *Planning Agency Review Component* should be sent to the county or joint county health department for their comments.

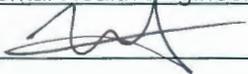
SECTION A. PROJECT NAME (See Section A of instructions)

Project Name
Penn Ave Residential Development

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by county or joint county health department 04/17/2024
 Agency name Allegheny County Health Department (ACHD)
2. Date review completed by agency 04/19/2023

SECTION C. AGENCY REVIEW (See Section C of instructions)

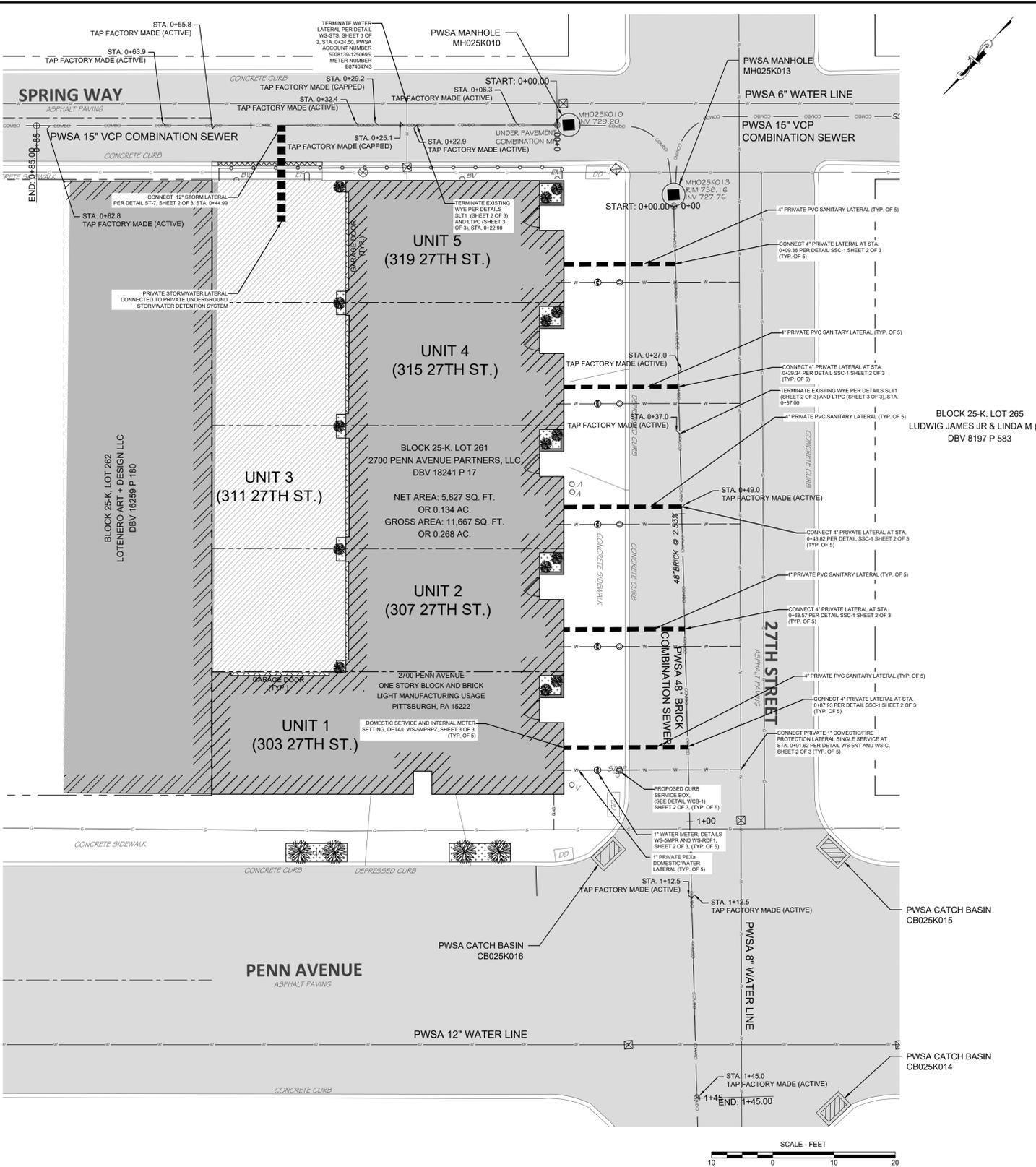
Yes	No	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. Is the proposed plan consistent with the municipality's Official Sewage Facilities Plan? If no, what are the inconsistencies? _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	2. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality? If yes, describe _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	3. Is there any known groundwater degradation in the area of this proposal? If yes, describe _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	4. The county or joint county health department recommendation concerning this proposed plan is as follows: <u>ACHD recommends approval. Please see attached letter.</u>
		5. Name, title and signature of person completing this section: Name: <u>Issa Tijani</u> Title: <u>Environmental Health Engineer</u> Signature: <u></u> Date: <u>04/22/2024</u> Name of County Health Department: <u>Allegheny County Health Department</u> Address: <u>3901 Penn Avenue, Building #5, Pittsburgh, PA 15224</u> Telephone Number: <u>412-578-8046</u>

SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)

This component does not limit county planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The county planning agency must complete this component within 60 days.
 This component and any additional comments are to be returned to the applicant.

CAD FILE NUMBER: 2319004 2428 PROJECT NUMBER: CUST#248831
 PLOT DATE: 02/15/2024 10:58:23 AM



BLOCK 25-K, LOT 265
 LUDWIG JAMES JR & LINDA M (W)
 DBV 8197 P 583

HYDRANT FLOW TEST RESULTS
 To be completed by the Applicant and provided once within the plan set, if applicable:

DATE OF TEST: 02/02/2024
 HYDRANT PERMIT NUMBER: HYD-569-0124
 PERFORMED BY: PITTSBURGH FIRE SPRINKLER

PRESSURE HYDRANT
 HYDRANT NUMBER: A295
 LOCATION: LIBERTY AVE/27TH ST
 STATIC PRESSURE, PSI: 95.1
 RESIDUAL PRESSURE, PSI: 94.4

FLOW HYDRANT
 HYDRANT NUMBER: A292
 LOCATION: RAILROAD ST/27TH ST
 FLOW OBSERVED, GPM: 1206

CALCULATIONS *
 PROJECTED FLOW AT 20 PSI, GPM: 12,413

* Per NFPA 291 (Section 4.4.5), the residual pressure needs to achieve a 10% drop from the static pressure to calculate accurate flow projections. Please note that multiple flow hydrants may need to be simultaneously flowed to achieve the 10% drop at the pressure hydrant. In these instances, the flow observed needs to be reported for each flow hydrant.

SPRINKLER SYSTEM DESIGN INFORMATION
 To be completed by the Applicant and provided once within the plan set, if applicable:

ADDRESS(ES): 2700 PENN AVE
 DESIGNED BY: FRANJO

TYPE OF SYSTEM (Check one)
 13D 13
 13R OTHER: _____

SYSTEM CONFIGURATION (Check one)
 STAND-ALONE SPRINKLER SYSTEM
 MULTI-PURPOSE SPRINKLER SYSTEM

HOSE DEMANDS (N/A for 13D systems)
 INSIDE HOSE DEMAND, GPM: NA
 OUTSIDE HOSE DEMAND, GPM: NA

FIRE PUMP (Check one)
 NO, NOT NEEDED
 YES, LOWEST PERMISSIBLE
 SUCTION PRESSURE= _____ PSI

* For fire pump installations, the hydrant flow test shall be required to achieve a 10% drop from the static pressure to the residual pressure.

PEAK OPERATING WATER DEMANDS
 To be completed by the Applicant and provided once within the plan set, if applicable:

METER INFORMATION				DOMESTIC SYSTEM		FIRE SYSTEM	
QUANTITY	SIZE	TYPE	USE	FLOW, GPM	PRESSURE, PSI	FLOW, GPM	PRESSURE, PSI
5	1"	ELECTROMAGNETIC	COMBINATION	24	30	28	73

METER SIZE: 1/8", 1/4", 3/8", 1/2", 1", 2", 3", 4", 6", 8", 10", 12", 16"
 METER TYPE: POSITIVE DISPLACEMENT, COMPOUND, ELECTROMAGNETIC, ULTRASONIC, TURBINE
 METER USE: DOMESTIC, FIRE, COMBINATION

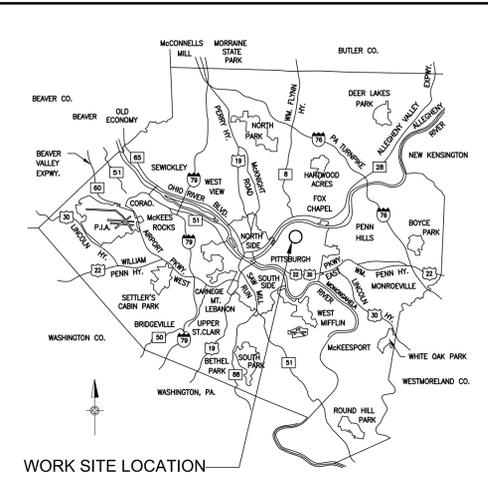
PEAK DAILY SANITARY FLOW DEMANDS
 To be completed by the Applicant and provided once within the plan set, if applicable:

PROJECT FLOW, GPD	2,000
EXISTING FLOW, GPD	0
NET FLOW, GPD	2,000



PREPARED BY: **KU Resources, Inc.**
 22 South Linden Street
 Duquesne, PA 15110
 412.469.9331
 412.469.9336 fax
 www.kuresources.com

NOTES:
 EXISTING WYE LOCATIONS SHOWN WERE TAKEN BY A CCTV SURVEY PERFORMED BY ROBINSON PIPE CLEANING. DATED 01/15/2024



THE PITTSBURGH WATER & SEWER AUTHORITY APPROVAL BLOCK
 To be completed by the Applicant and provided on each sheet within the plan set:

(Check all that apply)
 NEW WATER CONNECTION(S)
 NEW SEWER CONNECTION(S)
 REUSE EXISTING WATER CONNECTION(S)
 REUSE EXISTING SEWER CONNECTION(S)
 TERMINATE EXISTING WATER CONNECTION(S)
 TERMINATE EXISTING SEWER CONNECTION(S)
 PRIVATE CONSTRUCTION OF PUBLIC FACILITIES

To be completed by the PWSA:
 (Required for ALL approvals)

REVIEWER, DEPT. OF ENGINEERING AND CONSTRUCTION

SENIOR PROJECT MANAGER, DEPT. OF ENGINEERING AND CONSTRUCTION

DIRECTOR OF OPERATIONS

(Required for "Private Construction of Public Facilities" ONLY)

DIRECTOR, DEPT. OF ENGINEERING AND CONSTRUCTION

PWSA PROJECT NUMBER: DEV-413-0224
 TAP C RECORD NUMBER: _____

The PWSA approval was based on information provided by others under the assumption that this information was accurate and complete. Please refer to the PWSA Developer's Manual for detailed information on the regulations and procedures for obtaining water and sewer service.

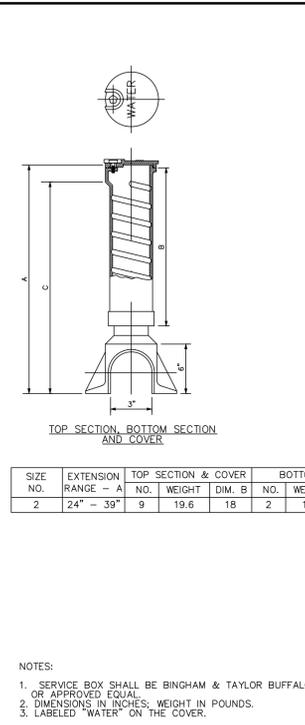


2700 PENN AVENUE PARTNERS
 110 DENNISON AVE.
 COLUMBUS, OHIO 43201

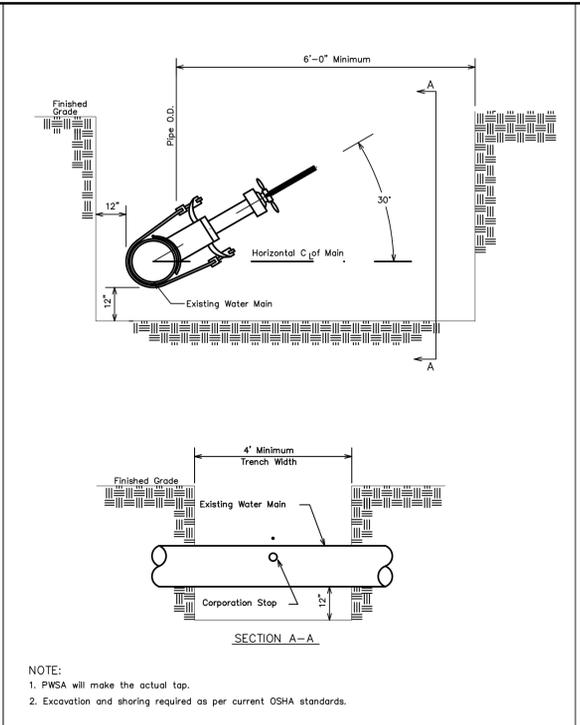
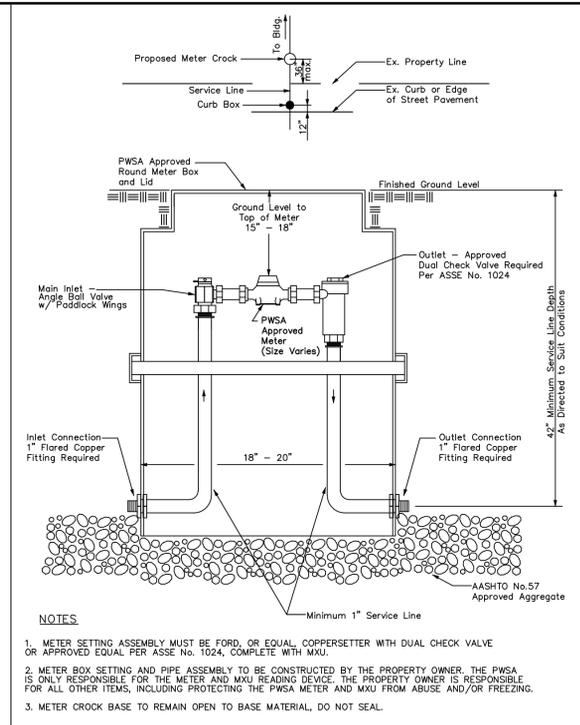
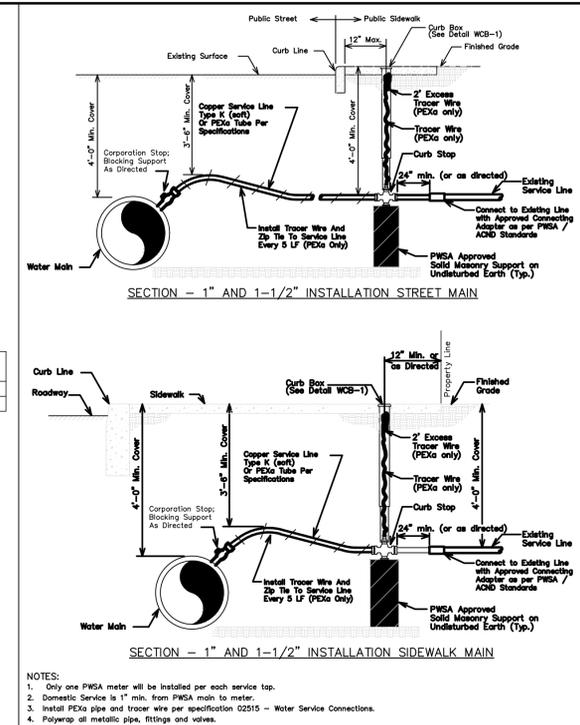
WATER AND SERVICE TAP IN PLAN
 2700 PENN AVE RESIDENTIAL DEVELOPMENT
 2700 PENN AVE
 WARD 6, PITTSBURGH PA 15222

SCALE: PLAN - 1" = 10'
 DATE: FEBRUARY 22, 2023 SHEET: _____
 REV1: 1 OF 3 CASE NO. _____

CAD FILE NUMBER: 23170004 24238 PROJECT NUMBER: CUS1248833
 PLS. DO NOT REMOVE FROM ANY FILE OR FOLDER. THE INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE.



SIZE NO.	INCREASES LENGTH-A	OVERALL LENGTH-B	WEIGHT
155	20	22.75	13.1
156	24	26.75	17.7



NOTES:

- SERVICE BOX SHALL BE BINGHAM & TAYLOR BUFFALO STYLE (3" OLD STYLE), No. 4930 OR APPROVED EQUAL.
- DIMENSIONS IN INCHES; WEIGHT IN POUNDS.
- LABELED "WATER" ON THE COVER.

REVISIONS

NO.	DATE	DESCRIPTION

NOTES:

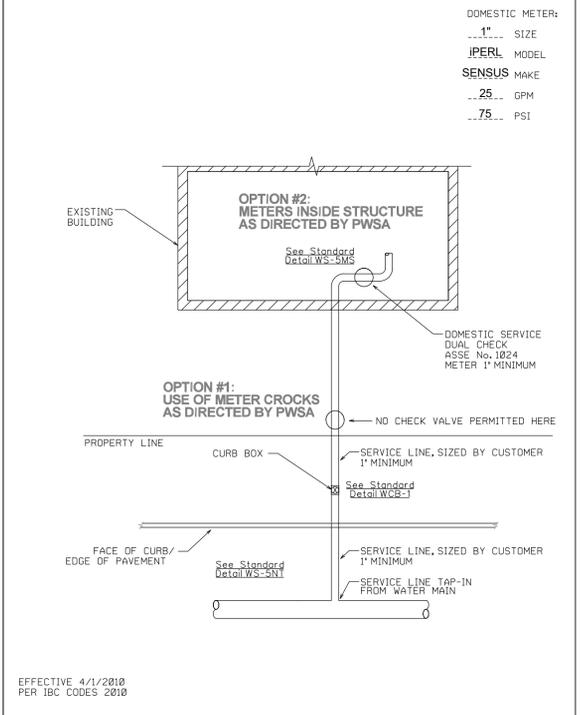
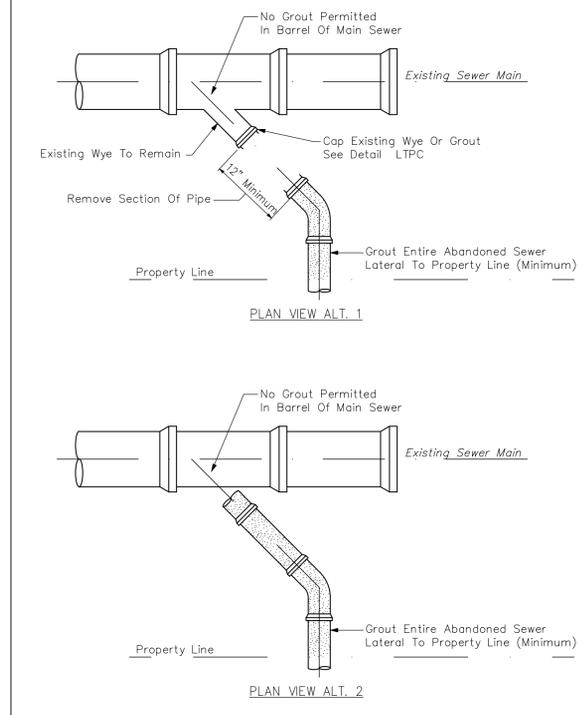
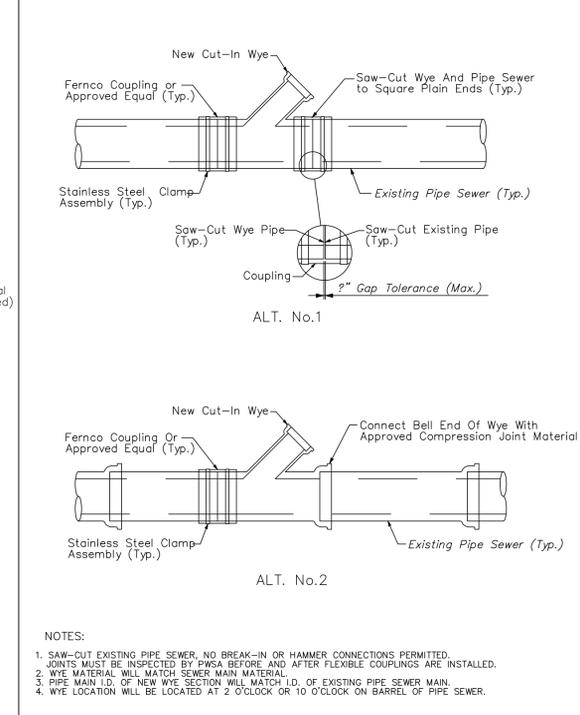
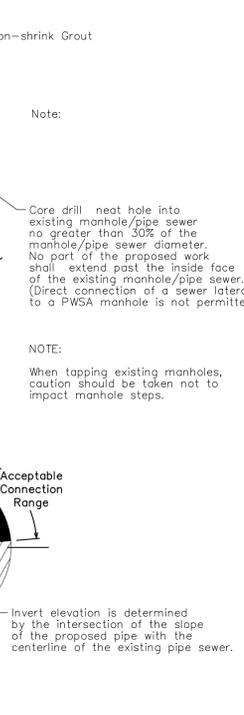
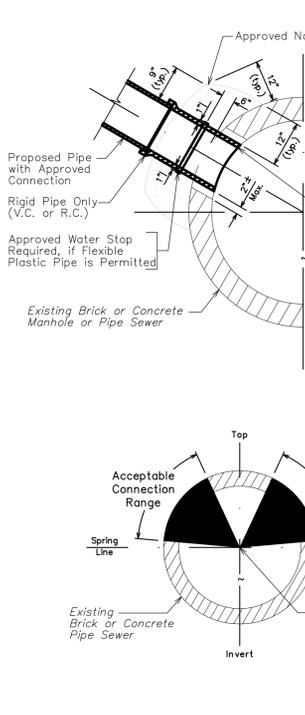
- Only one PWSA meter will be installed per service stop.
- Domestic Service is 1" min. from PWSA main to meter.
- Install PEXE pipe and tracer wire per specification 02015 - Water Service Connections.
- Polypipe or metallic pipe, fittings and valves.

NOTES:

- METER SETTING ASSEMBLY MUST BE FORD, OR EQUAL COPPERSETTER WITH DUAL CHECK VALVE OR APPROVED EQUAL PER ASSE No. 1024, COMPLETE WITH MXU.
- METER BOX SETTING AND PIPE ASSEMBLY TO BE CONSTRUCTED BY THE PROPERTY OWNER. THE PWSA IS ONLY RESPONSIBLE FOR THE METER AND MXU READING DEVICE. THE PROPERTY OWNER IS RESPONSIBLE FOR ALL OTHER ITEMS, INCLUDING PROTECTING THE PWSA METER AND MXU FROM ABUSE AND/OR FREEZING.
- METER CROCK BASE TO REMAIN OPEN TO BASE MATERIAL, DO NOT SEAL.

NOTE:

- PWSA will make the actual tap.
- Excavation and shoring required as per current OSHA standards.



REVISIONS

NO.	DATE	DESCRIPTION

REVISIONS

NO.	DATE	DESCRIPTION

REVISIONS

NO.	DATE	DESCRIPTION

REVISIONS

NO.	DATE	DESCRIPTION

REVISIONS

NO.	DATE	DESCRIPTION

Approved by:

PGH₂O
Pittsburgh Water & Sewer Authority

Scale: N.T.S.
Supplemental Detail Drawing: WCB-1

Approved by:

PGH₂O
Pittsburgh Water & Sewer Authority

Scale: N.T.S.
Supplemental Detail Drawing: WS-SNT

Approved by:

PGH₂O
Pittsburgh Water & Sewer Authority

Scale: N.T.S.
Supplemental Detail Drawing: WS-5MPR

Approved by:

PGH₂O
Pittsburgh Water & Sewer Authority

Scale: N.T.S.
Supplemental Detail Drawing: WS-C

Approved by:

PGH₂O
Pittsburgh Water & Sewer Authority

Scale: N.T.S.
Supplemental Detail Drawing: SSC-1

THE PITTSBURGH WATER & SEWER AUTHORITY APPROVAL BLOCK
To be completed by the Applicant and provided on each sheet within the plan set.

(Check all that apply)

NEW WATER CONNECTION(S)
 NEW SEWER CONNECTION(S)
 REUSE EXISTING WATER CONNECTION(S)
 REUSE EXISTING SEWER CONNECTION(S)
 TERMINATE EXISTING WATER CONNECTION(S)
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Pittsburgh Water & Sewer Authority

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SCALE: PLAN - 1" = 10'
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PREPARED BY:

KU Resources, Inc.
22 South Linden Street
Duquesne, PA 15110
412.469.9331
412.469.9336 fax

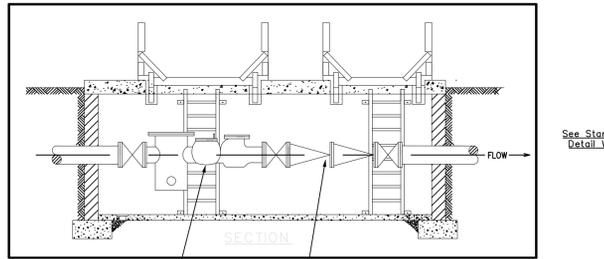
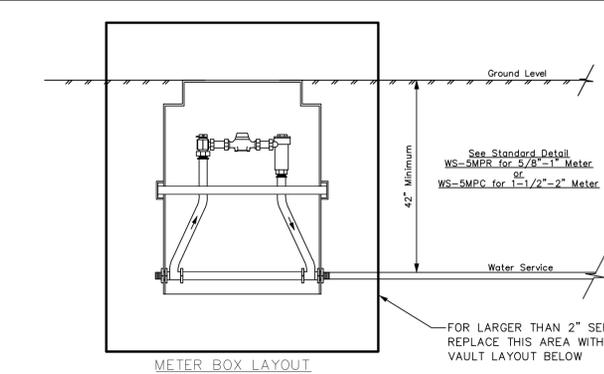
www.kuresources.com

CALL BEFORE YOU DIG!

PERMISSIBLE USE ONLY REQUIRED 3 WORKING DAYS CONSTRUCTION PERMIT AND 10 WORKING DAYS IN OCCUPANCY - STOP CALL PERMITS FOR ALL OTHER USES.

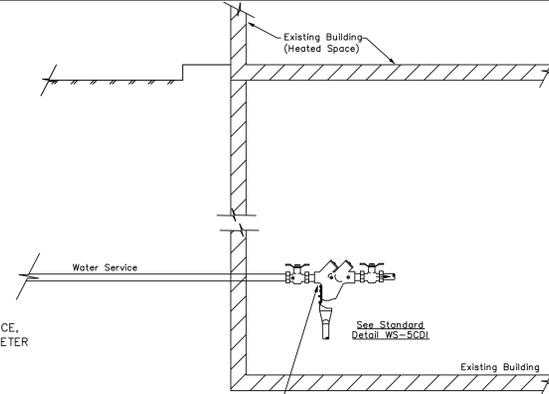
SERIAL # 20231772192

PERMISSIBLE USE ACT 107 (1996) NOTIFICATION OF EXCAVATION, RESIDENTIAL OR ANY PERSON PROPRIETARY TO OBTAIN THE EXCAVATION SERVICES APPROVED BY THE COMMONWEALTH. CALL PERMISSIBLE USE CALL SYSTEM AT 1-800-368-1770 BEFORE ANY EXCAVATION.



METER SET DATA
 PEAK DOMESTIC DEMAND = _____ GPM
 METER SIZE : _____

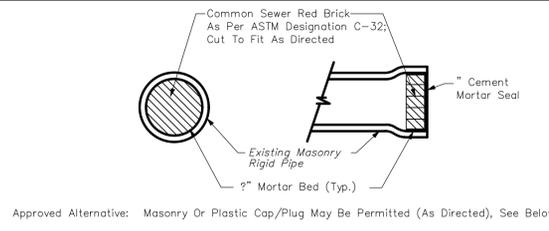
DOUBLE DETECTOR CHECK DATA
 APPROVED DOUBLE DETECTOR CHECK TYPE BACKFLOW PREVENTION ASSEMBLY PER ASSE No. 1048 (INSTALLED BY OWNER)
 SIZE : _____"
 MANUFACTURER : _____
 MODEL# : _____



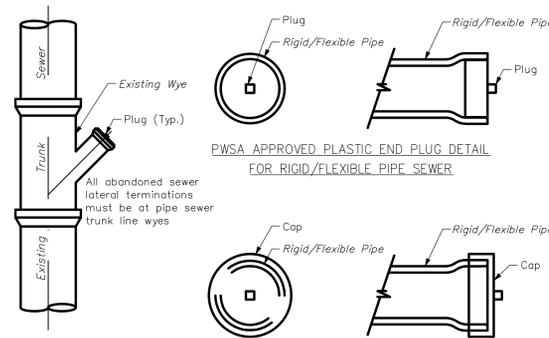
RPZ DATA
 APPROVED REDUCED PRESSURE ZONE (RPZ) TYPE BACKFLOW PREVENTION ASSEMBLY PER ASSE No. 1013 (INSTALLED BY OWNER)
 SIZE : 3/4"
 MANUFACTURER : WATTS
 MODEL# : 909

- NOTES:
1. Meter Box Setting for use on water service meters 2" and under.
 2. Meter Vault required on meters larger than 2".
 3. Mandatory test required at time of installation per IPC 312.9.2.

REVISIONS	PGH ₂ O	The Pittsburgh Water and Sewer Authority
	Pittsburgh Water & Sewer Authority	Domestic Service External Meter Setting Commercial And Multi-Family
Approved by:	Scale: N.T.S.	Supplemental Detail Drawing: WS-5MPRPZ

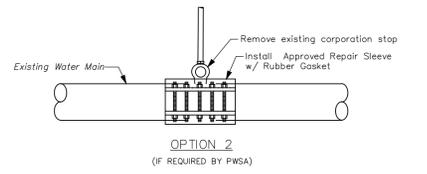
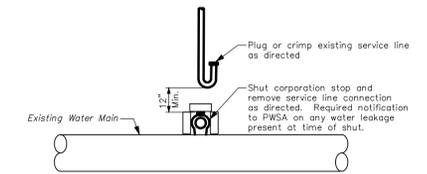


BRICK/MASONRY BULKHEAD FOR RIGID MASONRY PIPE SEWER ONLY



NOTE:
 ALL TERMINATION PLUGS OR CAPS MUST BE PWSA/ACHD APPROVED, PERMANENTLY SEALED WATER-TIGHT CONNECTIONS.

REVISIONS	PGH ₂ O	The Pittsburgh Water and Sewer Authority
	Pittsburgh Water & Sewer Authority	Pipe Sewer / Lateral Terminations
Approved by:	Scale: N.T.S.	Supplemental Detail Drawing: LTPC



- NOTES:
1. OPTION 2 REQUIRES MAIN LINE SHUT; THIS WOULD BE ADDITIONAL PWSA CHARGE.
 2. TERMINATION OPTION FROM ABOVE AS DIRECTED BY THE PWSA.

REVISIONS	PGH ₂ O	The Pittsburgh Water and Sewer Authority
	Pittsburgh Water & Sewer Authority	Typical Water Tap Service Termination For 2" And Smaller Connection
Approved by:	Scale: N.T.S.	Supplemental Detail Drawing: WS-ST5

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PGH₂O

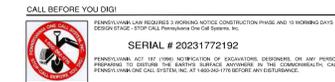
Pittsburgh Water & Sewer Authority

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SCALE: PLAN - 1" = 10'

DATE: , 2023 SHEET: _____ ACCESSION NO. _____

REV1: 3 OF 3 CASE NO. _____



ISSUE	DATE
ZONING SET	9.20.2023
DOMI SET	10.12.2023

PENN AVENUE RESIDENCES
2700 PENN AVE.
PITTSBURGH, PA 15222

GENERAL CONTRACTORS, SUB CONTRACTORS, AND ALL TRADESMEN ARE TO USE INSTALLATION REQUIREMENTS AS ISSUED BY THE MANUFACTURERS OF THE PRODUCTS INSTALLED, AS WELL AS ALL APPLICABLE BUILDING CODES. THESE DRAWINGS ARE GENERAL DESIGN INTENT AND DO NOT REPLACE TECHNICAL REQUIREMENTS OF WARRANTED INSTALLATIONS BY MANUFACTURERS OR BUILDING CODES.

CIPRIANI STUDIOS EXPRESSLY RESERVES COMMON LAW COPYRIGHT AND OTHER PROPRIETARY RIGHTS TO ALL DESIGNS & INFORMATION IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION OF CIPRIANI STUDIOS.

PROJECT RENDERING		PROPERTY INFO		ZONING DESCRIPTION			OWNER	DESIGNER	STRUCTURAL	CIVIL						
ARCHITECTURAL X A-0.1 PROJECT INFO X A-0.2 GENERAL NOTES X A-0.3 GENERAL NOTES - A-0.4 ENERGY CALCS X A-1.1 SITE PLAN X A-2.1 PROPOSED FLOOR PLANS X A-2.2 PROPOSED FLOOR PLANS X A-2.3 PROPOSED FLOOR PLANS X A-2.4 PROPOSED FLOOR PLANS X A-2.5 PROPOSED ROOF PLANS - A-2.6 LIGHTING + POWER PLANS - A-2.7 LIGHTING + POWER PLANS X A-4.1 BUILDING ELEVATIONS X A-4.2 BUILDING ELEVATIONS X A-4.3 BUILDING ELEVATIONS X A-4.4 BUILDING ELEVATIONS - A-6.1 CONSTRUCTION DETAILS - A-6.2 CONSTRUCTION DETAILS - A-6.3 CONSTRUCTION DETAILS - A-6.4 CONSTRUCTION DETAILS X A-7.1 WINDOW + DOOR SCHEDULES		FRAMING PLANS - S-0 STRUCTURAL NOTES - S-1 FOUNDATION PLANS - S-2 FRAMING PLANS - S-3 FRAMING PLANS - S-4 FRAMING PLANS - S-5 ROOF FRAMING PLANS		APN# : 0025-K-00261-0000-00 ZONING: RIV-MU / RIVERFRONT INDUSTRIAL MIXED USE SITE DIMENSIONS/ AREA 58.4' X 100' / 5,840 SF UNIT AREA TYPICAL UNIT LOFT UNIT END UNIT GARAGE 390 SF 390 SF 350 SF BASEMENT 290 SF 290 SF 700 SF LEVEL 2 915 SF 916 SF 1,210 SF LEVEL 3 960 SF 700 SF 900 SF LEVEL 4 590 SF 590 SF 590 SF ROOF DECK 300 SF 300 SF 300 SF TOTAL 2,755 SF 2,530 SF 3,400 SF			2700 PENN AVE. PARTNERS 110 DENNISON AVE. COLUMBUS, OH 43201 T. 914.980.9318 F. - CONTACT: GABE SIRKIN E: GABE@SOLOMONACQUISITIONS.COM	CIPRIANI STUDIOS 650 WASHINGTON ROAD, STE. 400 PITTSBURGH, PA 15228 T. 412.254.3261 F. - CONTACT: JUSTIN CIPRIANI E: JUSTIN@CIPRIANISTUDIOS.COM	BIG SKY STRUCTURAL SOLUTIONS 2387 RUGBY COURT BOZEMAN, MONTANA 59715 T. 412.921.4030 F. - CONTACT: BRIAN MAY E: BMAY.BS3@GMAIL.COM	KU RESOURCES 22 SOUTH LINDEN STREET DUQUESNE, PENNSYLVANIA 15110 T. 412.469.9331 F. - CONTACT: TYSEN MILLER E: TMILLER@KURESOURCE.COM						
LANDSCAPE		ZONING INFO HEIGHT LIMIT 60' FRONT SETBACK 0' (10' MAX IF NEEDED) SIDE SETBACKS 0' REAR SETBACK 5' FOR RESIDENTIAL/ 0' FOR MULTI-UNIT MIN. LOT SIZE - LOT COVERAGE -			APPLICABLE BUILDING CODES: 2018 IBC 2018 INTERNATIONAL MECHANICAL CODE 2018 INTERNATIONAL ELECTRICAL CODE 2018 INTERNATIONAL PLUMBING CODE CLASSIFICATION: USE GROUP: R-3 CONSTRUCTION TYPE: 5B			GEOTECH T. - F. - CONTACT: - E: -		SURVEY T. - F. - CONTACT: - E: -		LANDSCAPE ARCHITECT T. - F. - CONTACT: - E: -		GENERAL CONTRACTOR T. - F. - CONTACT: - E: -		
TABLE OF CONTENTS		BUILDING CODE SUMMARY			STRUCTURAL FRAME BEARING WALLS 0 HR - NON BEARING WALLS (EXT) 0 HR - NON BEARING WALLS (INT) 0 HR - FLOOR CONSTRUCTION 0 HR - ROOF CONSTRUCTION 0 HR - COMMON WALLS 2 HR - PLUMBING PENETRATIONS 0 HR - ROOF PENETRATIONS 0 HR - WALL PENETRATIONS 0 HR -		CODE SECTION / WITHIN 5' OF PROPERTY LINE FIRE RATING UL ASSEMBLY FIRE RATING UL ASSEMBLY STRUCTURAL FRAME 1HR U305/UL263 BEARING WALLS 1HR U305/UL263 NON BEARING WALLS (EXT) 1HR U305/UL263 NON BEARING WALLS (INT) - - FLOOR CONSTRUCTION - - ROOF CONSTRUCTION - - COMMON WALLS - - PLUMBING PENETRATIONS - - ROOF PENETRATIONS - - WALL PENETRATIONS - -		OWNER		DESIGNER		STRUCTURAL		CIVIL	

NAME



SCALE

A 0.1

SHEET

SECTION 1: GENERAL CONDITIONS

- ONLY THE HIGHEST QUALITY OF WORKMANSHIP SHALL BE CONSIDERED ACCEPTABLE AND SHALL BE FIRMLY SECURED AND RELATIVE TO ELEVATIONS AND DIMENSIONS AS SHOWN IN THE DRAWINGS; TRUE TO PLUMB, LEVEL, SQUARE, AND LINE.
- ALL WORK SHALL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES AND WITH ACCEPTED LOCAL STANDARDS OF THE TRADES.
- ALL NAILING SHALL CONFORM TO THE BEFORE MENTIONED BUILDING CODE REGULATIONS, OR 2001 C.B.C., U.O.N.
- INDIVIDUAL PRINTS OR PARTIAL SETS OF PRINTS SHALL BE CONSIDERED PART OF THE WHOLE SET OF THESE DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT. THE RECIPIENT OF INDIVIDUAL PRINTS OR PARTIAL SETS SHALL BE RESPONSIBLE FOR INFORMATION AND INTENT NOT REPRESENTED ON THE INDIVIDUAL SHEETS OR PARTIAL SETS BUT FOUND ELSEWHERE IN THESE DRAWINGS AND SPECIFICATIONS. THE GENERAL CONTRACTOR SHALL MAKE AVAILABLE ALL NECESSARY DRAWINGS (INCLUDING THESE GENERAL NOTES) TO SUBCONTRACTORS AND SUPPLIERS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL ASPECTS OF THE WORK AND SHALL INFORM THE OWNER OF HIS WORK SCHEDULE AND ANY ANTICIPATED CHANGES THAT MAY OCCUR IN IT. PLACE ORDERS FOR ALL MATERIALS INCLUDED IN THE WORK BY GENERAL CONTRACTOR OR SUBCONTRACTORS IN TIME TO PREVENT ANY DELAYS IN THE CONSTRUCTION SCHEDULE OR COMPLETION OF THE WORK. LIKEWISE, THE CONTRACTOR SHALL ADVISE THE OWNER OF THE CRITICAL PATH FOR SCHEDULING FOR THE ORDERING OF ALL/ANY OWNER PROVIDED MATERIALS.
- THE GENERAL CONTRACTOR SHALL NOT PROCEED WITH ANY WORK WHICH HE BELIEVES TO BE CONTRARY TO DATE OF HIS KNOWLEDGE OF GOOD CONSTRUCTION STANDARDS AND PRACTICES AND SHALL NOT USE ANY SUBSTANDARD MATERIALS.
- THE GENERAL CONTRACTOR SHALL INFORM THE OWNER OF ANY COSTS OF MATERIALS, LABOR, OVERHEAD AND PROFIT WHICH ARE CAUSED BY ANY CHANGES OR ADDITIONS IN THE WORK INTENDED BY THESE PLANS AND SPECIFICATIONS PRIOR TO ORDERING MATERIALS AND PROCEEDING WITH THE WORK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS BY HIMSELF AND OF HIS EMPLOYEES AND SUBCONTRACTORS, INVOLVED IN THE COMPLETION OF WORK CONTRACTED.
- THE GENERAL CONTRACTOR SHALL BE EXPECTED TO INSPECT THE SITE FOR CONDITIONS AFFECTING WORK AND FOR ANTICIPATING THE EFFECTS OF THOSE CONDITIONS UPON HIS WORK.
- DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR THE PROPER INSTALLATION OR CONFORMANCE WITH CODES OR STANDARDS LISTED HEREIN SHALL BE INCLUDED IN THE WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF THE NEED FOR ANY ADDITIONAL INFORMATION OR MATERIALS NECESSARY FOR THE CONSTRUCTION OF THE DESIGN AS ILLUSTRATED IN THE DRAWINGS.
- ALL WORK AND MATERIAL OR EQUIPMENT SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
- RELATIVE REFERENCE ELEVATIONS SHALL BE ESTABLISHED AT THE SITE. PROTECT AND MAINTAIN BENCHMARKS FOR THE DURATION OF THE PROJECT, AS NEEDED FOR THE ACCURATE CONSTRUCTION OF THE PROJECT.
- ITEMS NOTED "NOT IN CONTRACT," "N.I.C.," OR "PROVIDED BY OWNER" ARE TO BE NEITHER FURNISHED NOR INSTALLED UNDER THIS CONTRACT, BUT ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. VERIFY THESE REQUIREMENTS WITH THE OWNER TO RESOLVE THE NEED FOR ANY ADDITIONAL WORK FOR OWNER PROVIDED MATERIALS THAT MAY BE UNANTICIPATED BY THESE DRAWINGS. CONTACT THE ARCHITECT FOR CLARIFICATION OR ASSISTANCE WITH THIS EVALUATION.
- THE GENERAL CONTRACTOR SHALL COMPLETELY FAMILIARIZE HIM/HERSELF WITH THE EXISTING CONDITIONS AND THE DESIGN AS ILLUSTRATED AND SPECIFIED IN THE DRAWINGS. THE GENERAL CONTRACTOR WILL REPORT ANY AND ALL DISCREPANCIES OR OMISSIONS FOUND IN THE DRAWINGS AND SPECIFICATIONS TO ARCHITECT. ALL WORK AFFECTED SHALL NOT PROCEED UNTIL ANY CLARIFICATION OR REVISION HAS BEEN COMPLETED OR PERMISSION TO CONTINUE IS GIVEN.
- ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO ARCHITECT SO THAT PROPER REVISIONS CAN BE MADE.
- THE CONTRACT DOCUMENTS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHODS OF CONSTRUCTION. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES.
- OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ARCHITECT AND/OR STRUCTURAL ENGINEER SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES, AND THESE VISITS SHALL NOT BE CONSTRUED AS SUCH. ANY SUPPORT SERVICES PERFORMED BY THE ARCHITECT AND/OR STRUCTURAL ENGINEER DURING THE CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES AS FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED BY THE ARCHITECT AND/OR STRUCTURAL ENGINEER, WHETHER OF MATERIAL OR WORK, AND WHETHER PERFORMED PRIOR TO, DURING, OR AFTER COMPLETION OF CONSTRUCTION, ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING GENERAL CONFORMITY WITH CONTRACT DOCUMENTS, BUT DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.

SECTION 2: DIMENSIONS, MEASUREMENTS, AND LAYOUT

- DIMENSIONS SHALL TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS. SCALING OF THE DRAWINGS FOR DIMENSIONS OR LOCATIONS OF MATERIALS OR EQUIPMENT IS CONSIDERED UNACCEPTABLE.
- LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES AND TYPICAL DETAILS. WRITTEN SPECIFICATIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATION OF MATERIALS AND ITEMS AS WELL AS THEIR LOCATIONS.
- DIMENSIONS TO SIDE OR CENTER OF DOORS OR WINDOWS ARE TO ROUGH OPENINGS. LOCATE ROUGH OPENINGS NOT DIMENSIONED FRAMING DISTANCE (KING AND TRIM STUDS) FROM CLOSEST WALLS OR CENTER BETWEEN WALLS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND LAYING OUT THE WORK (INCLUDING GRADES AND ELEVATIONS). THE GENERAL CONTRACTOR WILL EXERCISE PROPER PRECAUTION TO VERIFY FIGURES SHOWN ON THE DRAWINGS WHILE LAYING OUT THE WORK, AND BE RESPONSIBLE FOR ALL ERRORS RESULTING FROM FAILURE TO EXERCISE SUCH PRECAUTION.

SECTION 3: SUBCONTRACTORS

- EACH SUBCONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE TO THE GENERAL CONTRACTOR INDICATING POLICY CONDITIONS AND LIMITS OF LIABILITY INSURANCE PRIOR TO STARTING THE WORK. EACH SUBCONTRACTOR SHALL PROVIDE THE GENERAL CONTRACTOR WITH PROOF OF WORKMAN'S COMPENSATION FOR EACH OF HIS EMPLOYEES.
- EACH TRADE SHALL COORDINATE ITS WORK AS IS PRACTICAL AND WILL INTERFERE AS LITTLE AS POSSIBLE WITH THE WORK OF OTHER TRADES AND PERSONS. IT WILL BE ASSUMED THAT EACH TRADE HAS ACCEPTED THE QUALITY OF THE WORK OF OTHERS UPON WHICH HIS WORK MUST BE APPLIED.
- DURING PROGRESS OF WORK MAINTAIN PREMISES FREE OF UNNECESSARY ACCUMULATION OF TOOLS, EQUIPMENT, SURPLUS MATERIALS, AND DEBRIS. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP AFTER THEIR RESPECTIVE WORK, AS WELL AS MAINTAINING A CLEAN AND ORDERLY SITE.
- STORE AND HANDLE MATERIALS AND EQUIPMENT SO AS TO PREVENT DAMAGE AFFECTING APPEARANCES, PERFORMANCE OF MATERIAL, EQUIPMENT OR FINISHED WORK. IN THE EVENT OF DAMAGE, PROMPTLY MAKE REPAIRS OR REPLACEMENTS AND BE RESPONSIBLE FOR COSTS INCURRED AND TIME REQUIRED FOR REPAIRS OR REPLACEMENTS AT NO ADDITIONAL COST TO THE OWNER.
- ALL SUBCONTRACTORS SHALL REMOVE AND REDO DEFECTIVE WORK AS DETERMINED BY THE GENERAL CONTRACTOR OR THE DESIGNER AT NO ADDITIONAL COST TO THE GENERAL CONTRACTOR OR OWNER.
- EACH SUBCONTRACTOR SHALL GUARANTEE MATERIALS AND WORKMANSHIP AGAINST DEFECTS WHICH MAY OCCUR UNDER NORMAL USAGE FOR A PERIOD OF ONE (1) YEAR AFTER FINAL ACCEPTANCE.

SECTION 4: PERMITS, FEES, INSPECTIONS, REGULATIONS, AND COVENANTS

- PERMITS AND LICENSES NECESSARY TO PERFORM THE WORK SHALL BE SECURED BY THE GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL OBTAIN ALL CODE CHECKS, INSPECTIONS, AND LABORATORY INVESTIGATIONS REQUIRED BY ORDINANCES, CODES, RULES AND REGULATIONS, BUILDING INSPECTORS, CITY OR COUNTY ENGINEERS, ETC.
- THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL COMPLY WITH ALL COVENANTS AND REQUIREMENTS OF THE SUBDIVISION (IF ANY) AS IF INCLUDED IN THESE DOCUMENTS.

SECTION 5: TEMPORARY FACILITIES AND CONTROLS

- ALL CONSTRUCTION EQUIPMENT REQUIRED TO PERFORM THE WORK TO BE FURNISHED BY THE GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL PROVIDE AND PAY FOR POWER, LIGHT, WATER, AND HEAT AS REQUIRED DURING CONSTRUCTION.
- SUBCONTRACTORS AND THEIR EMPLOYEES SHALL BE PROVIDED AND ALLOWED USE OF SANITARY FACILITIES ON THE PREMISES.

SECTION 6: GENERAL SITE WORK

- PROTECT ALL EXISTING TREES, VEGETATION, OBJECTS, AND STRUCTURES FROM DAMAGE OR REMOVAL EXCEPT THOSE DESIGNATED FOR REMOVAL ON THE DRAWINGS, OR BY THE OWNER, OR THE LANDSCAPE DESIGNER AND ARCHITECT.
- MINIMIZE ACCESS AND MATERIAL STORAGE AREAS AS INDICATED BY THE OWNER, OR LANDSCAPE DESIGNER AND ARCHITECT.
- THE GENERAL CONTRACTOR WILL CHECK WITH UTILITY COMPANIES AND THE OWNER FOR ACTUAL LOCATIONS OF ANY UNDERGROUND UTILITIES BEFORE STARTING OPERATIONS. ACTIVE UNDERGROUND UTILITIES SHALL BE ADEQUATELY PROTECTED FROM DAMAGE AND IF DAMAGED SHALL BE IMMEDIATELY REPAIRED AT NO EXTRA COST TO THE OWNER.
- THE LOCATIONS AND ROUTING OF UTILITIES AS SHOWN ON THE SITE PLAN ARE DIAGRAMMATIC IN NATURE AND SHOWS APPROXIMATE LOCATION OF UTILITIES AND EQUIPMENT. EXACT ROUTING OR LOCATIONS OF EQUIPMENT TO BE GOVERNED BY SITE CONDITIONS AND MINOR CHANGES REQUIRED AND DETERMINED ON SITE.
- ANY SOILS DATA, INCLUDING SOILS REPORT, IN ITS ENTIRETY SHALL BE INCLUDED AS PART OF THESE CONTRACT DOCUMENTS. FOR RECOMMENDED SOIL BEARING PRESSURE FOUNDATION MATERIAL, AND SITE GRADING, SEE SOILS REPORT AND GEOLOGICAL REPORT, IF APPLICABLE.

SECTION 7: GRADING

- ROUGH GRADING WORK AND FINISH GRADING SHALL BE BY THE EXCAVATING CONTRACTOR AND COORDINATED BY THE LANDSCAPE DESIGNER AND ARCHITECT.
- GRADE TO SMOOTH, UNIFORM SURFACE TO ELEVATIONS, SHOWN OR REQUIRED FOR POSITIVE DRAINAGE, FROST PROTECTION, AND CLEARANCES.
- SLOPE ALL GRADES A MINIMUM 1/4" PER FOOT AWAY FROM FOUNDATIONS, WALLS, WALKWAYS, DECKS, ETC.
- NEW TOPSOIL, IF REQUIRED, SHALL BE REASONABLY FREE OF OBNOXIOUS WEEDS, STONES, LUMPS, PLANTS OR THEIR ROOTS, STICKS OR OTHER EXTRANEOUS MATTER, AND SHALL NOT BE WORKED IN A FROZEN OR MUDDY CONDITION.

SECTION 8: EXCAVATION

- EXCAVATE TO GRADES INDICATED IN THE DRAWINGS AND TO ALLOW FOOTINGS TO BEAR DIRECTLY ON UNDISTURBED SOIL AT THE MINIMUM REQUIRED DEPTH TO PROVIDE FROST PROTECTION.
- IF EXCAVATION TO DESIGN ELEVATIONS DISCLOSES UNSUITABLE BEARING SOIL AT THAT LEVEL, OBTAIN AUTHORIZATION FROM THE SOILS OR STRUCTURAL ENGINEER OR ARCHITECT BEFORE PROCEEDING WITH ADDITIONAL EXCAVATION. ADDITIONAL EXCAVATION COSTS SHALL BE DETERMINED AND AGREED TO WITH THE OWNER PRIOR TO PROCEEDING WITH ADDITIONAL WORK.
- IF DURING THE COURSE OF EXCAVATION, SOLID ROCK FORMATIONS ARE ENCOUNTERED, REQUIRING DRILLING AND/OR BLASTING, THE ADDITIONAL COSTS SHALL BE THE OWNER'S RESPONSIBILITY AND SHALL BE DETERMINED AND AGREED TO WITH THE OWNER PRIOR TO PROCEEDING WITH ADDITIONAL WORK.
- THE GENERAL CONTRACTOR SHALL PROVIDE FOR DE-WATERING OF EXCAVATIONS FROM EITHER SURFACE WATER, GROUND WATER, OR SEEPAGE AS NECESSARY.
- BARRICADE OPEN HOLES, TRENCHES, AND DEPRESSIONS OCCURRING AS PART OF THE WORK. PROVIDE AND INSTALL ALL CRIBBING, SHORING AND BRACING REQUIRED TO SAFELY RETAIN EARTH EMBANKMENTS.

SECTION 9: BACKFILLING

- THESE NOTES ARE TO BE FOLLOWED UNLESS DIRECTED OTHERWISE BY THE SOILS ENGINEER, STRUCTURAL ENGINEER, ARCHITECT, OR BUILDING OFFICIAL. CONTACT THE ARCHITECT FOR CLARIFICATION AND/OR ADDITIONAL INFORMATION REGARDING THIS ISSUE.
- ALL FILL SHALL BE FREE-DRAINING, PREDOMINATELY GRANULAR MATERIAL AND FREE OF ORGANIC AND EXPANSIVE MATERIAL AND CAREFULLY PLACED TO PROTECT ALL WORK AND MECHANICALLY COMPACTED IN 6" LIFTS AROUND FOUNDATION, UNDER SLABS, AND ADJACENT STEAM WALLS, TO 90% OF ASTM D698.
- ALL FILL UNDER FOOTINGS TO BE COMPACTED TO 95% OF ASTM D698.
- BACKFILL SHALL NOT BE PLACED AGAINST BASEMENT AND RETAINING WALLS UNTIL CONCRETE OR MASONRY GROUT HAS REACH ITS 28 DAY STRENGTH AND WALLS ARE STABILIZED WITH COMPLETED AND ANCHORED STRUCTURAL FLOOR FRAMING.

SECTION 10: TREES, PLANTS, AND GROUND COVER

- RESEEDING OF DAMAGED PORTIONS OF THE LAWN AROUND EXCAVATED AREAS AS REQUIRED TO REFURBISH TO ITS ORIGINAL CONDITION AND APPEARANCE SHALL BE THE OWNERS RESPONSIBILITY UNLESS AGREED TO OTHERWISE, WHERE APPLICABLE.

SECTION 11: GENERAL CONCRETE WORK

- NO CONCRETE WORK SHALL BE PLACED ON FROZEN, SOFT, LOOSE, WET, OR SOGGY SOIL.
- BOTTOM OF EXCAVATIONS SHALL BE CLEAN, FLAT, AND FREE OF ANY LOSE DIRT, DEBRIS, OR ORGANIC MATERIAL.
- PROVIDE AND INSTALL BLOCK-OUTS, UTILITY SLEEVES, CONNECTORS, ETC. AS SHOWN AND AS NECESSARY.
- PROVIDE AND INSTALL INSULATION, VAPOR BARRIERS EXPANSION JOINTS, LEVELING BED, REINFORCEMENT, ETC. AS SHOWN AND REQUIRED.
- VERIFY ALL SOIL CONDITIONS. ALL FOOTING SIZES ARE CALCULATED FOR A SOIL BEARING CAPACITY AS SHOWN.
- PROVIDE OVER-EXCAVATION AND COMPACTED BACKFILL AS REQUIRED.
- CHAMFER ALL EXPOSED EDGES OF CONCRETE 3/4" (MIN), U.O.N.
- PROVIDE 1/2" EXPANSION JOINT MATERIAL BETWEEN ALL CONCRETE SLABS (1" RIGID FOAM AT INSULATED AND RADIANT SLABS) AND ABUTTING CONCRETE OR MASONRY WALLS.

SECTION 12: CONCRETE REINFORCEMENT

- REINFORCING STEEL SHALL BE DEFORMED BARS IN ACCORDANCE WITH ASTM A-615; GRADE 40 FOR REINFORCED SIZES #4 AND SMALLER, GRADE 60 FOR REINFORCED SIZES #5 AND LARGER.
- CONCRETE SLAB REINFORCEMENT SHALL BE 6 X 6 10/10 WELDED WIRE FABRIC OR FIBER MESH REINFORCING; U.O.N. LAP WWF 12" AT SPLICES.
- STEEL REINFORCEMENT SHALL BE CLEAN AND FREE OF RUST, SCALE, DIRT OR GREASE.
- ALL REINFORCING STEEL, ANCHOR BOLTS, DOWELS AND OTHER INSERTS SHALL BE SECURELY FASTENED IN THE FORMS PRIOR TO INSPECTION TO INSURE MINIMUM CONCRETE COVER AS FOLLOWS:FOOTINGS: CONCRETE PLACED AGAINST EARTH3" CONCRETE PLACED AGAINST FORMS EXPOSED TO EARTH2"WALLS: INTERIOR FACE3/4" ;EXTERIOR FACE1-1/2". SLABS: TOP OR BOTTOM1". PIERS: EXTERIOR FACE1-1/2"
- MINIMUM LAP AND BEND FOR ALL REBAR SHALL BE 48 DIAMETERS.
- MINIMUM 48 HOUR NOTICE SHALL BE GIVEN ARCHITECT PRIOR TO EACH DAY OF POUR FOR STEEL INSPECTION.
- SHLLS SHALL BE BOLTED TO CONCRETE WITH 5/8" DIAMETER ANCHOR BOLTS WITH 7" MIN. EMBEDMENT AT 4'-0" O.C., UNO. BOLTS SHALL OCCUR NOT MORE THAN 12", NOR LESS THAN 6" FROM EACH END OF ANY PIECE WITH A MINIMUM OF 2 BOLTS TO ANY PIECE. SHOP PINS MAY BE USED AT INTERIOR LOCATIONS AND AS SHOWN, UNLESS OTHERWISE NOTED AND SPECIFIED IN ARCHITECTURAL OR STRUCTURAL DRAWINGS.

SECTION 13: CONCRETE

- PORTLAND CEMENT SHALL CONFORM TO ASTM C-150 (TYPE II) UNLESS ALKALINE SOILS ARE PRESENT.
- WATER SHALL BE FIT TO DRINK.
- FINE AGGREGATES SHALL BE NATURAL SAND OR CRUSHED STONE OR GRAVEL TO 1/4" MAXIMUM. COARSE AGGREGATES SHALL BE CRUSHED STONE OR GRAVEL 1/4" TO 1-1/2" AND NOT GREATER THAN 1/5 OF THICKNESS AT WALLS AND FOOTINGS, AND NOT GREATER THAN 1/3 OF THICKNESS AT SLABS.
- CONCRETE SHALL BE PLACED WITH A MAXIMUM SLUMP OF 4". USE PLASTICIZERS WHERE MORE WORKABLE CONCRETE IS DESIRED.
- CONCRETE SHALL BE MAINTAINED IN A MOIST CONDITION FOR A MINIMUM OF FIVE (5) DAYS AFTER PLACEMENT. ALTERNATE METHODS OF CURING WILL BE APPROVED IF SATISFACTORY PERFORMANCE CAN BE DEMONSTRATED.
- CONCRETE SHALL ACHIEVE A MINIMUM OF 3,000 PSI COMPRESSION STRENGTH AT 28 DAYS, UNLESS NOTED OTHERWISE IN THE ARCHITECTURAL OR STRUCTURAL DRAWINGS.

SECTION 14: PROTECTION AND CURING

- ALL CONCRETE SHALL BE PROTECTED FROM INJURIOUS ACTION OF THE ELEMENTS AND DEFACTEMENT OF ANY NATURE DURING CONSTRUCTION OPERATIONS.
- PROVIDE AND MAINTAIN PROPER CURING CONDITIONS REQUIRED FOR ALL CONCRETE WORK IN ACCORDANCE WITH ACI 301-72 (REVISED 1975), U.O.N. IN ARCHITECTURAL OR STRUCTURAL DRAWINGS AND/OR SPECIFICATIONS.

SECTION 15: NON-SHRINK GROUT

- NON-SHRINK GROUT SHALL BE CEMENT BASED WITH A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI WHEN TESTED IN ACCORDANCE WITH ASTM C-109.
- GROUT SHALL BE MIXED AND PLACED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

SECTION 16: GENERAL MASONRY WORK

- REMOVE ALL MORTAR STAINS AS A RESULT OF NEW MASONRY WORK.
- SEE CONCRETE NOTES FOR REINFORCING DESCRIPTION.

SECTION 17: MORTAR AND GROUT

- ALL MORTAR FOR REINFORCED MASONRY WALLS SHALL BE AS PER UBC TABLE NO. 24-A AND SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 1,800 PSI AT 28 DAYS, U.O.N. IN THE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS AND/OR SPECIFICATIONS.
- ALL MORTAR SHALL BE MIXED BY MECHANICAL MEANS AND PROPORTIONED BY ACCURATE MEASUREMENT.
- ALL GROUT FOR GROUTED VOIDS SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 2,000 PSI. FINE GROUT SHALL BE A MIX OF ONE PART PORTLAND CEMENT AND 2 1/4 TO 3 PARTS SAND. COARSE GROUT SHALL BE ONE PART PORTLAND CEMENT AND 2 1/4 TO 3 PARTS SAND, AND 2 PARTS (MAX) PEA GRAVEL (3/8"). SEE UBC TABLE NO. 24-B.
- CEMENT SHALL CONFORM TO ASTM C-150. THE USE OF PLASTIC/MASONRY CEMENTS WILL NOT BE ALLOWED.
- WATER SHALL BE FIT TO DRINK.

SECTION 18: UNIT MASONRY AND STONE/BRICK VENEER

- CONCRETE MASONRY UNITS TO BE ASTM C 90-70 GRADE N TYPE 1, 1000 PSI, ASTM C331 AND C33 MOISTURE CONTENT 30% MAXIMUM OF TOTAL ABSORPTION.
- ALL VENEER SHALL BE ANCHORED TO STRUCT. ELEMENTS USING CORROSION RESISTANT ANCHOR TIES. TIES SHALL BE A MIN 22 GA X 1" WITH MAX VERT AND HORIZ SPACING OF 16" O.C.
- NO MASONRY WORK SHALL BE LAID WHEN THE TEMPERATURE OF THE OUTSIDE AIR IS BELOW THAT REQUIRED BY THE MORTAR PRODUCT FOR PROPER INSTALLATION AND CURING, UNLESS PROVISION IS MADE TO MAINTAIN THE MASONRY ABOVE THIS TEMPERATURE AND KEEP IT FROM FREEZING.

SECTION 19: GENERAL METAL WORK

- PROVIDE AND INSTALL ALL STRUCTURAL STEEL, CONNECTORS, FASTENERS AND ACCESSORIES AS SHOWN ON THE DRAWINGS, MATERIALS LIST, AND AS REQUIRED FOR PROPER INSTALLATION OF STRUCTURAL MEMBERS.
- PRIME ALL EXPOSED STEEL MEMBERS WITH RUSTOLEUM #5769 PRIOR TO FINISH COAT.
- MATERIALS, STANDARDS, AND DETAILS SHALL CONFORM TO APPLICABLE AISC STANDARDS.

SECTION 20: STRUCTURAL STEEL

- STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36.
- TUBE AND PIPE COLUMNS SHALL CONFORM TO ASTM A-500 GRADE B AND ASTM A-53.
- ALL WELDING SHALL BE DONE BY CERTIFIED WELDERS, CERTIFIED FOR THE TYPE OF WELDS REQUIRED FOR THE JOB.
- ALL STEEL TO STEEL CONNECTIONS SHALL BE MADE WITH A-325 HIGH STRENGTH BOLTS.

SECTION 21: PREFABRICATED METAL CONNECTORS

- PROVIDE AND INSTALL ALL METAL CONNECTORS AS SHOWN AND REQUIRED FOR PROPER INSTALLATION OF STRUCTURAL MEMBERS.
- USE SIMPSON STRONG-TIE CONNECTORS OR EQUAL. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR FASTENERS. CALL FABRICATED BEAM AND POST CONNECTORS SHALL BE OF SAME WIDTH OF STRUCTURAL MEMBER PLUS 1/16" TO 1/8" MAXIMUM.
- HOLES IN FABRICATED CONNECTORS FOR BOLTS SHALL BE THE SAME DIAMETER OF THE BOLT PLUS 1/16" MAXIMUM.

SECTION 22: GENERAL CARPENTRY

A.TAKE CARE TO AVOID SPLITTING OF FRAMING AND FINISH MATERIALS DURING INSTALLATION.

B.APPROPRIATE CONNECTORS AND FASTENERS SHALL BE USED (WHETHER INDICATED OR NOT) TO PROVIDE PROPER INSTALLATION OF STRUCTURAL MEMBERS AND FINISH PIECES TO DEVELOP THEIR STRENGTH, RIGIDITY, AND PROPER INSTALLATION AND APPEARANCES FOR THE PURPOSES FOR WHICH THEY ARE INTENDED.

SECTION 23: FASTENERS

- FRAMING: COMMON WIRE NAILS AS SHOWN AND REQUIRED.
- EXTERIOR TRIM AND SIDING: RUST RESISTANT STAINLESS STEEL; HOT-DIPPED GALVANIZED, OR HIGH-TENSION STRENGTH ALUMINUM NAILS. MINIMUM EMBEDMENT OF 1-1/2" INTO SOLID NAILING.
- DECKING: 2 (MIN)-3" DECK SCREWS, AT EACH JOIST PER PIECE; COUNTERSUNK.
- INTERIOR TRIM: FINISH NAILS; BLIND NAIL WHERE PRACTICAL; COUNTERSINK HEADS WHERE FACE NAILING.
- POST AND BEAM: BOLT, SCREW OR NAIL AS SHOWN OR REQUIRED.
- ROOF DECKING: 10D AT 6" O.C. AT EDGES, 10D AT 10" O.C. FIELD.
- FLOOR DECKING: GLUE WITH CONSTRUCTION ADHESIVE AT EACH JOIST; 10D AT 6" O.C. AT EDGES; 10D AT 10" O.C. FIELD.
- LEDGERS: LAG SCREWS AS INDICATED.
- FABRICATED CONNECTORS: AS INDICATED OR AS REQUIRED OR PER MANUFACTURER REQ.MTS.

SECTION 24: FRAMING CARPENTRY AND MATERIALS

- ALL DIMENSION LUMBER SHALL BE S4S, UNO. USE ONLY GRADED LUMBER AND WOOD PRODUCTS AS NOTED AND APPROPRIATE. MATERIALS MUST BE SOUND, SEASONED, WELL MANUFACTURED, FREE FROM WARP WITH MAXIMUM MOISTURE CONTENT OF 19%. JOISTS TO HAVE 1 1/2" (MIN) BEARING ON WOOD OR METAL OR 3" (MIN) ON MASONRY.
- ALL MANUFACTURED 1-JOIST (LPI, BCI, TJI, ETC) MEMBERS TO BE INSTALLED PER MANUFACTURER REQUIREMENTS. PROVIDE 1 3/4" BEARING (MIN) AT JOIST AND RAFTER ENDS AND 3 1/2" (MIN) AT INTERMEDIATE SUPPORTS. SUBSTITUTIONS FOR SPECIFIED MEMBERS MUST MEET DESIGN CRITERIA. PROVIDE WEB STIFFENERS AS NECESSARY.
- ALL GLULAMINATED BEAMS AND COLUMNS SHALL BE OF COMBINATION 24F-V4 (24F-V8 FOR CONTINUOUS OR CANTILEVERED BEAMS), AND SHALL BE FABRICATED OF DOUGLAS FIR LAMINATIONS AND EXTERIOR GLUES, PER AITC STANDARD 117. CAMBER SHALL BE AS SHOWN. ARCHITECTURAL FINISH STANDARDS SHALL BE APPLIED FOR EXPOSED BEAMS. PROVIDE 1 1/2" (MIN) BEARING AT ENDS; U.O.N.
- ALL TRUSSES TO BE ENGINEERED AND PREFABRICATED BY THE TRUSS MANUFACTURER. VERIFY ALL LAYOUTS, BEARING CONDITIONS, SPANS, SIZES, ETC PRIOR TO PLACING ORDER.
- ALL HEADERS BELOW 6'-0" SPAN TO BE PROVIDED WITH 1 1/2" (MIN) BEARING. ALL HEADERS OVER 6'-0" SPAN TO BE PROVIDED WITH 3" (MIN) BEARING; U.O.N.

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PENN AVENUE RESIDENCES
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GENERAL CONTRACTORS, SUB CONTRACTORS, AND ALL TRADESMEN ARE TO USE INSTALLATION REQUIREMENTS AS ISSUED BY THE MANUFACTURERS OF THE PRODUCTS INSTALLED, AS WELL AS ALL APPLICABLE BUILDING CODES. THESE DRAWINGS ARE GENERAL DESIGN INTENT AND DO NOT REPLACE TECHNICAL REQUIREMENTS OF WARRANTED INSTALLATIONS BY MANUFACTURERS OR BUILDING CODES.
 CIPRIANI STUDIOS EXPRESSLY RESERVES COMMON LAW COPYRIGHT AND OTHER PROPRIETARY RIGHTS TO ALL DESIGNS & INFORMATION IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION OF CIPRIANI STUDIOS.

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GENERAL NOTES

SECTION 24: FRAMING CARPENTRY AND MATERIALS - CONTINUED

- SILL PLATES AND OTHER STRUCTURAL WOOD MEMBERS TO BE IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED HEM-FIR. FOUNDATION GRADE REDWOOD (AN ENDANGERED SPECIES) SHALL BE USED ONLY AS INDICATED ON THE DRAWINGS OR AS NECESSARY FOR APPEARANCE.
- FLOOR AND ROOF DECKING SHALL BE INSTALLED WITH GRAIN PERPENDICULAR TO JOISTS OR RAFTERS, WHILE BEARING ON A MINIMUM OF THREE JOISTS OR RAFTERS.
- LAY OUT PLUMBING LINES PRIOR TO JOIST AND PANEL LAYOUT. ADJUST JOIST LAYOUT AND HEADER-OFF FOR PLUMBING REQUIREMENTS AS REQUIRED.
- POSTS SHALL BE AS SHOWN AND AS NECESSARY, AND SHALL PROVIDE SECURE, SOLID, AND FULL BLOCKING AT ALL BEARING POINTS DOWN TO THE FOUNDATION.
- STAGGER TOP AND DOUBLE PLATE JOINTS 4'-0" (MINIMUM) AT EXTERIOR WALLS AND BEARING PARTITIONS. OVERLAP PLATES AT ALL CORNERS.
- INSTALL A MINIMUM OF THREE STUDS WITH BLOCKING AT EVERY CORNER FOR WALL AND FINISH CONNECTIONS AND INSTALLATIONS.
- ALL LOAD BEARING STUDS AND FLOOR JOISTS SHALL BE STACK-FRAMED, U.O.N.
- DOUBLE JOISTS AND RAFTERS AT ALL OPENINGS UNLESS SHOWN OTHERWISE.
- PROVIDE CONTINUOUS SOLID BRIDGING AT 8'-0" O.C. (MAX.) BETWEEN ALL FLOOR JOISTS AND RAFTERS, UNLESS INDICATED OTHERWISE.
- PROVIDE CONTINUOUS BLOCKING BETWEEN JOISTS AND RAFTERS AT ALL BEARING POINTS.
- PROVIDE BLOCKING UNDER PARALLEL EXTERIOR WALLS AND WALL PARTITIONS @ 4'-0" O.C. (MAX) AND AS NECESSARY.
- PROVIDE 2 X BLOCKING, FURRING, NAILERS, SHIMS, ETC REQUIRED FOR INSTALLATION OF WALL FINISH MATERIALS, CABINETS, CLOSET SHELVING AND ROODS, BATHROOM ACCESSORIES, SOFFITS, TRIM, ETC.
- ALL WALLS SHALL BE FIRE STOPPED WITH 2 X BLOCKING OR OTHER APPROVED MATERIAL @ FLOOR, CEILING, AND AT INTERVALS NOT TO EXCEED 8 FEET (VERTICALLY BETWEEN FLOOR AND CEILING).
- PROVIDE SWAY BRACING AS REQUIRED; PER UBC 2517 (G) 3 AND AS SHOWN.
- INSULATE ALL FRAMING CAVITIES WITH FIBERGLASS (I.E., PARTITION NAILERS, RIMS, CORNERS, ETC) DURING FRAMING AND BEFORE COVERING THESE CAVITIES TO RENDER INACCESSIBLE, WHERE//IF OCCURS IN PANEL GAPS IN EXTERIOR WALL.

SECTION 25: EXTERIOR SIDING AND TRIM CARPENTRY

- CAULK ALL EXTERIOR JOINTS AROUND SIDING JOINTS, WINDOWS AND DOORS.
- INSTALL 15# FELT, BUILDING PAPER, OR TYVEK OVER WALL SHEATHING PRIOR TO SIDING INSTALLATION.
- INSTALL SIDING PER MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS.

SECTION 26: EXTERIOR DECKS, STAIRS, AND RAILINGS

- ALL STRUCTURAL MEMBERS SHALL BE PRESSURE-TREATED HEM-FIR.
- INSTALL SHEET METAL FLASHING BEHIND WALL AND UNDER DECKING.
- INSTALL 2X DECKING WITH 3/16" SPACING BETWEEN MEMBERS.

SECTION 27: FINISH CARPENTRY

- INTERIOR TRIM MATERIAL SHALL BE INSTALLED AS PER THE HIGHEST STANDARDS OF CRAFTSMANSHIP READY FOR FINISHES AS SPECIFIED.
- SAND, STAIN, AND FINISH INTERIOR TRIM PRIOR TO INSTALLATION.
- FILL ALL NAIL HOLES WITH COLOR PUTTY TO MATCH STAIN COLOR.

SECTION 28: INTERIOR STAIRS AND RAILINGS

- STAIRS SHALL CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS AND SHALL BE AS PER OWNER INPUT DURING THE CONSTRUCTION PROCESS. VERIFY THE DESIGN AND SPECIFICATIONS OF THE STAIR CONSTRUCTION WITH THE OWNER PRIOR TO CONSTRUCTION.
- STAIR PARTS SHALL BE SITE BUILT AND INSTALLED BY THE GENERAL CONTRACTOR AS SHOWN IN THE DRAWINGS.
- PROVIDE BLOCKING AS REQUIRED FOR RIGID AND SOLID BEARING FOR STAIR TREADS.
- SCREW AND PLUG BALUSTERS, RAILS, AND CAP WITH DECK SCREWS AND CONTRASTING PLUGS AS REQUIRED.

SECTION 29: CUSTOM CASEWORK

- PERFORM WORK TO CUSTOM QUALITY IN ACCORDANCE WITH "QUALITY STANDARDS" OF THE ARCHITECTURAL WOODWORK INSTITUTE (AWI).
- HARDWARE SHALL BE AS SELECTED BY OWNER TO MATCH EXISTING.
- PROVIDE AND SECURELY INSTALL 3/4" CDX, EXTERIOR GRADE PLYWOOD TOPS FOR THINSET COUNTER TOPS.
- PROVIDE CUTOUTS FOR PLUMBING FIXTURES, INSERTS, APPLIANCES, OUTLET BOXES, AND OTHER FIXTURES AND FITTINGS. VERIFY LOCATIONS OF CUTOUTS FROM ON-SITE DIMENSIONS. SEAL CONTACT SURFACES OF CUT EDGES.
- SAND WORK SMOOTH AND SET EXPOSED NAILS. APPLY WOOD FILLER IN EXPOSED NAIL INDENTATIONS. ON ITEMS TO RECEIVE TRANSPARENT FINISHES, USE WOOD FILLER WHICH MATCHES SURROUNDING SURFACES AND OF TYPES RECOMMENDED FOR APPLIED FINISHES. STAIN AND FINISH ALL EXPOSED EXTERIOR SURFACES. SEAL, CONCEALED AND SEMI-CONCEALED SURFACES.
- SET AND SECURE CASEWORK IN PLACE RIGID, PLUMB, AND LEVEL. USE PURPOSE DESIGNED FIXTURE ATTACHMENTS AT CONCEALED LOCATIONS FOR WALL MOUNTED COMPONENTS. SECURE CABINET AND COUNTER BASES TO FLOOR USING APPROPRIATE ANGLES AND ANCHORAGES. COUNTER-SINK ANCHORAGE DEVICES AT EXPOSED LOCATIONS USED TO WALL MOUNT COMPONENTS, AND CONCEAL WITH SOLID PLUGS OF SPECIES TO MATCH SURROUNDING WOOD. FINISH FLUSH WITH SURROUNDING SURFACES.
- ADJUST DOORS, DRAWERS, HARDWARE, FIXTURES AND OTHER MOVING OR OPERATING PARTS TO FUNCTION SMOOTHLY AND CORRECTLY. CLEAN CASEWORK, COUNTERS, SHELVES, HARDWARE, FITTINGS AND FIXTURES.

SECTION 30: GENERAL THERMAL AND MOISTURE PROTECTION

- PROVIDE AND MAINTAIN CONTINUOUS AND CLEAR PASSAGE OF AIR ABOVE INSULATION AND BELOW ROOF DECKING, FROM SOFFIT TO RIDGE, HIP, OR END WALL VENTS. PROVIDE LATERAL FLOW @ VALLEYS, SKYLIGHTS, ETC.
- PROVIDE AND INSTALL ALL INSULATIONS, CAULKING, SEALANTS, VAPOR BARRIERS, ROOFING, VENTILATION, SIDINGS AND TRIMS, AND FLASHING, ETC. AND THEIR ACCESSORIES AS SHOWN AND REQUIRED TO PROVIDE A WEATHER-TIGHT SEAL, ELIMINATE INFILTRATION, MINIMIZE HEAT LOSS AND TO PROVIDE A PROTECTED, ENERGY EFFICIENT STRUCTURE.

SECTION 31: DAMP PROOFING & MEMBRANE WATERPROOFING

- MAINTAIN AMBIENT AND SURFACE TEMPERATURES ABOVE 40° FOR 24 HOURS BEFORE APPLICATION, AND CONTINUOUSLY UNTIL DAMP PROOFING HAS CURED.
- DO NOT APPLY DAMP PROOFING TO DAMP, FROZEN, DIRTY, DUSTY, OR DECK SURFACES UNACCEPTABLE TO APPLICATOR. CLEAN AND PREPARE SURFACES TO RECEIVE DAMP PROOFING IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. PRIME SURFACES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. PERMIT PRIMER TO DRY.
- VERIFY SURFACES ARE SOLID, FREE OF FROZEN MATTER, LOOSE PARTICLES, CRACKS, PITS, ROUGH PROJECTIONS, AND FOREIGN MATTER DETRIMENTAL TO ADHESION AND APPLICATION OF DAMP PROOFING.
- VERIFY ITEMS WHICH PENETRATE SURFACES TO RECEIVE DAMP PROOFING ARE SECURELY INSTALLED. APPLY MEMBRANE TO SEAL PENETRATIONS, SMALL CRACKS, AND HONEYCOMB IN SUBSTRATE. USE ONLY MEMBRANE WATERPROOFING AT HIGH WATER AREAS.
- APPLY 2 COATS OF COLD APPLIED ASPHALT BITUMEN DAMP PROOFING ON ALL EXTERIOR FOUNDATION WALLS., U.O.N. APPLY EACH COAT OF COLD BITUMEN WITH ROLLER OR BRUSH AT A CONTINUOUS AND UNIFORM RATE AS PER MANUFACTURER'S INSTRUCTIONS. APPLY FROM 2 INCHES BELOW FINISH GRADE ELEVATION TO TOP OF FOOTINGS.
- PROTECT FINISHED DAMP PROOFING FROM DAMAGE DURING BACKFILL OPERATIONS.

SECTION 32: VENTILATION

- PROVIDE CONTINUOUS 2" VENTILATION SPACE ABOVE ROOF INSULATION AND BELOW ROOF DECKING, FRO CONTINUOUS SOFFIT VENTS TO RIDGE VENTS, AS SHOWN AND NECESSARY.
 - PROVIDE ATTIC AND CRAWL SPACE VENTILATION AT A RATIO OF 1 SQUARE FOOT OF VENT PER 150 SQUARE FEET OF FLOOR AREA. A PROPERLY SIZED, HUMIDITY CONTROLLED FAN WITH INTAKE AND EXHAUST VENTS IS ALSO CONSIDERED ACCEPTABLE AT CRAWL SPACE AREAS.
- SECTION 33: VAPOR AND AIR RETARDERS**
- CAREFULLY INSTALL ALL VAPOR BARRIERS TO PROVIDE A CONTINUOUS SEAL AGAINST WATER VAPOR.
 - OVERLAP ALL SEAMS AND THOROUGHLY STAPLE WHILE AVOIDING WRINKLES IN THE SHEETING.
 - AVOID PENETRATIONS AND UNNECESSARY CUTTING OF THE BARRIER OR UNDERLAYMENT.
 - CLOSELY CUT BARRIER AT WINDOW, DOOR, AND SKYLIGHT OPENINGS. INSTALL VAPOR BARRIER PIECES AT INSIDE CORNERS OF FRAMING.
 - CLOSELY CUT BARRIER AT ELECTRICAL OUTLETS AND SWITCHES, ETC. RESEAL PERIMETER WITH CAULK OR SPRAY FOAM INSULATION.
 - LAP PERMEABLE ROOFING AND WALL UNDERLAYMENTS A MINIMUM OF 2".
 - ALL VAPOR BARRIERS TO CRAWL SPACE FLOORS IN WET LOCATIONS.

SECTION 34: INSULATION

- INSULATE ALL EXTERIOR FRAMING CAVITIES THAT WILL BECOME INACCESSIBLE WHILE FRAMING (IE. HEADERS, CORNERS, PARTITION NAILERS, ETC.) WITH FIBERGLASS., U.O.N.
- INSTALL 1 X 6 SILL SEALER AT ALL EXTERIOR INTERFACES BETWEEN WOOD FRAMING AND STONE MASONRY.
- LOOSELY INSTALL FIBERGLASS OR OTHER INSULATION BETWEEN DOOR, WINDOW, AND SKYLIGHT JAMBS AND FRAMING TO AVOID BENDING OF JAMBS.
- INSTALL ALL INSULATION TO MAINTAIN A CONTINUOUS THERMAL LAYER BETWEEN THE INTERIOR AND EXTERIOR.
- INSULATE ALL HEATING AND PLUMBING DUCTS AND PIPING TO MINIMIZE HEAT LOSS FOR THE LENGTH OF THEIR RUNS. PROVIDE ADEQUATE INSULATION AND TO PREVENT THE FREEZING OF WATER PIPING IN UNHEATED AREAS.

SECTION 35: SHINGLE ROOFING

- INSTALL NEW FELT PAPER UNDERLAYMENT AS SHOWN. LAP A MINIMUM OF 2" AND THOROUGHLY STAPLE WHILE AVOIDING WRINKLES IN THE SHEETING. AVOID PENETRATIONS AND UNNECESSARY CUTTING OF THE UNDERLAYMENT.
- INSTALL ROOFING, RIDGE VENTILATION, AND FLASHING, ETC. AND THEIR ACCESSORIES AS SHOWN AND REQUIRED TO PROVIDE A WEATHER-TIGHT SEAL, STRAIGHT AND TRUE, AND WITH FASTENERS SET.

SECTION 36: SIDING

- CAULKING SHALL BE APPLIED AT ALL JOINTS BETWEEN SIDING AND SIDING, AND BETWEEN SIDING AND TRIM.
- GALVANIZED (U.O.N.) DRIP CAP FLASHING SHALL BE PROVIDED AND INSTALLED AT TOPS OF ALL WINDOWS, DOORS, HORIZONTAL JOINTS BETWEEN SIDING, TRIM, AND OTHER EXTERIOR FINISHES AND AS REQUIRED.
- INSTALL 15# FELT, BUILDING PAPER, OR TYVEK OVER WALL SHEATHING PRIOR TO SIDING INSTALLATION.

SECTION 39: SHEET METAL FLASHING AND TRIM

- EXERCISE CARE WHEN WORKING ON OR ABOUT ROOF SURFACES, OR OTHER WATER IMPERVIOUS MEMBRANES, TO AVOID DAMAGING OR PUNCTURING UNDERLAYMENT, ROOFING, OR FLASHINGS.
- VERIFY ROOF OPENINGS, CURBS, PIPES, SLEEVES, DUCTS, OR VENTS THROUGH ROOF ARE SOLIDLY SET. BEGINNING OF INSTALLATION MEANS ACCEPTANCE OF EXISTING CONDITIONS.
- PROVIDE AND INSTALL 26 GAUGE GALVANIZED SHEET METAL FLASHING AS SHOWN AND REQUIRED AT CONCEALED AND EXPOSED AREAS. COLOR AT EXPOSED AREAS TO MATCH ROOFING; UNO.
- INSTALL FLASHING SLEEVES AND COLLARS (PROVIDED BY THE GENERAL CONTRACTOR) FOR ELECTRICAL AND PLUMBING ITEMS PROTRUDING THROUGH ROOFING MATERIAL. INSTALL STARTER AND EDGE STRIPS, AND CLEATS BEFORE STARTING INSTALLATION. FIT FLASHINGS TIGHT IN PLACES. MAKE CORNERS SQUARE, SURFACES TRUE AND STRAIGHT IN PLANES, AND LINES ACCURATE TO PROFILES.
- SECURE FLASHINGS IN PLACE USING CONCEALED FASTENERS. WHEN USING EXPOSED FASTENERS, THEY ARE TO BE OF THE SAME FINISH AS THE FLASHINGS. APPLY PLASTIC CEMENT COMPOUND BETWEEN METAL FLASHINGS AND FELT FLASHINGS.

SECTION 40: CAULKING AND SEALANTS

- CAULK ALL EXTERIOR JOINTS AROUND SIDING JOINTS, WINDOWS AND DOORS.
- USE COLORED CAULK AT EXPOSED AREAS TO BLEND WITH ADJACENT MATERIALS OR CAULK TO ACCEPT MATERIAL FINISH.
- WARM ALL CAULKING AND SEALANTS PRIOR TO USE, PER THE MANUFACTURERS RECOMMENDATIONS.

SECTION 41: GENERAL WINDOW, DOORS, SKYLIGHTS, AND HARDWARE

- PROVIDE PROPER ROUGH OPENINGS FOR ALL WINDOWS AND DOORS. PREPARE OPENING TO PERMIT CORRECT INSTALLATION OF WINDOW UNIT AND AIR AND VAPOR BARRIER SEAL.
- PROVIDE AND INSTALL ALL WINDOWS, DOORS, AND HARDWARE AND THEIR ACCESSORIES AS SHOWN AND ACCORDING TO MANUFACTURER'S RECOMMENDATIONS FOR COMPLETE AND PROPER INSTALLATION.
- ALL BEDROOM EGRESS WINDOWS SHALL HAVE A NET CLEAR OPENING HEIGHT DIMENSION NO LESS THAN 24" AND A NET CLEAR OPENING WIDTH NO LESS THAN 20" AND THE NET CLEAR OPENING MUST EQUAL 5.7 SQ. FT. MIN. THE MAXIMUM FINISHED SILL HEIGHT MUST BE NO GREATER THAN 44" ABOVE THE FINISHED FLOOR.
- CONTRACTOR SHALL PROVIDE A COPY OF THE WINDOW ORDER TO THE ARCHITECTS PRIOR TO PLACING ORDERS FOR THE WINDOWS FOR VERIFICATION OF REQUIRED DIMENSIONAL CRITERIA PER THE APPROVED PLANS

SECTION 42: DOORS

- ALL INTERIOR AND EXTERIOR DOORS SHALL BE PREHUNG, BORED, AND DRILLED UNLESS NOTED OTHERWISE ON THE DOOR SCHEDULE AND INSTALLED BY THE GENERAL CONTRACTOR.
- ALL EXTERIOR DOORS TO INCLUDE FULL WEATHERSTRIPPING AND ADJUSTABLE THRESHOLD AS PROVIDED BY THE DOOR MANUFACTURER.
- PROVIDE SOLID CORE, 1HR. RATED DOOR WITH CLOSER FOR SEPARATION BETWEEN GARAGE AND LIVING AREAS.

SECTION 43: SECTIONAL OVERHEAD DOORS

- OVERHEAD SECTIONAL DOOR, DOOR OPERATOR, HARDWARE, TRACK, CONTROLS, AND ALL ACCESSORIES TO BE PROVIDED AND INSTALLED BY A QUALIFIED AND EXPERIENCED COMPANY
- OVERHEAD SECTION DOOR SHALL BE INSULATED WITH RIGID FOAM INSULATION AND TO INCLUDE FULL PERIMETER WEATHERSTRIPPING AS PROVIDED BY THE DOOR MANUFACTURER, INCLUDING 'ADJUSTABLE' BOTTOM.

SECTION 44: WOOD WINDOWS

- ALL WOOD WINDOWS SHALL BE PRE-MANUFACTURED WITH EXTRUDED ALUMINUM CLADDING, HIGH-ALTITUDE INSULATING GLAZING, WEATHERSTRIPPING, INSECT SCREENS (OPERABLE UNITS ONLY), OPERATING AND LOCKING HARDWARE (AS SELECTED BY THE OWNER) AND WITHOUT JAMB EXTENSIONS. ALL WINDOWS TO BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. MAXIMUM DIAGONAL DISTORTION TO BE: 1/16" MEASURED WITH STRAIGHT EDGE, CORNER TO CORNER. ADJUST FOR SMOOTH AND BALANCED WINDOW MOVEMENT. WINDOW UNITS SHALL BE FABRICATED TO MANUFACTURER'S STANDARD FABRICATION REQUIREMENTS.
- SEE THE WINDOW AND DOOR SCHEDULE FOR INFORMATION AND SPECIFICATION REGARDING THE WINDOWS IN THIS PROJECT.

SECTION 45: DOOR HARDWARE

- PACKAGE HARDWARE ITEMS INDIVIDUALLY; LABEL AND IDENTIFY PACKAGE WITH DOOR OPENING CODE TO MATCH HARDWARE SCHEDULE.
- MAINTAIN ALIGNMENT WITH ADJACENT WORK. SECURE ASSEMBLY WITHOUT DISTORTION OR STRESS.
- PROVIDE SPECIAL WRENCHES AND TOOLS APPLICABLE TO EACH DIFFERENT OR SPECIAL HARDWARE COMPONENTS. PROVIDE MAINTENANCE TOOLS AND ACCESSORIES SUPPLIED BY HARDWARE COMPONENT MANUFACTURER.
- ALL DOOR LOCKS TO BE MASTER KEYS AS DIRECTED BY OWNER SUPPLY THE KEYS FOR EACH LOCK
- ALL HARDWARE AND TRIM ITEMS SHALL BE SELECTED BY THE OWNER AND PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR UNO
- MOUNTING HEIGHTS FOR HARDWARE FROM FINISHED FLOOR TO CENTER LINE OF HARDWARE ITEM SHALL BE AS INDICATED BELOW. VERIFY ALL MOUNTING HEIGHTS WITH MANUFACTURER OF HARDWARE ITEM TO INSURE COMPLIANCE WITH APPLICABLE CODES
- LOCK SETS: 3" 2. DOOR PULLS: 4" 3. DEAD LOCKS: 4"

SECTION 46: GENERAL PLUMBING AND MECHANICAL

- THE DRAWINGS ARE CONSIDERED SCHEMATIC AND ARE SHOWN AS A GUIDE FOR THE PLUMBING AND HEATING SYSTEMS. SUBMIT A PLUMBING AND HEATING DESIGN, WITH POSSIBLE OPTIONS, TO THE ARCHITECT, GENERAL CONTRACTOR, OR OWNER, ALONG WITH THE BID FOR WORK TO BE PERFORMED, IN ITS ENTIRETY, AS SHOWN ON THE SUBMITTED PLUMBING AND HEATING DESIGN.
- PROVIDE AND INSTALL SHUT-OFF VALVE ON COLD WATER LINE AT THE WATER HEATER.
- VERIFY ROUTING AND SIZES OF ALL NEW EQUIPMENT, FIXTURES, AND PLUMBING PRIOR TO BEGINNING WORK.
- PROVIDE AND INSTALL ALL FIXTURES, PIPING, AND FITTINGS FOR TIE-IN TO NEW PLUMBING FIXTURES FOR COMPLETE MECHANICAL SYSTEM.
- OFFSET PIPING, ETC. AS NECESSARY TO ACCOMMODATE STRUCTURE, BEAMS, COLUMNS, ETC. AND EXISTING PLUMBING LINES. COORDINATE CUTTING OR DRILLING OF STRUCTURAL MEMBERS WITH THE GENERAL CONTRACTOR TO FACILITATE PIPING RUNS AND TO AVOID DAMAGE.
- THE PLUMBING AND HEATING CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY IN THE FORM OF PAYMENT TO THE GENERAL CONTRACTOR FOR COSTS INCURRED TO REPAIR, TO THE SATISFACTION OF THE OWNER, ANY COMPROMISING OF STRUCTURAL MEMBERS, WORK OF OTHER TRADES, FINISHES, OR OTHER DAMAGE CAUSED WHILE ON SITE AND PERFORMING PLUMBING AND HEATING WORK.
- COORDINATE THE INSTALLATION OF THE HEATING SYSTEM AND HOT WATER SYSTEM WITH THE GENERAL CONTRACTOR TO INSURE ALL COMPONENTS OF EQUIPMENT AND CONTROLS ARE INCLUDED AND CONNECTED AS WELL AS LOCATIONS OF HEATING UNITS AND FLOOR TUBING.
- PROVIDE AND INSTALL ALL GAS PIPING VERIFYING REQUIRED SIZE AND STUB-IN LOCATION.
- COORDINATE ALL OPENINGS REQUIRED THROUGH ROOFS OR WALLS WITH THE GENERAL CONTRACTOR. PROVIDE THESE OPENINGS AND WEATHER-TIGHT SEALS FOR ALL BUILDING PENETRATIONS. ASSIST THE GENERAL CONTRACTOR IN THE INSTALLATION OF THESE SEALS.
- PROVIDE AND INSTALL RANGE HOOD AND CLOTHES DRYER VENTS TO THE OUTSIDE, PER CODE REQUIREMENTS.
- INSPECT WATER SUPPLY MAIN TO DETERMINE WATER PRESSURE LEVEL AND SYSTEM BEST SUITED FOR INCREASING PRESSURE LEVEL TO SATISFACTION OF THE OWNER.

SECTION 47: PLUMBING FIXTURES

- ALL PLUMBING FIXTURES TO BE PROVIDED AND INSTALLED BY THE PLUMBING CONTRACTOR; UNLESS OTHER ARRANGEMENTS ARE MADE WITH THE OWNER.

SECTION 48: GENERAL ELECTRICAL

- ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN.
- THE ELECTRICAL CONTRACTOR SHALL GUARANTEE MATERIALS AND WORKMANSHIP AGAINST DEFECTS WHICH MAY OCCUR UNDER NORMAL USAGE FOR A PERIOD OF ONE (1) YEAR AFTER FINAL ACCEPTANCE. ALL GUARANTEE TIME PERIODS PROVIDED BY EQUIPMENT MANUFACTURER'S SHALL CONTINUE TO BE IN EFFECT.
- THE ELECTRICAL WORK SHALL INCLUDE THE SUPPLY AND INSTALLATION OF ALL ROUGH-IN MATERIALS, DEVICES, TRIM, AND SCHEDULED FIXTURES AS REQUIRED AND NECESSARY FOR ALL ELECTRICAL, TELEPHONE, APPLIANCES, AND EQUIPMENT, ETC; UNO.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE MECHANICAL SYSTEMS WITH THE MECHANICAL CONTRACTOR TO INSURE ALL COMPONENTS OF EQUIPMENT AND CONTROLS ARE INCLUDED AND WIRED. ALL ELECTRICAL POWER WIRING, LOW VOLTAGE CONTROL WIRING, FUSES, CONDUIT, AND SWITCHES SHALL BE PROVIDED AND INSTALLED BY THE ELECTRICAL CONTRACTOR. THERMOSTATS SHALL BE PROVIDED AND INSTALLED BY THE MECHANICAL CONTRACTOR.
- CUTTING, DRILLING, AND CHASING OF THE BUILDING SURFACES AS REQUIRED FOR SUPPORT, ANCHORAGE, AND PASSAGE OF ELECTRICAL EQUIPMENT SHALL BE DONE BY THE ELECTRICAL CONTRACTOR. WHERE STRUCTURAL MEMBERS ARE INVOLVED, THE GENERAL CONTRACTOR'S APPROVAL SHALL BE FIRST OBTAINED.
- THE ELECTRICAL CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY IN THE FORM OF PAYMENT TO THE GENERAL CONTRACTOR FOR COSTS INCURRED TO REPAIR, TO THE SATISFACTION OF THE OWNER, ANY COMPROMISING OF STRUCTURAL MEMBERS, WORK OF OTHER TRADES, FINISHES, OR OTHER DAMAGE CAUSED WHILE ON SITE AND PERFORMING ELECTRICAL WORK.
- PROVIDE AND INSTALL BATHROOM EXHAUST FANS VENTED TO THE OUTSIDE.
- PROVIDE AND INSTALL A MINIMUM OF ONE SWITCHED LIGHT IN EACH ATTIC SPACE AND THREE SWITCHED LIGHTS IN THE UNDER FLOOR CRAWL SPACE; UNO.
- PROVIDE AND INSTALL BATTERY POWERED SMOKE DETECTORS AS SHOWN AND REQUIRED.

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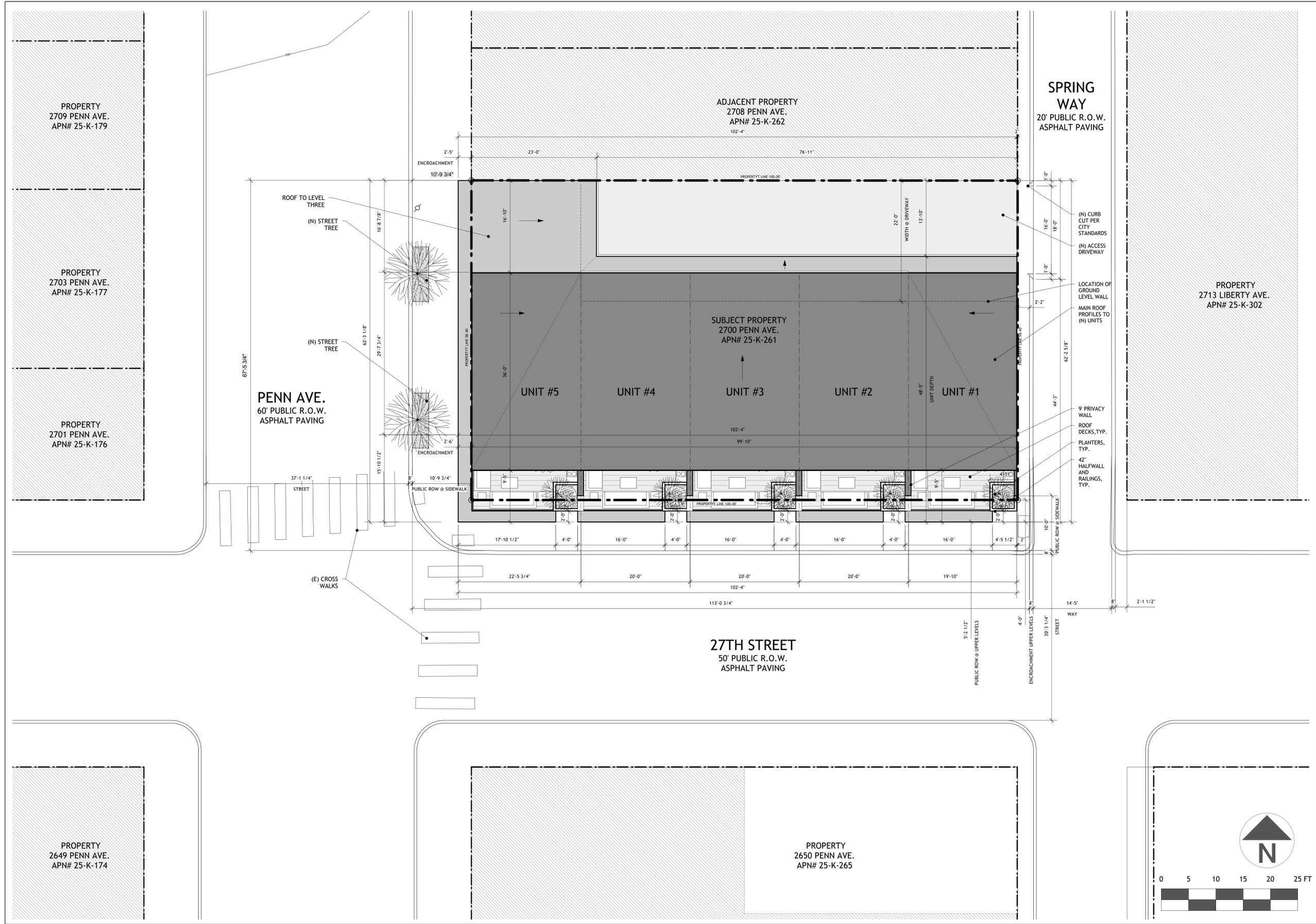
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NAME : GENERAL NOTES



SCALE : NA



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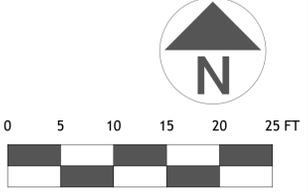
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NAME : SITE PLAN



SCALE : 1/8"=1'-0"



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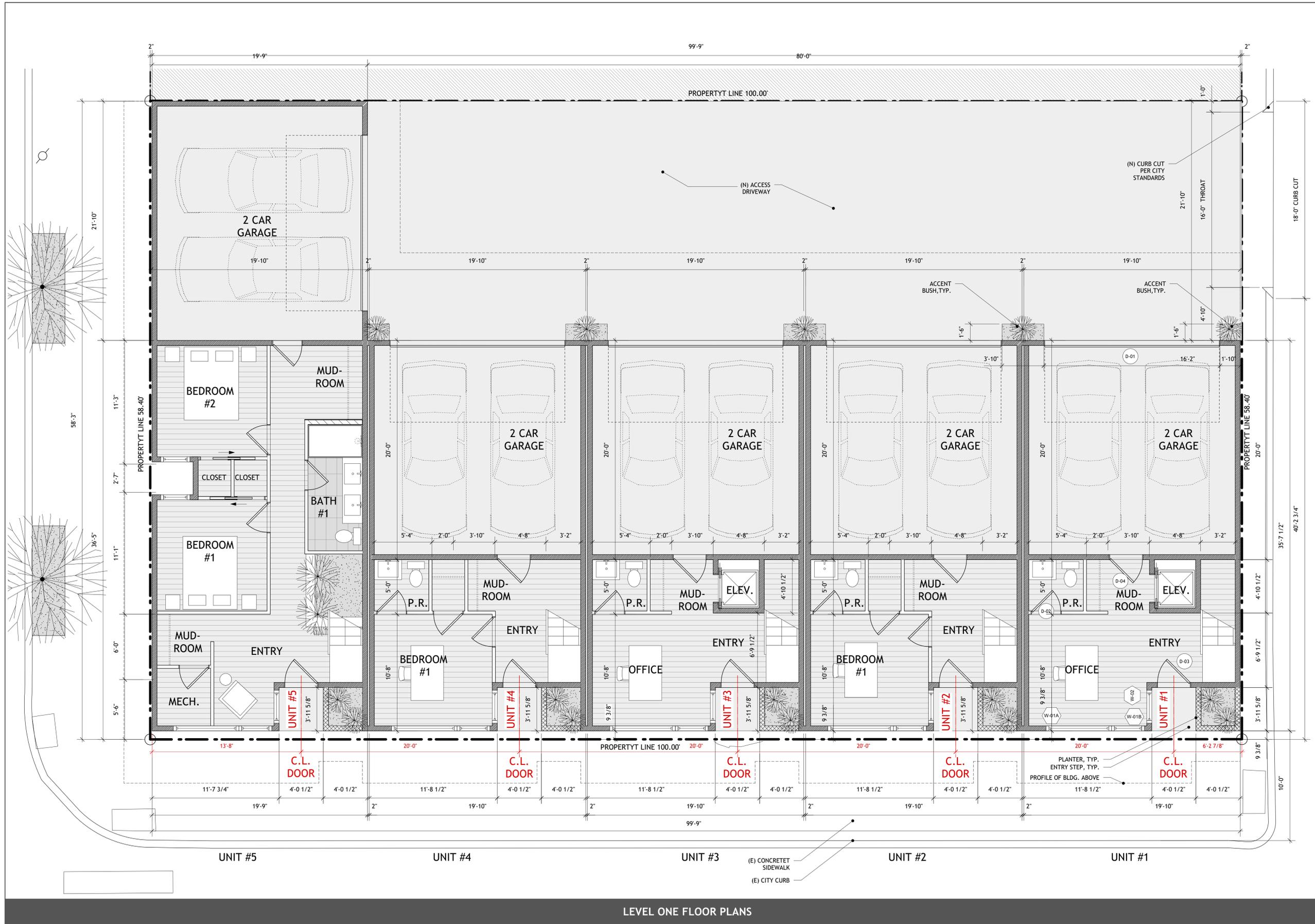
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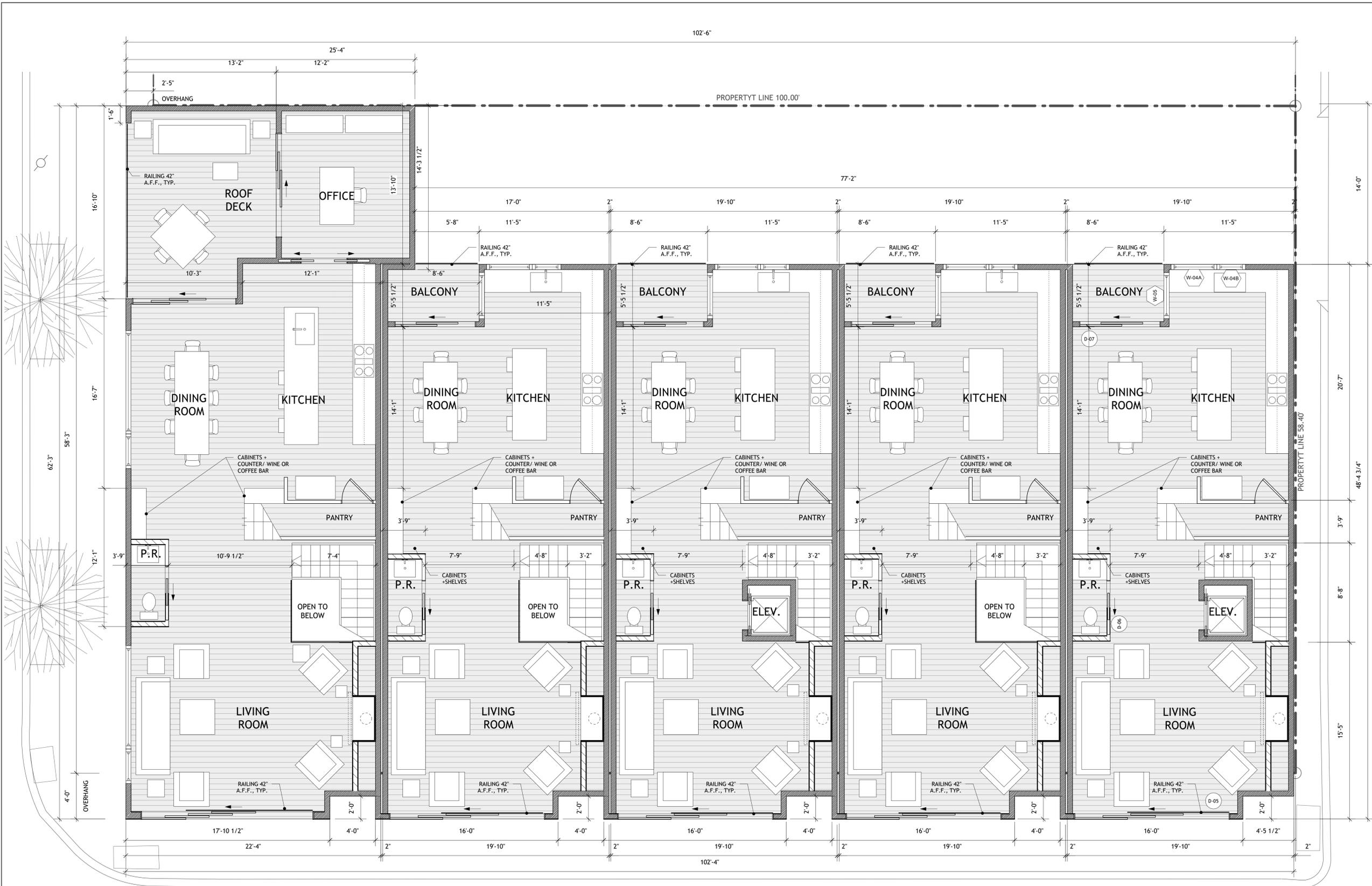
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NAME : FLOOR PLANS



SCALE : 1/4"=1'-0"





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NAME : FLOOR PLANS



SCALE : 1/4"=1'-0"

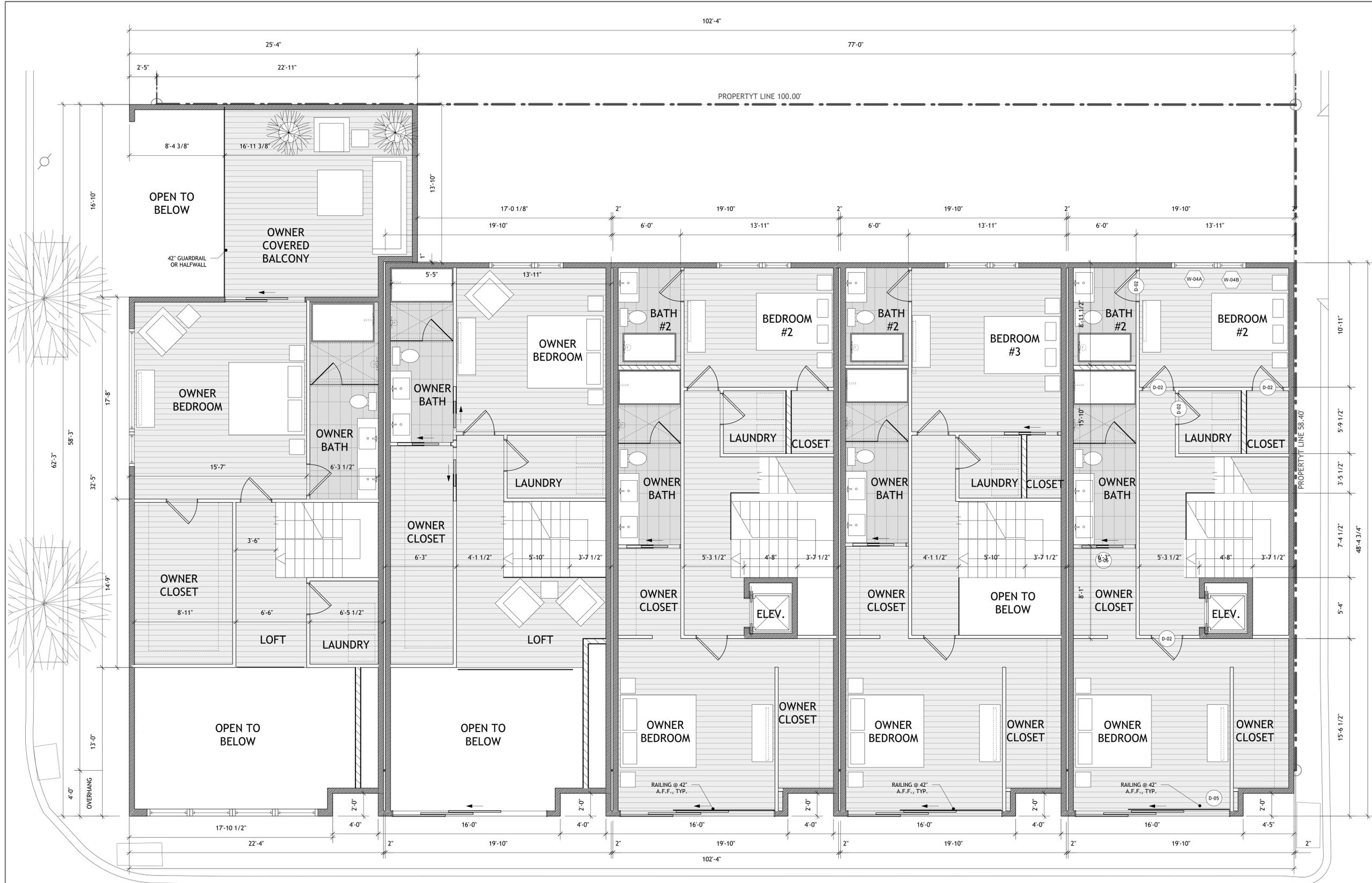
UNIT #5

UNIT #4

UNIT #3

UNIT #2

UNIT #1



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NAME : FLOOR PLANS



SCALE : 1/4"=1'-0"

UNIT #5

UNIT #4

UNIT #3

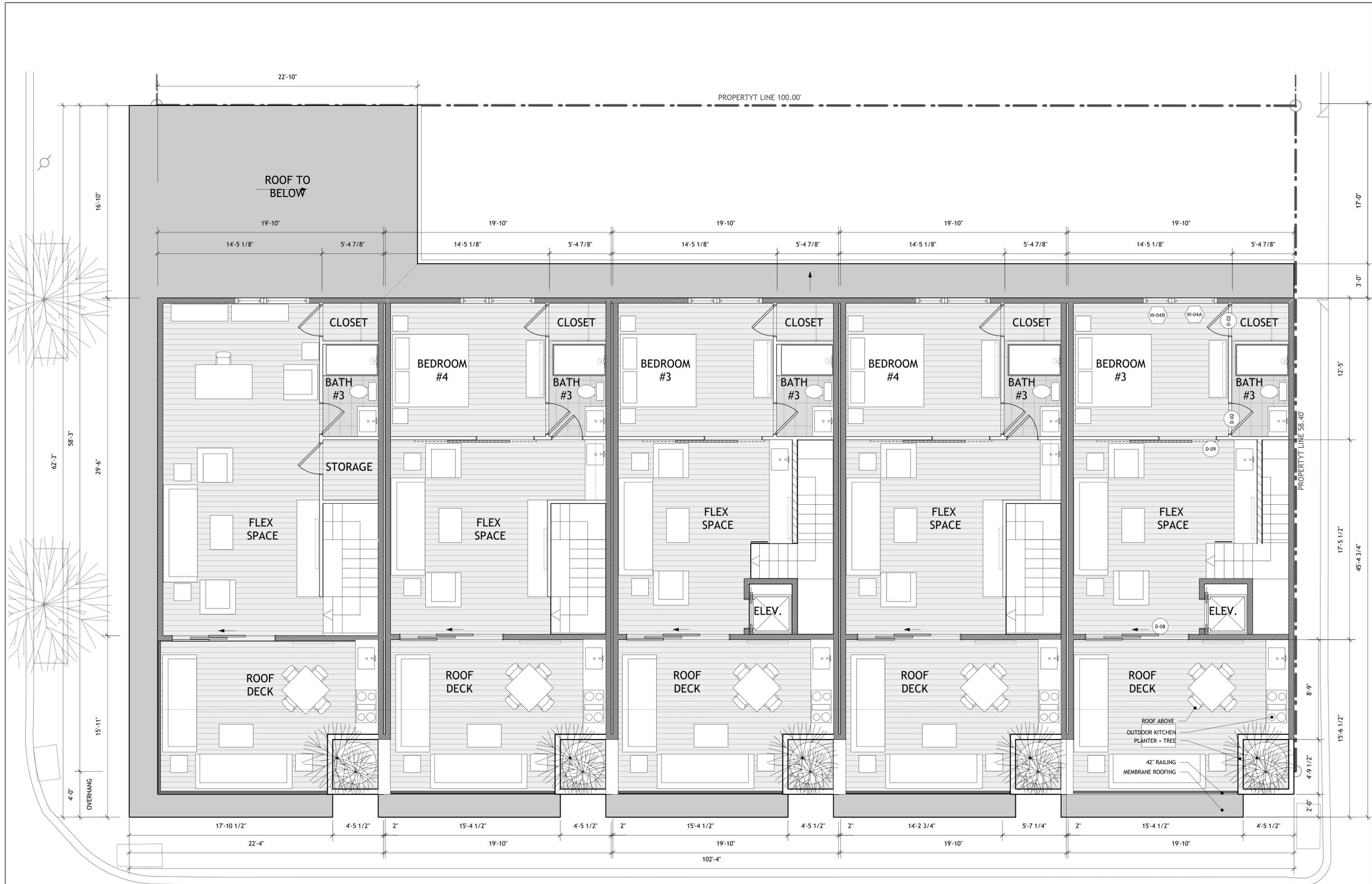
UNIT #2

UNIT #1

LEVEL THREE FLOOR PLANS

A 2.3

SHEET



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NAME : FLOOR PLANS



SCALE : 1/4"=1'-0"

UNIT #5

UNIT #4

UNIT #3

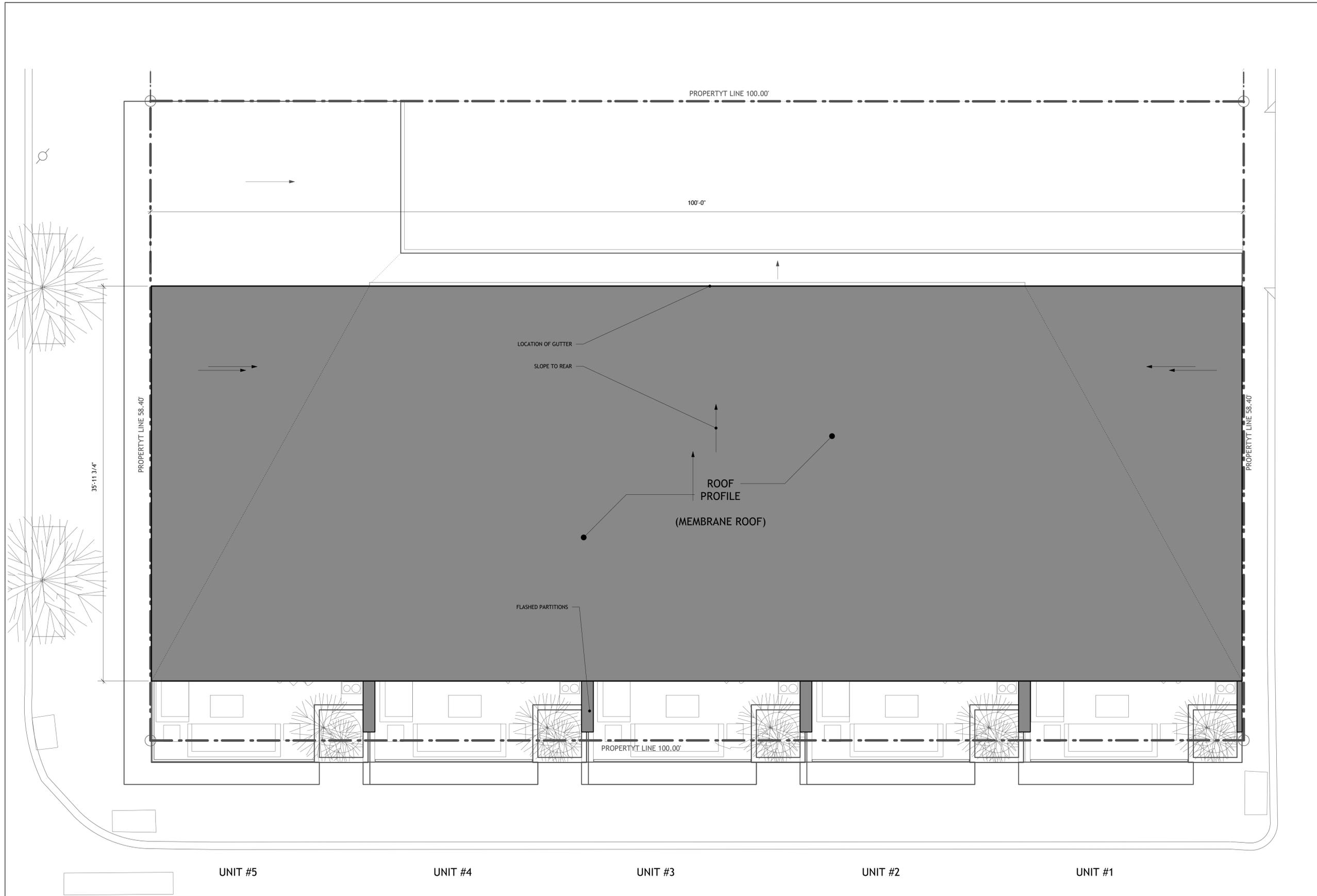
UNIT #2

UNIT #1

LEVEL FOUR FLOOR PLANS

A 2.4

SHEET



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NAME : FLOOR PLANS



SCALE : 1/4"=1'-0"

UNIT #5

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UNIT #3

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NAME : EXTERIOR ELEVATIONS



SCALE : 1/4"=1'-0"

A 4.1
SHEET

FRONT ELEVATION [27TH STREET]

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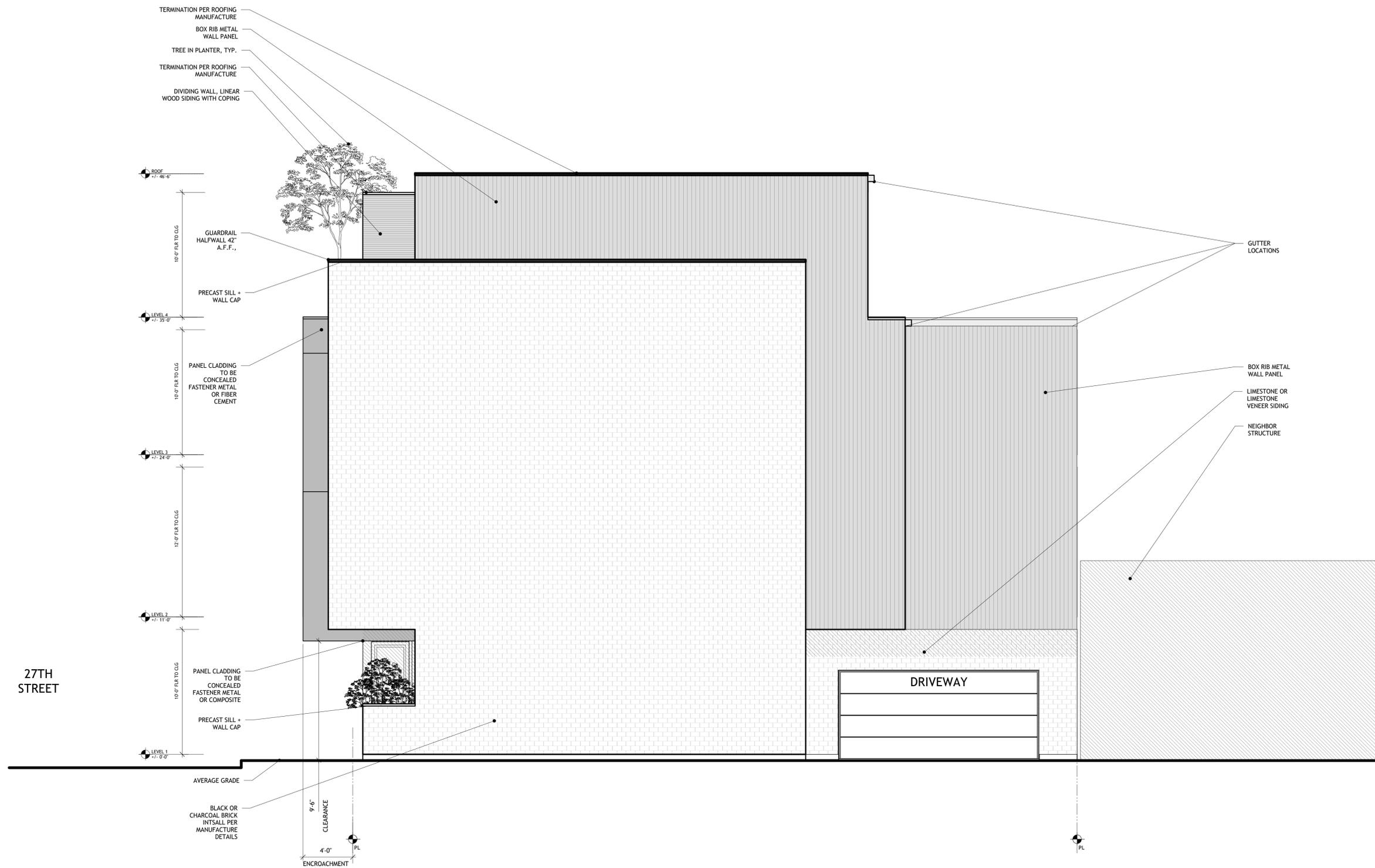
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NAME : EXTERIOR ELEVATIONS



SCALE : 1/4"=1'-0"

A 4.2
SHEET



RIGHT SIDE ELEVATION [SPRING WAY]



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PENN AVENUE RESIDENCES
2700 PENN AVE.
PITTSBURGH, PA 15222

GENERAL CONTRACTORS, SUB CONTRACTORS, AND ALL TRADESMEN ARE TO USE INSTALLATION REQUIREMENTS AS ISSUED BY THE MANUFACTURERS OF THE PRODUCTS INSTALLED, AS WELL AS ALL APPLICABLE BUILDING CODES. THESE DRAWINGS ARE GENERAL DESIGN INTENT AND DO NOT REPLACE TECHNICAL REQUIREMENTS OF WARRANTIED INSTALLATIONS BY MANUFACTURERS OR BUILDING CODES.

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NAME : EXTERIOR ELEVATIONS



SCALE : 1/4"=1'-0"

A 4.3

SHEET

REAR ELEVATION [DRIVEWAY]

ISSUE	DATE
ZONING SET	9.20.2023
DOMI SET	10.12.2023

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PITTSBURGH, PA 15222

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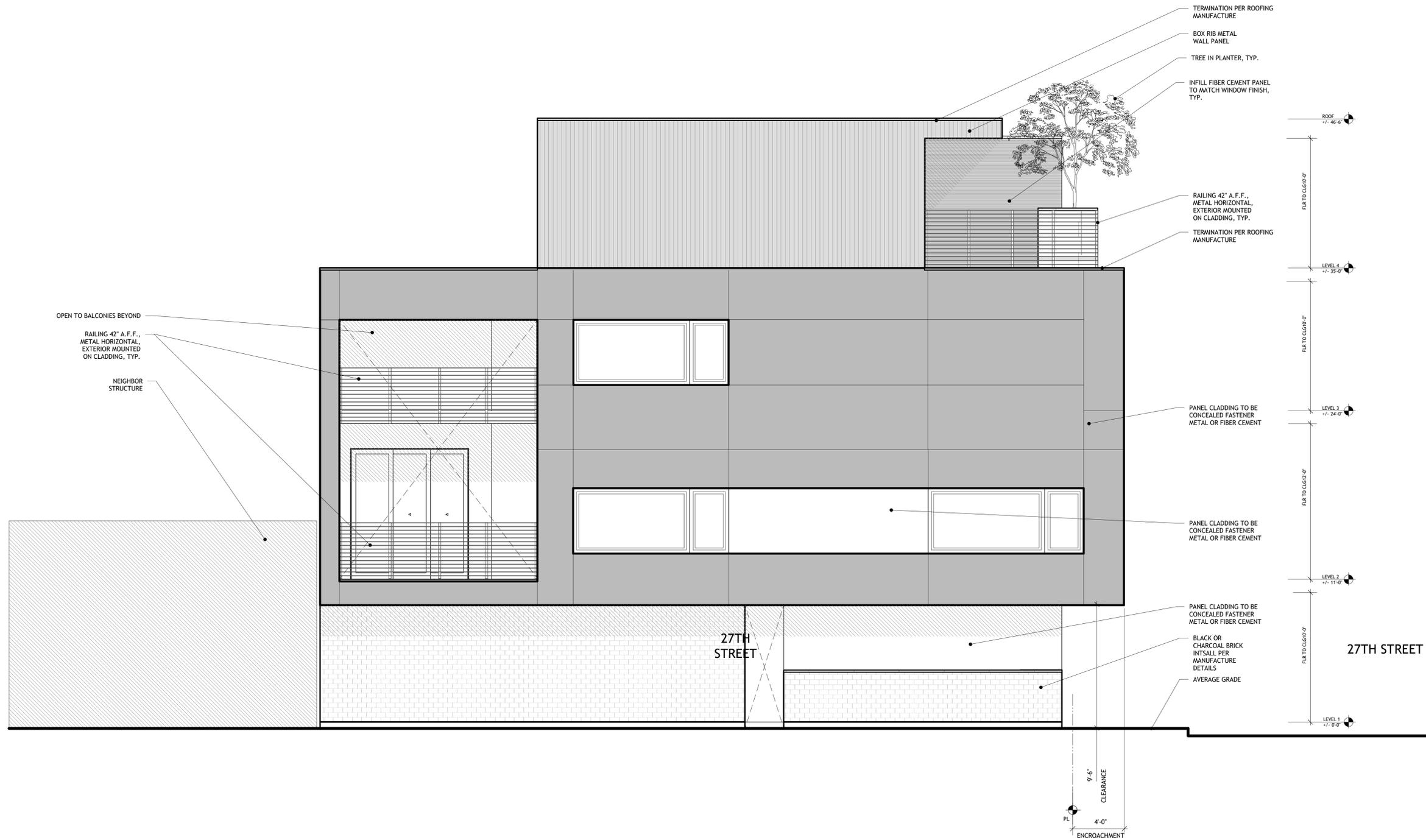
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NAME : EXTERIOR ELEVATIONS



SCALE : 1/4"=1'-0"

A 4.4
SHEET



LEFT SIDE ELEVATION [PENN AVE.]

Door Schedule													
Mark	Nominal Size			Door Operation	Slab Style	Side Lights	L Sidelt Wid	R Sidelt Wid	Door Data			Finish	Comments
	Width	Height	Thickness						Mfr	Model No.			
D-01	16'0"	7'0"	1 3/4"	Overhead	Panel	-	0"	0"	Clopay	Insulated sectional	Black	Smooth texture	
D-02	2'8"	6'8"	1 3/4"	Swing Simple	Solid	-	0"	0"		Solid-core masonite	Paint grade		
D-02	2'8"	6'8"	1 3/4"	Swing Simple	Solid	-	0"	0"		Solid-core masonite	Paint grade		
D-02	2'8"	6'8"	1 3/4"	Swing Simple	Solid	-	0"	0"		Solid-core masonite	Paint grade		
D-02	2'8"	6'8"	1 3/4"	Swing Simple	Solid	-	0"	0"		Solid-core masonite	Paint grade		
D-02	2'8"	6'8"	1 3/4"	Swing Simple	Solid	-	0"	0"		Solid-core masonite	Paint grade		
D-02	2'8"	6'8"	1 3/4"	Swing Simple	Solid	-	0"	0"		Solid-core masonite	Paint grade		
D-02	2'8"	6'8"	1 3/4"	Swing Simple	Solid	-	0"	0"		Solid-core masonite	Paint grade		
D-02	2'8"	6'8"	1 3/4"	Swing Simple	Solid	-	0"	0"		Solid-core masonite	Paint grade		
D-02	2'8"	6'8"	1 3/4"	Swing Simple	Solid	-	0"	0"		Solid-core masonite	Paint grade		
D-03	3'0"	9'0"	1 3/4"	Swing Simple	Glass	-	0"	3'0"	Anderson	-	Black		
D-04	3'0"	6'8"	1 3/4"	Swing Simple	Solid	-	0"	0"		20 Min. fire rated	Paint grade		
D-05	13'6"	8'0"	1 3/4"	Slider	Glass	-	0"	0"		20 Min. fire rated	Paint grade		
D-05	13'6"	10'0"	1 3/4"	Slider	Glass	-	0"	0"		20 Min. fire rated	Paint grade		
D-06	2'4"	7'0"	1 3/4"	Pocket Simple	Solid	-	0"	0"		Solid-core masonite	Paint grade		
D-06	2'4"	7'0"	1 3/4"	Pocket Simple	Solid	-	0"	0"		Solid-core masonite	Paint grade		
D-07	7'0"	10'0"	1 3/4"	Slider	Glass	-	0"	0"	Anderson	-	Black		
D-08	9'0"	9'0"	1 3/4"	Slider	Glass	-	0"	0"	Anderson	-	Black		
D-09	5'0"	9'0"	1 3/4"	Barn	Solid	-	0"	0"		Solid-core masonite	Paint grade		

Window Schedule									
Mark	O.A. Width	O.A. Height	Sash Operation	Egress	Mfr	Model No.	Finish	Comments	
									W-01
W-01	B	3'0"	5'0"	Casement	X	Anderson	-	Black	
W-02		3'0"	5'0"	Casement	X	Anderson	-	Black	
W-04	A	4'0"	6'0"	Fixed Glass	-	Anderson	-	Black	
W-04	A	4'0"	6'0"	Fixed Glass	-	Anderson	-	Black	
W-04	A	4'0"	6'0"	Fixed Glass	-	Anderson	-	Black	
W-04	B	2'6"	6'0"	Casement	X	Anderson	-	Black	
W-04	B	2'6"	6'0"	Casement	X	Anderson	-	Black	
W-04	B	2'6"	6'0"	Casement	X	Anderson	-	Black	
W-05		4'0"	6'0"	Fixed Glass	-	Anderson	-	Black	

ISSUE	DATE
ZONING SET	9.20.2023
DOMI SET	10.12.2023

PENN AVENUE RESIDENCES
2700 PENN AVE.
PITTSBURGH, PA 15222

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NAME : SCHEDULES



SCALE : NA

LEGAL DESCRIPTION OF EXHIBIT 'A'

The Land is described as follows:

ALL that certain lot or piece of ground situate in the 6th Ward of the City of Pittsburgh, County of Allegheny and Commonwealth of Pennsylvania, being more particularly bounded and described as follows, to-wit:

BEGINNING at a point on the Southeast corner of Penn Avenue and 27th Street; thence easterly along the southerly line of Penn Avenue, a distance of 58.4 feet, more or less, to a point on line of land now or formerly of Domenic Versace, Jr. and Albina R. Versace, his wife; thence along said Versace line in a southwardly direction and parallel with the easterly line of 27th Street, a distance of 100 feet to a point on the northerly line of Spring Alley; thence along the northerly line of Spring Alley in a westwardly direction, a distance of 58.4 feet, more or less, to a point on the easterly line of 27th Street; thence along the easterly line of 27th Street in a northwardly direction, a distance of 100 feet to the point at the place of beginning.

Tax ID / Parcel No. 25-K-261

Being part of the same premises which Faye Neilly Rens, also known as Faye W. Rens and formerly known as Faye W. Neilly, an unmarried person by Deed dated February 26, 2011 and recorded March 4, 2011 in Allegheny County in Deed Book Volume 14518, Page 190 conveyed unto Neilly Family, LLC, a Pennsylvania limited liability company, in fee.

GENERAL NOTES

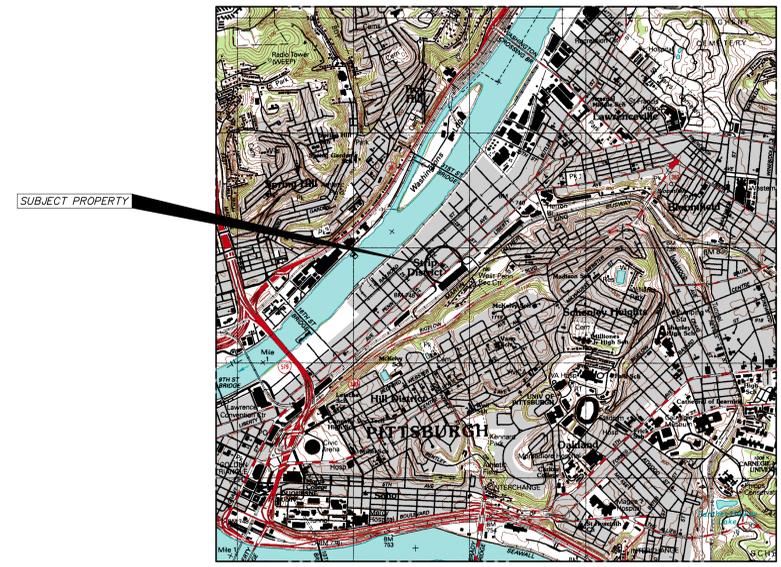
- HORIZONTAL DATUM: THIS SURVEY HAS BEEN REFERENCED TO THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM-SOUTH ZONE AS BASED ON THE NORTH AMERICAN DATUM OF 1983.
- VERTICAL DATUM: THIS SURVEY HAS BEEN REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1983.
- BOTH DATUMS WERE ESTABLISHED ON THE SUBJECT PROPERTY OF THIS SURVEY VIA REAL TIME KINEMATIC GLOBAL POSITIONING TECHNIQUES AND SPECTRA PRECISIONS VIRTUAL REFERENCE STATION NETWORK.
- ALL HORIZONTAL DISTANCES SHOWN HEREON HAVE BEEN COMPUTED WITHOUT THE USE OF GRID FACTORS AND ARE HORIZONTAL GROUND DISTANCES. (U.S. SURVEY FOOT)
- U.S. SURVEY FOOT IS THE CURRENT STANDARD LINEAR UNIT IN PENNSYLVANIA (68 P.S. §955). MUCH OF PITTSBURGH WAS LAID OUT WITH A DIFFERENT LINEAR STANDARD. ONE HUNDRED FEET UNDER THIS STANDARD IS EQUIVALENT TO 100.115 U.S. SURVEY FEET. CONSEQUENTLY, ACTUAL DISTANCES ON THE GROUND IN U.S. SURVEY FOOT WILL BE SLIGHTLY LONGER THAN EXPRESSED ON OLD PLANS BY A RATIO OF 1:1.00115.
- THE RANDOM FIELD TRAVERSE FOR THIS SURVEY HAD AN ANGULAR ERROR OF 9.33", A MISCLOSURE OF 0.01' AND A RATIO ERROR OF CLOSURE OF 1:87,736.
- THE HORIZONTAL TRAVERSE WAS BALANCED VIA THE METHOD OF LEAST SQUARES; YIELDING CHI SQUARE VALUES OF 0.09315 AND A STANDARD DEVIATION OF UNIT WEIGHT OF 0.17621 AND PASSING THE 5% LEVEL OF A GOODNESS OF FIT TEST. THE GREATEST POSITIONAL UNCERTAINTY OBTAINED WAS 0.012" AND MET THE POSITIONAL TOLERANCE FOR LAND TITLE SURVEYS.
- GROSS AREA INCLUDES AREAS WITHIN PUBLIC RIGHTS OF WAY. NET AREA EXCLUDES SUCH AREAS.
- H. F. LENZ COMPANY FILE No. 2021-0026.01, H. F. LENZ COMPANY FIELDBOOK No. 600.
- THIS SURVEY WAS CONDUCTED FROM FEBRUARY 5, 2021 TO FEBRUARY 22, 2021.
- CHICAGO TITLE INSURANCE COMPANY COMMITMENT NUMBER: 1910957B SOLOMON, EFFECTIVE DATE: JULY 1, 2020
- SCHEDULE B, PART II OF THE TITLE COMMITMENT REPORT HAS NOT IDENTIFIED ANY SPECIFIC DOCUMENTS THAT AFFECT THE SUBJECT PROPERTY.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE. ACTUAL LOCATIONS NEED TO BE FIELD VERIFIED PRIOR TO EXCAVATION AND/OR CONSTRUCTION.
- THE SUBJECT PROPERTY AND ALL ADJOINING PROPERTIES OR LOTS ARE CONTIGUOUS WITHOUT GAPS OR OVERLAPS.
- THE BUILDING CORNERS AT THE INTERSECTIONS OF 27TH STREET WITH PENN AVENUE AND WITH SPRING WAY EXTEND INTO THE RIGHTS OF WAY OF THESE THREE PUBLIC ROADWAYS BY SMALL AMOUNTS AS SHOWN ON THE BUILDING CORNERS LOCATION ENLARGEMENTS ON SHEET 2 OF 2.

REFERENCE DRAWINGS

- PITTSBURGH ZONING MAP, <https://gis.pittsburghpa.gov/pgbzoning/>
- PA ONE CALL SERIAL NUMBER: 20210250366, (GAS LINES), DATE: 2/5/2021
- PENN SEWER, PGH20, (SEWER LINES), DATE: 1/25/2021
- PENN WATER, PGH20, (WATER LINES), DATE: 1/25/2021

TABLE A NOTES

- THE PROPERTY CORNERS ALONG 27TH STREET FALL WITHIN THE BUILDING WALL AND CANNOT BE SET. THE OTHER PROPERTY CORNER ALONG PENN AVENUE IS 0.25' OUTSIDE THE BUILDING WALL. THE OTHER PROPERTY CORNER ALONG PENN AVENUE IS 0.20' OUTSIDE THE BUILDING WALL. AS THESE OTHER CORNERS FALL ON CONCRETE SURFACES IN SUCH CLOSE PROXIMITY TO THE BUILDINGS, THEY CANNOT BE ACCURATELY SET. THE SEAM BETWEEN THE ADJUTING BUILDINGS IS SUFFICIENT MONUMENTATION OF THEIR COMMON BOUNDARY.
- FLOOD INSURANCE RATE MAP NUMBER 42003C0353H, EFFECTIVE REVISED DATE: SEPTEMBER 26, 2014 DEPICTS THE SUBJECT PROPERTY AS BEING IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- THE GROSS AREA OF THE SUBJECT PROPERTY WHICH INCLUDES THE BEDS OF PENN AVENUE 27TH STREET AND SPRING WAY TO THEIR CENTERLINES IS 11,667 SQUARE FEET.
- VERTICAL RELIEF AS DETERMINED BY GROUND SURVEY IS DEPICTED HEREON WITH A ONE FOOT CONTOUR INTERVAL.
- THE SUBJECT PROPERTY IS IN ZONING DISTRICT RIV-IMU, RIVERFRONT DISTRICT, INDUSTRIAL MIXED-USE SUBDISTRICT. THE DIMENSIONAL REGULATIONS ARE COMPLEX AND NOT CONDUCIVE TO EASY REPRESENTATION. SECTION 805.04 OF THE CITY OF PITTSBURGH CODE OF ORDINANCES CONTAINS THESE DIMENSIONAL REGULATIONS.
- 7B1. THE AREA OF THE EXTERIOR FOOTPRINT OF ALL BUILDINGS AT GROUND LEVEL IS 5,831 SQ. FT. THIS IS 4 SQ. FT. LARGER THAN THE NET AREA OF THE SUBJECT PROPERTY.
- 7B2. NO OTHER AREAS HAVE BEEN SPECIFIED BY THE CLIENT.
- THE SUBJECT PROPERTY IS ESSENTIALLY OCCUPIED BY A BUILDING IN TOTO. THERE ARE NO MARKED PARKING SPACES ALONG THE ADJACENT STREETS.
- NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS HAS BEEN OBSERVED.
- NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED HAVE BEEN OBSERVED.
- NO EVIDENCE OF A FIELD DELINEATION OF WETLANDS HAS BEEN OBSERVED. THE SITE CONSISTS OF BUILDING, CONCRETE SIDEWALKS AND PAVED STREETS.
- NO EASEMENTS OR SERVITUDES ARE DISCLOSED IN DOCUMENTS PROVIDED TO OR OBTAINED BY THE SURVEYOR.



LOCATION MAP
SCALE: 1" = 2,000'

H.F. LENZ COMPANY
Engineering
1407 Scalp Avenue
Johnstown, PA 15904
Phone: 814-269-9300
FAX: 814-269-9301
www.hflenz.com

Consultants:

Seal:

Seal:

Project Identification:
**2700 PENN AVENUE PARTNERS, LLC
ALTA/NSPS LAND TITLE SURVEY**

No.:	Date:	Description:

COVER SHEET	
Project No.:	2021-0026.01
Cadd Drawing File:	210026 ALTA.dwg
Drawn By:	C.M.FYOCK
Checked By:	C.M.FYOCK
Date:	02/23/2021
Copyright:	© 2021 H.F. LENZ COMPANY
Drawing Number	

SV1
Sheet 1 of 2

To 2700 PennAvenue Partners, LLC, a Pennsylvania limited liability company; and Chicago Title Insurance Company.
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b)(1), 7(b)(2), 8, 9, 11, 13, 14, 16, 17, 18, 19 and 20 of Table A thereof. The fieldwork was completed on February 16, 2021.

CURTISS MICHAEL FYOCK FEBRUARY 5, 2020 SU-051078-E
DATE REGISTRATION No.

Feb. 23, 2021 - 10:04am
C:\Projects\2021\210026\ALTA\Survey\210026 ALTA.dwg
check

Consultants:

Seal:

Seal:

Project Identification:

**2700 PENN AVENUE PARTNERS, LLC
ALTA/NSPS LAND TITLE SURVEY**

No.: Date: Description:

Sheet Title:
PLAN SHEET

Project No.: 2021-0026.01

Cadd Drawing File: 210026 ALTA.dwg

Drawn By: C.M.FYOCK

Checked By: C.M.FYOCK

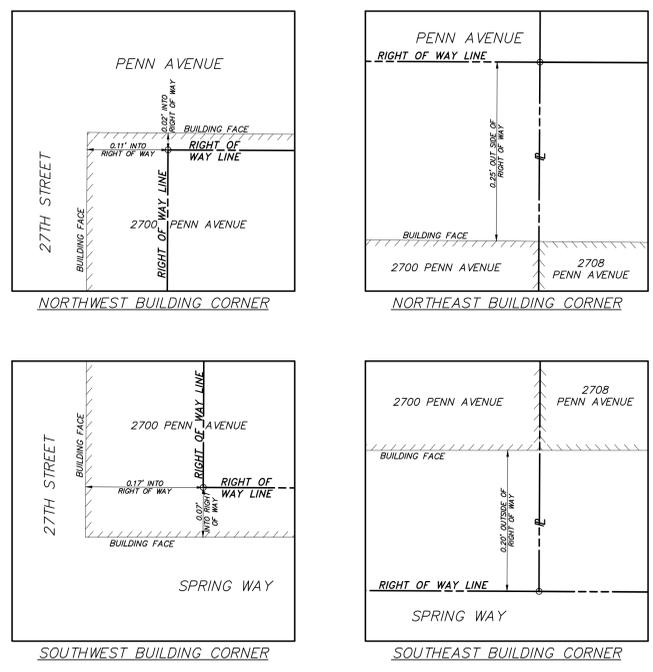
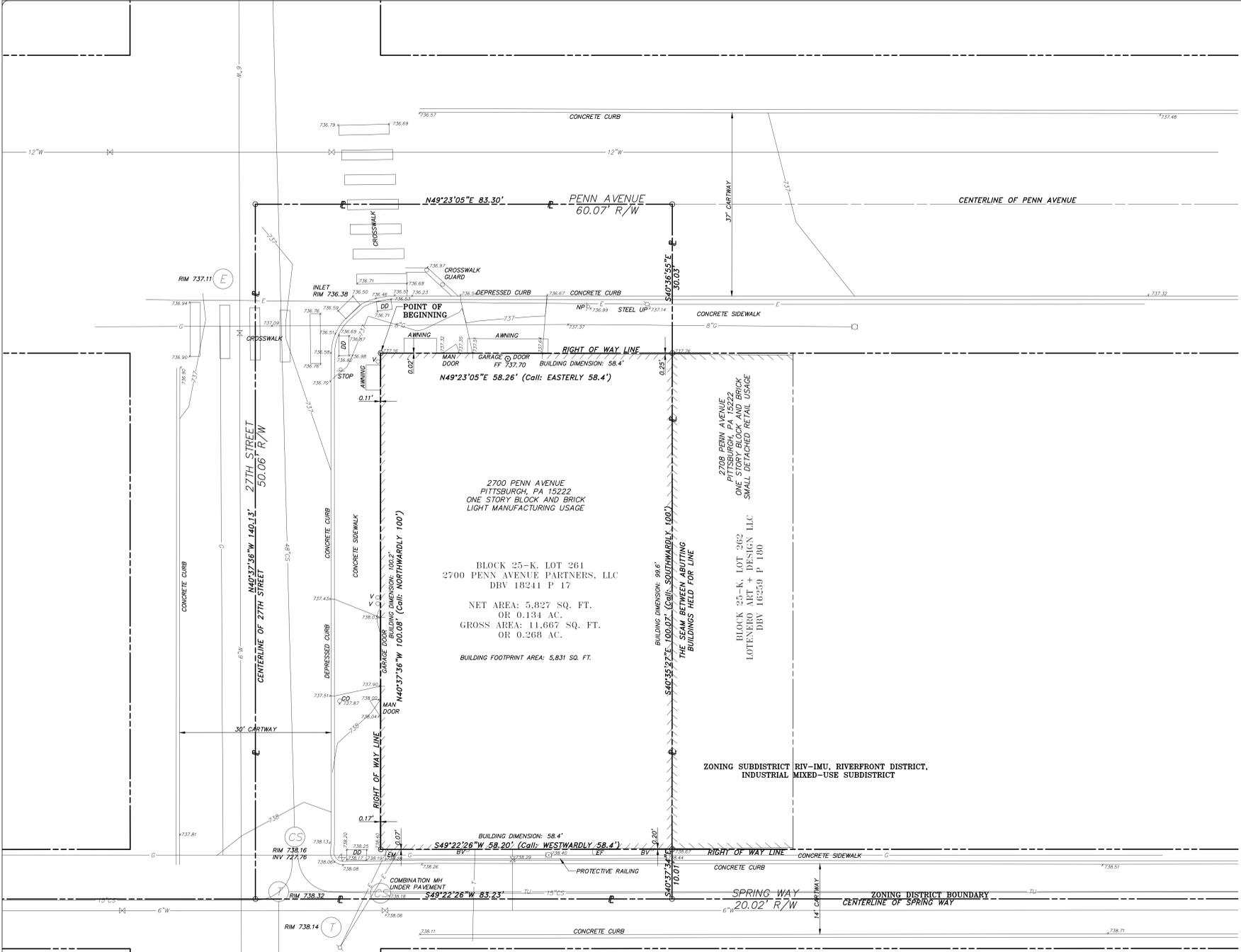
Date: 02/23/2021

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Drawing Number

SV2

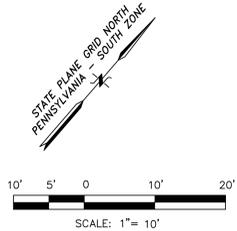
Sheet 2 of 2



BUILDING CORNER LOCATION ENLARGEMENTS
SCALE: 1" = 1'

LEGEND

- | | | | |
|------|----------------------------|------|--------------------------------|
| /// | BUILDING FACE | ○ | CONTOUR |
| -C- | COMBINATION SEWER | ⊙ | INTERIOR SPOT ELEVATION |
| -E- | ELECTRIC LINE | -P- | PROPERTY LINE |
| -G- | GAS PIPELINE | -R- | RIGHT OF WAY LINE |
| -T- | TELEPHONE LINE | ⊕ | TOP OF RIM ELEVATION |
| -TU- | UNDERGROUND TELEPHONE LINE | ⊖ | INVERT ELEVATION |
| -W- | WATER PIPELINE | Call | DIMENSIONS FROM RECORDED DEEDS |
| ⊕ | ELECTRIC MANHOLE | DBV | DEED BOOK VOLUME |
| ⊙ | TELEPHONE MANHOLE | P | PAGE |
| ⊕ | SANITARY MANHOLE | R/W | RIGHT OF WAY WIDTH |
| ⊕ | WATER VALVE | EM | EXHAUST FAN |
| ⊕ | GAS VALVE | EF | ELECTRIC METER |
| ⊕ | UTILITY POLE | DD | DETECTABLE DOME |
| ⊕ | CLEANOUT | BV | BUILDING VENT |
| ⊕ | STOP SIGN | V | VENT |
| ⊕ | NO PARKING SIGN | | |
| ⊕ | PROPERTY CORNER | | |



Parcel ID : 0025-K-00261-0000-00
Property Address : 2700 PENN AVE
PITTSBURGH, PA 15222

Municipality : 106 6th Ward - PITTSBURGH
Owner Name : 2700 PENN AVENUE PARTNERS LLC

School District :	Pittsburgh	Neighborhood Code :	51C31A
Tax Code :	Taxable	Owner Code :	Corporation
Class :	Industrial	Recording Date :	11/27/2020
Use Code :	LIGHT MANUFACTURING	Sale Date :	11/18/2020
Homestead* :	No	Sale Price :	\$450,000
Farmstead :	No	Deed Book :	18241
Clean And Green :	No	Deed Page :	17
Other Abatement :	No	Lot Area :	5,900 SQFT

* If this property had a recent sale or deed change the 'YES' that is showing may apply to the prior owner.
 New owners wishing to receive the abatement must apply.
 The deadline to apply is March 1st of each year.
 Details may be found on the [County's abatement page](#).

2023 Full Base Year Market Value

2023 County Assessed Value

Land Value	\$88,600	Land Value	\$88,600
Building Value	\$305,200	Building Value	\$305,200
Total Value	\$393,800	Total Value	\$393,800

2022 Full Base Year Market Value

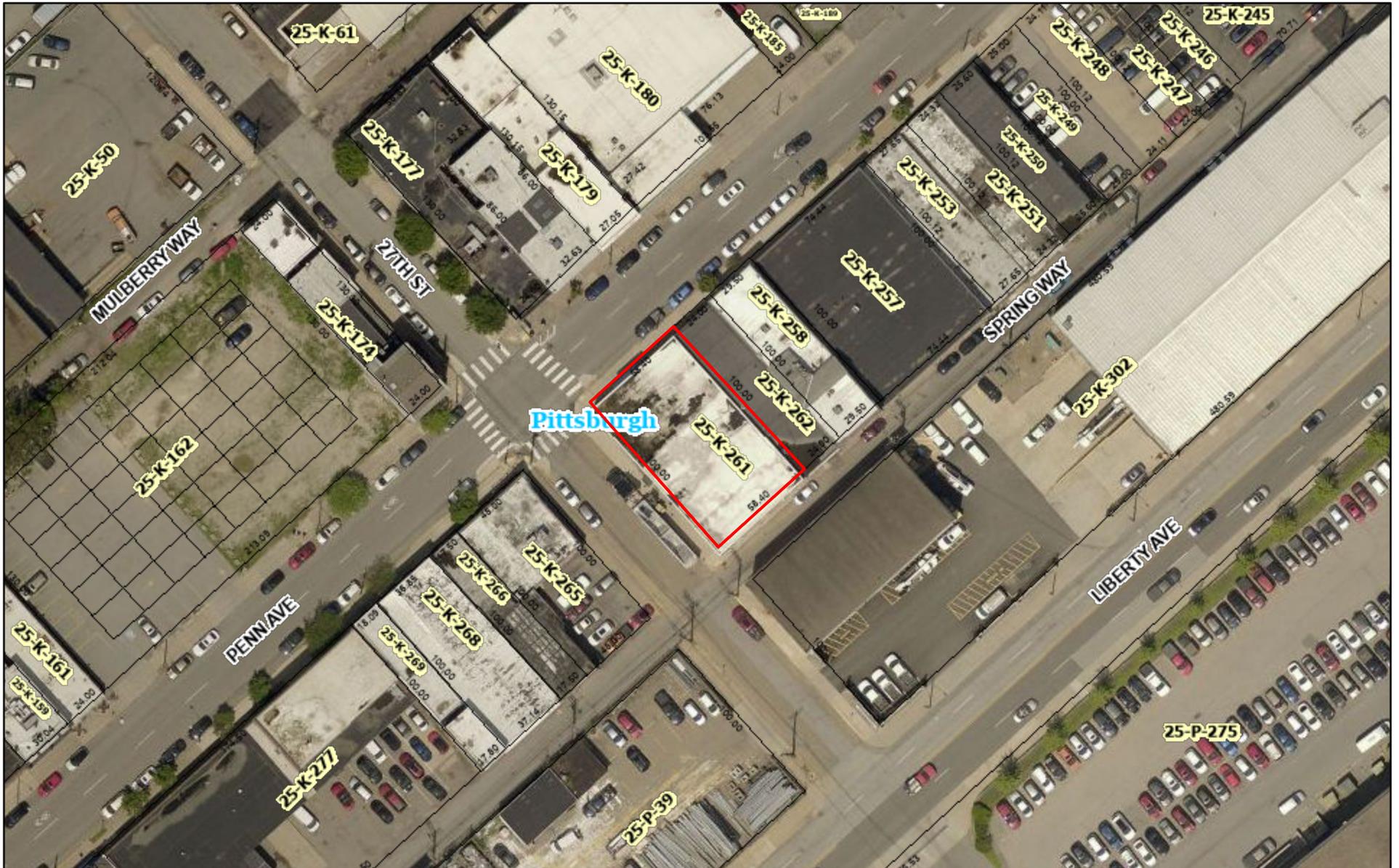
2022 County Assessed Value

Land Value	\$88,600	Land Value	\$88,600
Building Value	\$305,200	Building Value	\$305,200
Total Value	\$393,800	Total Value	\$393,800

Address Information

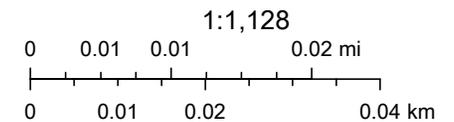
Owner Mailing : 1100 DENNISON AVE
COLUMBUS , OH 43201-

PIN: 0025K00261000000



October 3, 2023

 Municipalities  Parcels
 Streets



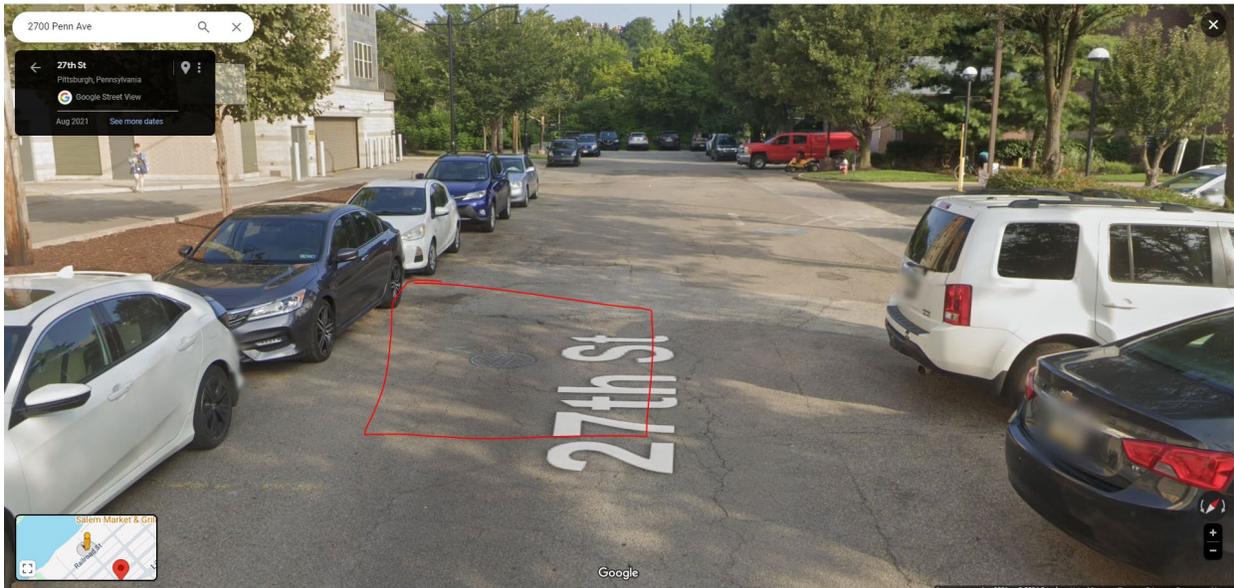
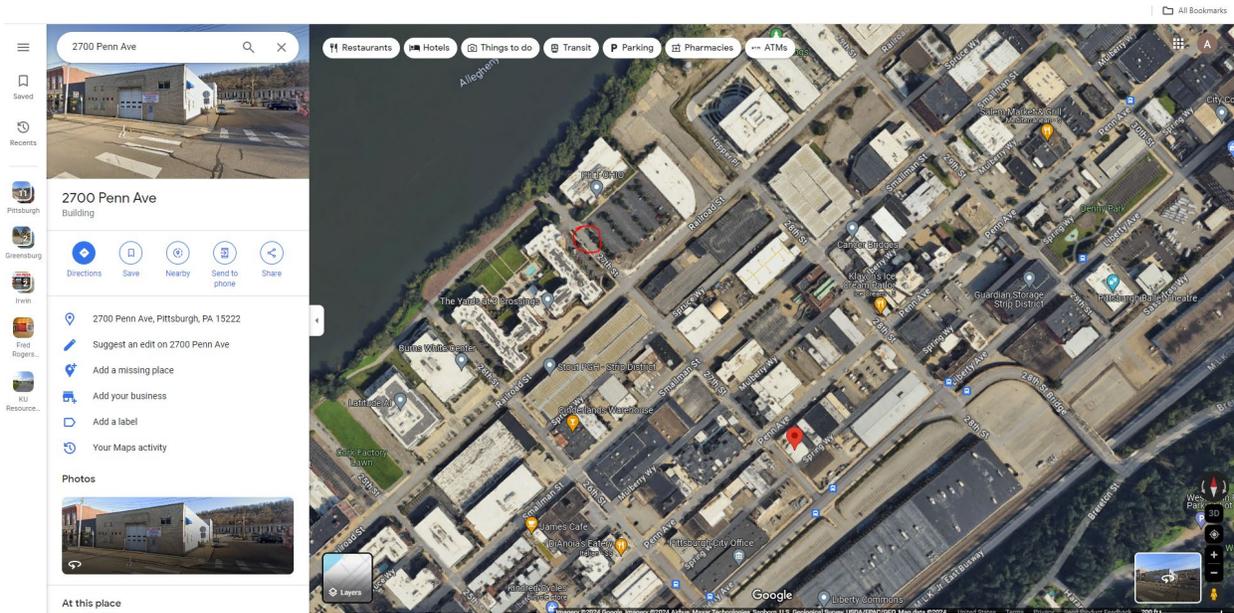
Allegheny County 2012; 2010 Imagery

Data displayed on this map is for informational purposes only. It is not survey
2020

From: [William Spanbauer](#)
To: [Adam Ballish](#)
Subject: RE: Manhole Flow Depth Measurements
Date: Thursday, March 21, 2024 9:34:11 AM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)

Inv. 14.85
Depth of water / time
0.15 /7:00
0.25 /7:15
0.21 /7:30
0.22 /7:45
0.20 /8:00

Let me know if you need anything else



Thanks

Adam Ballish, EIT
 Project Engineer
 KU Resources, Inc.
 22 South Linden Street, Duquesne, PA 15110
 412-469-9331 ext. 1080
 724-980-2428 – cell
aballish@kuresources.com
www.kuresources.com

