

**SEWAGE FACILITIES PLANNING MODULE
FOR
HABITAT FOR HUMANITY 532 LINCOLN AVE.
CITY OF PITTSBURGH**

Prepared for:
Habitat for Humanity of Greater Pittsburgh
6435 Frankstown Ave, Suite 100
Pittsburgh, PA 15206

Prepared By:



4314 Old William Penn Highway, Suite 101
Monroeville, PA 15146

COMPONENT 3

SEWAGE FACILITIES PLANNING MODULE

Component 3. Sewage Collection and Treatment Facilities

(Return completed module package to appropriate municipality)

DEP USE ONLY

DEP CODE #	CLIENT ID #	SITE ID #	APS ID #	AUTH ID #

This planning module component is used to fulfill the planning requirements of Act 537 for the following types of projects: (1) a subdivision to be served by sewage collection, conveyance or treatment facilities, (2) a tap-in to an existing collection system with flows on a lot of 2 EDU's or more, or (3) the construction of, or modification to, wastewater collection, conveyance or treatment facilities that will require DEP to issue or modify a Clean Streams Law permit. Planning for any project that will require DEP to issue or modify a permit cannot be processed by a delegated agency. Delegated agencies must send their projects to DEP for final planning approval.

This component, along with any other documents specified in the cover letter, must be completed and submitted to the municipality with jurisdiction over the project site for review and approval. All required documentation must be attached for the Sewage Facilities Planning Module to be complete. Refer to the instructions for help in completing this component.

REVIEW FEES: Amendments to the Sewage Facilities Act established fees to be paid by the developer for review of planning modules for land development. These fees may vary depending on the approving agency for the project (DEP or delegated local agency). Please see section R and the instructions for more information on these fees.

NOTE: All projects must complete Sections A through I, and Sections O through R. Complete Sections J, K, L, M and/or N if applicable or marked .

A. PROJECT INFORMATION (See Section A of instructions)

1. Project Name HFH Lincoln Ave

2. Brief Project Description Subdivision and 2 single family homes and associated paved parking facilities, hardscaping and landscaping.

B. CLIENT (MUNICIPALITY) INFORMATION (See Section B of instructions)

Municipality Name	County	City	Boro	Twp
City of Pittsburgh	Allegheny	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Municipality Contact Individual - Last Name	First Name	MI	Suffix	Title
Battistone	Martina			Senior Environmental Planner
Additional Individual Last Name	First Name	MI	Suffix	Title
Municipality Mailing Address Line 1		Mailing Address Line 2		
Department of City Planning		200 Ross Street #3		
Address Last Line -- City		State	ZIP+4	
Pittsburgh		PA	15219	
Area Code + Phone + Ext.	FAX (optional)	Email (optional)		
(412) 255-2516		martina.battistone@pittsburghpa.gov		

C. SITE INFORMATION (See Section C of instructions)

Site (Land Development or Project) Name

HFH Lincoln Ave

Site Location Line 1
532 Lincoln Avenue

Site Location Line 2

Site Location Last Line -- City
Pittsburgh

State
PA

ZIP+4
15206

Latitude
40.461299

Longitude
-79.908299

Detailed Written Directions to Site Traveling west from downtown Pittsburgh on 380 (Lincoln Hwy). Turn right on North Craig Street, Turn Left on Baum , Left on S Highland Ave, Right on Broad St, Follow on to Lincoln Ave, Project on right.

Description of Site Previously developed vacant lot with a few trees and shrubs.

Site Contact (Developer/Owner)

Last Name	First Name	MI	Suffix	Phone	Ext.
Slaughter	Howard	B	Jr	4124508520	

Site Contact Title President & CEO	Site Contact Firm (if none, leave blank) Habitat for Humanity of Greater Pittsburgh
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FAX	Email h.slaughter@habitatpittsburgh.org
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Mailing Address Line 1 6435 Frankstown Avenue	Mailing Address Line 2 Suite 100
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Mailing Address Last Line -- City Pittsburgh	State PA	ZIP+4 15206
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D. PROJECT CONSULTANT INFORMATION (See Section D of instructions)

Last Name	First Name	MI	Suffix
Karanovich	Philip		J

Title Project Manager	Consulting Firm Name Red Swing Group
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Mailing Address Line 1 4314 Old William Penn Hwy	Mailing Address Line 2 Suite 101
---	-------------------------------------

Address Last Line -- City Monroeville	State PA	ZIP+4 15146	Country USA
--	-------------	----------------	----------------

Email p.karanovich@redswinggroup.com	Area Code + Phone 7243251215	Ext. 204	Area Code + FAX
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E. AVAILABILITY OF DRINKING WATER SUPPLY

The project will be provided with drinking water from the following source: (Check appropriate box)

- Individual wells or cisterns.
- A proposed public water supply.
- An existing public water supply.

If existing public water supply is to be used, provide the name of the water company and attach documentation from the water company stating that it will serve the project.

Name of water company: PWSA

F. PROJECT NARRATIVE (See Section F of instructions)

- A narrative has been prepared as described in Section F of the instructions and is attached.

The applicant may choose to include additional information beyond that required by Section F of the instructions.

G. PROPOSED WASTEWATER DISPOSAL FACILITIES (See Section G of instructions)

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter 93 (relating to wastewater treatment requirements).

1. COLLECTION SYSTEM

a. Check appropriate box concerning collection system

- New collection system Pump Station Force Main
 Grinder pump(s) Extension to existing collection system Expansion of existing facility

Clean Streams Law Permit Number _____

b. Answer questions below on collection system

Number of EDU's and proposed connections to be served by collection system. EDU's 2

Connections 2

Name of:

existing collection or conveyance system Lincoln Ave - 20 inch, Vitrified Clay Pipe

owner The Pittsburgh Water and Sewer Authority

existing interceptor Allegheny River Interceptor

owner The Allegheny County Sanitary Authority

2. WASTEWATER TREATMENT FACILITY

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter(s) 91 (relating to general provisions), 92 (relating to national Pollution Discharge Elimination System permitting, monitoring and compliance) and 93 (relating to water quality standards).

a. Check appropriate box and provide requested information concerning the treatment facility

- New facility Existing facility Upgrade of existing facility Expansion of existing facility

Name of existing facility ALCOSAN WOODS RUN Wastewater Treatment Facility

NPDES Permit Number for existing facility PA 0025984

Clean Streams Law Permit Number PAG136110

Location of discharge point for a new facility. Latitude _____ Longitude _____

b. The following certification statement must be completed and signed by the wastewater treatment facility permittee or their representative.

As an authorized representative of the permittee, I confirm that the WOODS RUN
(Name from above) sewage treatment facilities can accept sewage flows from this project without adversely affecting the facility's ability to achieve all applicable technology and water quality based effluent limits (see Section I) and conditions contained in the NPDES permit identified above.

Name of Permittee Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent Joe Fedor

Agent Signature Joe Fedor Date 9/6/22

(Also see Section I. 4.)

G. PROPOSED WASTEWATER DISPOSAL FACILITIES (Continued)

3. PLOT PLAN

The following information is to be submitted on a plot plan of the proposed subdivision.

- a. Existing and proposed buildings.
- b. Lot lines and lot sizes.
- c. Adjacent lots.
- d. Remainder of tract.
- e. Existing and proposed sewerage facilities. Plot location of discharge point, land application field, spray field, COLDS, or LVCOLDS if a new facility is proposed.
- f. Show tap-in or extension to the point of connection to existing collection system (if applicable).
- g. Existing and proposed water supplies and surface water (wells, springs, ponds, streams, etc.)
- h. Existing and proposed rights-of-way.
- i. Existing and proposed buildings, streets, roadways, access roads, etc.
- j. Any designated recreational or open space area.
- k. Wetlands - from National Wetland Inventory Mapping and USGS Hydric Soils Mapping.
- l. Flood plains or Flood prone areas, floodways, (Federal Flood Insurance Mapping)
- m. Prime Agricultural Land.
- n. Any other facilities (pipelines, power lines, etc.)
- o. Orientation to north.
- p. Locations of all site testing activities (soil profile test pits, slope measurements, permeability test sites, background sampling, etc. (if applicable).
- q. Soils types and boundaries when a land based system is proposed.
- r. Topographic lines with elevations when a land based system is proposed

4. WETLAND PROTECTION

YES NO

- a. Are there wetlands in the project area? If yes, ensure these areas appear on the plot plan as shown in the mapping or through on-site delineation.
- b. Are there any construction activities (encroachments, or obstructions) proposed in, along, or through the wetlands? If yes, Identify any proposed encroachments on wetlands and identify whether a General Permit or a full encroachment permit will be required. If a full permit is required, address time and cost impacts on the project. Note that wetland encroachments should be avoided where feasible. Also note that a feasible alternative **MUST BE SELECTED** to an identified encroachment on an exceptional value wetland as defined in Chapter 105. Identify any project impacts on streams classified as HQ or EV and address impacts of the permitting requirements of said encroachments on the project.

5. PRIME AGRICULTURAL LAND PROTECTION

YES NO

- Will the project involve the disturbance of prime agricultural lands?
If yes, coordinate with local officials to resolve any conflicts with the local prime agricultural land protection program. The project must be consistent with such municipal programs before the sewage facilities planning module package may be submitted to DEP.
If no, prime agricultural land protection is not a factor to this project.
- Have prime agricultural land protection issues been settled?

6. HISTORIC PRESERVATION ACT

YES NO

- Sufficient documentation is attached to confirm that this project is consistent with DEP Technical Guidance 012-0700-001 *Implementation of the PA State History Code* (available online at the DEP website at www.dep.state.pa.us, select "subject" then select "technical guidance"). As a minimum this includes copies of the completed Cultural Resources Notice

(CRN), a return receipt for its submission to the PHMC and the PHMC review letter.

7. PROTECTION OF RARE, ENDANGERED OR THREATENED SPECIES

Check one:

- The "Pennsylvania Natural Diversity Inventory (PNDI) Project Environmental Review Receipt" resulting from my search of the PNDI database and all supporting documentation from jurisdictional agencies (when necessary) is/are attached.
- A completed "Pennsylvania Natural Diversity Inventory (PNDI) Project Planning & Environmental Review Form," (PNDI Form) available at www.naturalheritage.state.pa.us, and all required supporting documentation is attached. I request DEP staff to complete the required PNDI search for my project. I realize that my planning module will be considered incomplete upon submission to the Department and that the DEP review will not begin, and that processing of my planning module will be delayed, until a "PNDI Project Environmental Review Receipt" and all supporting documentation from jurisdictional agencies (when necessary) is/are received by DEP.

Applicant or Consultant Initials _____.

H. ALTERNATIVE SEWAGE FACILITIES ANALYSIS (See Section H of instructions)

- An alternative sewage facilities analysis has been prepared as described in Section H of the attached instructions and is attached to this component.
The applicant may choose to include additional information beyond that required by Section H of the attached instructions.

I. COMPLIANCE WITH WATER QUALITY STANDARDS AND EFFLUENT LIMITATIONS (See Section I of instructions) (Check and complete all that apply.)

1. Waters designated for Special Protection

- The proposed project will result in a new or increased discharge into special protection waters as identified in Title 25, Pennsylvania Code, Chapter 93. The Social or Economic Justification (SEJ) required by Section 93.4c. is attached.

2. Pennsylvania Waters Designated As Impaired

- The proposed project will result in a new or increased discharge of a pollutant into waters that DEP has identified as being impaired by that pollutant. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss water quality based discharge limitations.

3. Interstate and International Waters

- The proposed project will result in a new or increased discharge into interstate or international waters. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss effluent limitations necessary to meet the requirements of the interstate or international compact.

4. Tributaries To The Chesapeake Bay

- The proposed project result in a new or increased discharge of sewage into a tributary to the Chesapeake Bay. This proposal for a new sewage treatment facility or new flows to an existing facility includes total nitrogen and total phosphorus in the following amounts: _____ pounds of TN per year, and _____ pounds of TP per year. Based on the process design and effluent limits, the total nitrogen treatment capacity of the wastewater treatment facility is _____ pounds per year and the total phosphorus capacity is _____ pounds per year as determined by the wastewater treatment facility permittee. The permittee has determined that the additional TN and TP to be contributed by this project (as modified by credits and/or offsets to be provided) will not cause the discharge to exceed the annual total mass limits for these parameters. Documentation of compliance with nutrient allocations is attached.

Name of Permittee Agency, Authority, Municipality _____

Initials of Responsible Agent (See Section G 2.b) _____

See *Special Instructions* (Form 3800-FM-BPNPSM0353-1) for additional information on Chesapeake Bay watershed requirements.

J. CHAPTER 94 CONSISTENCY DETERMINATION (See Section J of instructions)

Projects that propose the use of existing municipal collection, conveyance or wastewater treatment facilities, or the construction of collection and conveyance facilities to be served by existing municipal wastewater treatment facilities must be consistent with the requirements of Title 25, Chapter 94 (relating to Municipal Wasteload Management). If not previously included in Section F, include a general map showing the path of the sewage to the treatment facility. If more than one municipality or authority will be affected by the project, please obtain the information required in this section for each. Additional sheets may be attached for this purpose.

1. Project Flows 800 gpd
2. Total Sewage Flows to Facilities (pathway from point of origin through treatment plant)

When providing "treatment facilities" sewage flows, use Annual Average Daily Flow for "average" and Maximum Monthly Average Daily Flow for "peak" in all cases. For "peak flows" in "collection" and "conveyance" facilities, indicate whether these flows are "peak hourly flow" or "peak instantaneous flow" and how this figure was derived (i.e., metered, measured, estimated, etc.).

- a. Enter average and peak sewage flows for each proposed or existing facility as designed or permitted.
- b. Enter the average and peak sewage flows for the most restrictive sections of the existing sewage facilities.
- c. Enter the average and peak sewage flows, projected for 5 years (2 years for pump stations) through the most restrictive sections of the existing sewage facilities. Include existing, proposed (this project) and future project (other approved projects) flows.

To complete the table, refer to the instructions, Section J.

	a. Design and/or Permitted Capacity (gpd)		b. Present Flows (gpd)		c. Projected Flows in 5 years (gpd) (2 years for P.S.)	
	Average	Peak	Average	Peak	Average	Peak
Collection	3400398	11901392	8085	28297	8729	30552
Conveyance		<u>28,900,000</u>	<u>6,120,000</u>	<u>6,580,000</u>	<u>6,121,000</u>	<u>6,647,000</u>
Treatment	<u>250,000,000</u>	<u>250,000,000</u>	<u>191,500,000</u>	<u>250,000,000</u>	<u>228,342,000</u>	<u>295,000,000</u>

3. Collection and Conveyance Facilities

The questions below are to be answered by the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities. These questions should be answered in coordination with the latest Chapter 94 annual report and the above table. The individual(s) signing below must be legally authorized to make representation for the organization.

YES NO

- a. This project proposes sewer extensions or tap-ins. Will these actions create a hydraulic overload within five years on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until all inconsistencies with Chapter 94 are resolved or unless there is an approved Corrective Action Plan (CAP) granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the module package.

If no, a representative of the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not affect that status.

b. Collection System

Name of Agency, Authority, Municipality PWSA

Name of Responsible Agent Robert Herring

Agent Signature  Robert Herring
2022.08.26 08:33:28 -04'00' Date 8/26/2022

J. CHAPTER 94 CONSISTENCY DETERMINATION (See Section J of instructions)

c. Conveyance System

Name of Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent Joe Fedor

Agent Signature Joe Fedor

Date 9/6/22

4. Treatment Facility

The questions below are to be answered by a representative of the facility permittee in coordination with the information in the table and the latest Chapter 94 report. The individual signing below must be legally authorized to make representation for the organization.

YES NO

- a. This project proposes the use of an existing wastewater treatment plant for the disposal of sewage. Will this action create a hydraulic or organic overload within 5 years at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this inconsistency with Chapter 94 is resolved or unless there is an approved CAP granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the planning module.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not impact that status.

b. Name of Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent Joe Fedor

Agent Signature Joe Fedor

Date 9/6/22

K. TREATMENT AND DISPOSAL OPTIONS (See Section K of instructions)

This section is for land development projects that propose construction of wastewater treatment facilities. Please note that, since these projects require permits issued by DEP, these projects may **NOT** receive final planning approval from a delegated local agency. Delegated local agencies must send these projects to DEP for final planning approval.

Check the appropriate box indicating the selected treatment and disposal option.

1. Spray irrigation (other than individual residential spray systems (IRSIS)) or other land application is proposed, and the information requested in Section K.1. of the planning module instructions are attached.
2. Recycle and reuse is proposed and the information requested in Section K-2 of the planning module instructions is attached.
3. A discharge to a dry stream channel is proposed, and the information requested in Section K.3. of the planning module instructions are attached.
4. A discharge to a perennial surface water body is proposed, and the information requested in Section K.4. of the planning module instructions are attached.

L. PERMEABILITY TESTING (See Section L of instructions)

- The information required in Section L of the instructions is attached.

M. PRELIMINARY HYDROGEOLOGIC STUDY (See Section M of instructions)

- The information required in Section M of the instructions is attached.

N. DETAILED HYDROGEOLOGIC STUDY (See Section N of instructions)

The detailed hydrogeologic information required in Section N. of the instructions is attached.

O. SEWAGE MANAGEMENT (See Section O of instructions)

(1-3 for completion by the developer(project sponser), 4-5 for completion by the non-municipal facility agent and 6 for completion by the municipality)

Yes No

1. Is connection to, or construction of, a DEP permitted, non-municipal sewage facility or a local agency permitted, community onlot sewage facility proposed.

If Yes, respond to the following questions, attach the supporting analysis, and an evaluation of the options available to assure long-term proper operation and maintenance of the proposed non-municipal facilities. If No, skip the remainder of Section O.

2. Project Flows 800 gpd

Yes No

3. Is the use of nutrient credits or offsets a part of this project?

If yes, attach a letter of intent to purchase the necessary credits and describe the assurance that these credits and offsets will be available for the remaining design life of the non-municipal sewage facility;

(For completion by non-municipal facility agent)

4. Collection and Conveyance Facilities

The questions below are to be answered by the organization/individual responsible for the non-municipal collection and conveyance facilities. The individual(s) signing below must be legally authorized to make representation for the organization.

Yes No

- a. If this project proposes sewer extensions or tap-ins, will these actions create a hydraulic overload on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, a representative of the organization responsible for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with Chapter 71 §71.53(d)(3) and that this proposal will not affect that status.

- b. Collection System

Name of Responsible Organization _____

Name of Responsible Agent _____

Agent Signature _____

Date _____

- c. Conveyance System

Name of Responsible Organization _____

Name of Responsible Agent _____

Agent Signature _____

Date _____

5. Treatment Facility

The questions below are to be answered by a representative of the facility permittee. The individual signing below must be legally authorized to make representation for the organization.

Yes No

- a. If this project proposes the use of an existing non-municipal wastewater treatment plant for the disposal of sewage, will this action create a hydraulic or organic overload at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with §71.53(d)(3) and that this proposal will not impact that status.

- b. Name of Facility _____
Name of Responsible Agent _____
Agent Signature _____
Date _____

(For completion by the municipality)

6. The **SELECTED OPTION** necessary to assure long-term proper operation and maintenance of the proposed non-municipal facilities is clearly identified with documentation attached in the planning module package.

P. PUBLIC NOTIFICATION REQUIREMENT (See Section P of instructions)

This section must be completed to determine if the applicant will be required to publish facts about the project in a newspaper of general circulation to provide a chance for the general public to comment on proposed new land development projects. This notice may be provided by the applicant or the applicant's agent, the municipality or the local agency by publication in a newspaper of general circulation within the municipality affected. Where an applicant or an applicant's agent provides the required notice for publication, the applicant or applicant's agent shall notify the municipality or local agency and the municipality and local agency will be relieved of the obligation to publish. The required content of the publication notice is found in Section P of the instructions.

To complete this section, each of the following questions must be answered with a "yes" or "no". Newspaper publication is required if any of the following are answered "yes".

Yes No

1. Does the project propose the construction of a sewage treatment facility ?
2. Will the project change the flow at an existing sewage treatment facility by more than 50,000 gallons per day?
3. Will the project result in a public expenditure for the sewage facilities portion of the project in excess of \$100,000?
4. Will the project lead to a major modification of the existing municipal administrative organizations within the municipal government?
5. Will the project require the establishment of *new* municipal administrative organizations within the municipal government?
6. Will the project result in a subdivision of 50 lots or more? (onlot sewage disposal only)
7. Does the project involve a major change in established growth projections?
8. Does the project involve a different land use pattern than that established in the municipality's Official Sewage Plan?

P. PUBLIC NOTIFICATION REQUIREMENT cont'd. (See Section P of instructions)

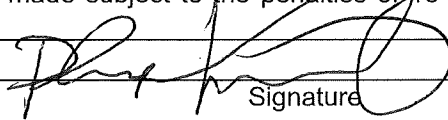
9. Does the project involve the use of large volume onlot sewage disposal systems (Flow > 10,000 gpd)?
10. Does the project require resolution of a conflict between the proposed alternative and consistency requirements contained in §71.21(a)(5)(i), (ii), (iii)?
11. Will sewage facilities discharge into high quality or exceptional value waters?
- Attached is a copy of:
- the public notice,
 - all comments received as a result of the notice,
 - the municipal response to these comments.
- No comments were received. A copy of the public notice is attached.

Q. FALSE SWEARING STATEMENT (See Section Q of instructions)

I verify that the statements made in this component are true and correct to the best of my knowledge, information and belief. I understand that false statements in this component are made subject to the penalties of 18 PA C.S.A. §4904 relating to unsworn falsification to authorities.

Phil Karanovich

Name (Print)



Signature

Project Manager

8/19/2022

Date

Title

4314 Old William Penn HWY, Suite 101, Monroeville,
PA 15146

7243251215

Telephone Number

Address

R. REVIEW FEE (See Section R of instructions)

The Sewage Facilities Act establishes a fee for the DEP planning module review. DEP will calculate the review fee for the project and invoice the project sponsor **OR** the project sponsor may attach a self-calculated fee payment to the planning module prior to submission of the planning package to DEP. (Since the fee and fee collection procedures may vary if a "delegated local agency" is conducting the review, the project sponsor should contact the "delegated local agency" to determine these details.) Check the appropriate box.

- I request DEP calculate the review fee for my project and send me an invoice for the correct amount. I understand DEP's review of my project will not begin until DEP receives the correct review fee from me for the project.
- I have calculated the review fee for my project using the formula found below and the review fee guidance in the instructions. I have attached a check or money order in the amount of \$100 payable to "Commonwealth of PA, DEP". Include DEP code number on check. I understand DEP will not begin review of my project unless it receives the fee and determines the fee is correct. If the fee is incorrect, DEP will return my check or money order, send me an invoice for the correct amount. I understand DEP review will NOT begin until I have submitted the correct fee.
- I request to be exempt from the DEP planning module review fee because this planning module creates **only** one new lot and is the **only** lot subdivided from a parcel of land as that land existed on December 14, 1995. I realize that subdivision of a second lot from this parcel of land shall disqualify me from this review fee exemption. I am furnishing the following deed reference information in support of my fee exemption.

County Recorder of Deeds for _____ County, Pennsylvania

Deed Volume _____ Book Number _____

Page Number _____ Date Recorded _____

R. REVIEW FEE (continued)

Formula:

1. For a new collection system (with or without a Clean Streams Law Permit), a collection system extension, or individual tap-ins to an existing collection system use this formula.

$$\#2 \text{ Lots (or EDUs) X } \$50.00 = \$ 100.00$$

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
 - For community sewer system projects, one EDU is equal to a sewage flow of 400 gallons per day.
2. For a surface or subsurface discharge system, use the appropriate one of these formulae.

- A. A new surface discharge greater than 2000 gpd will use a flat fee:

\$ 1,500 per submittal (non-municipal)
\$ 500 per submittal (municipal)

- B. An increase in an existing surface discharge will use:

$$\# \text{ Lots (or EDUs) X } \$35.00 = \$$$

to a maximum of \$ 1,500 per submittal (non-municipal) or \$ 500 per submittal (municipal)

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
 - For community sewage system projects one EDU is equal to a sewage flow of 400 gallons per day.
 - For non-single family residential projects, EDUs are calculated using projected population figures
- C. A sub-surface discharge system that requires a permit under The Clean Streams Law will use a flat fee:
\$ 1,500 per submittal (non-municipal)
\$ 500 per submittal (municipal)

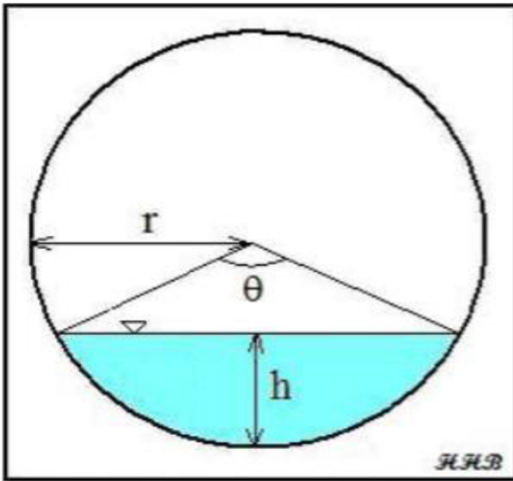
MOST LIMITED CAPACITY SEWER
(MLCS) CALCULATIONS

Sewage Facilities Planning Module

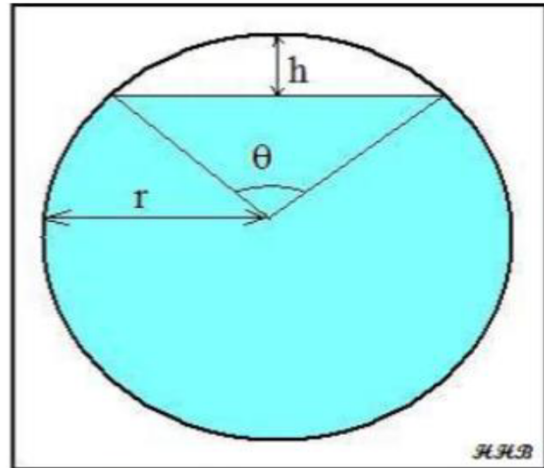
Most Limited Capacity Sewer (MLCS) Calculations

Project: HFH - 532 Lincoln Ave.

Mannings Equation



Partially Full Pipe Flow Parameters
(Less Than Half Full)



Partially Full Pipe Flow Parameters
(More Than Half Full)

Variables

<u>Variable</u>	<u>Units</u>	<u>Description</u>
Q	ft ³	Volumetric Flowrate
n		Mannings Roughness Coefficient
A	ft ²	Cross-Sectional Area of Flow
R	ft	Hydraulic Radius
S	ft/ft	Slope of Hydraulic Grade Line
P	ft	Wetted Perimeter
r	ft	Radius
h	ft	Depth of Flow
θ	rad	Central Angle

Equations Used

$$Q = (1.49/n) A R^{2/3} S^{1/2}$$

$$R = A/P$$

$$\theta = 2 \cos^{-1} (r-h/r)$$

$$(>50\%) A = \pi r^2 [r^2 (\theta - \sin\theta)/2]$$

$$(<50\%) A = r^2 (\theta - \sin\theta)/2$$

$$P = 2\pi r - r\theta$$

$$P = r\theta$$

Calculation Data

Flow Depth Information

Per PWSA, the Most Limited Capacity Sewer (MLCS) was identified between the manholes and street identified below. Flow depth measurements were taken on the date and at the manhole specified below in the Flow Depth Summary Table.

MH1: MH125B024
 MH2: JCT125B001
 Street: Exchange Way
 Flow Depth Taken @ MH125B024
 Date : 8/19/2022

Flow Depth Summary Table

	Time	Flow Depth (ft)	Flow Depth (in)
1	6:00 AM	0.04	0.48
2	6:15 AM	0.06	0.72
3	6:30 AM	0.04	0.48
4	6:45 AM	0.05	0.60
5	7:00 AM	0.05	0.60

*Override as Necessary

Flow Depth = Greatest of 5 measurements

Combined Sewer? Yes

Peaking Factor 3.5

Proposed Project Flow (Qp) 800 gpd

Pipe Mat'l	VCP	
S	0.0232	ft/ft
D	1.667	ft
n	0.015	
h	0.06	ft
PF	3.5	

Calculations for Design and Permitted Capacities

Qd avg = Average Design Capacity = Full Pipe Flow Conditions / Peaking Factor

Qd peak = Peak Design Capacity = Full Pipe Flow Conditions

Qd avg = 3,400,398 gpd

D	1.667	ft
r	0.833	ft
A	2.182	ft ²
P	5.236	ft
R	0.417	ft
Qd peak	18.41	cfs
Qd peak	11,901,392	gpd

Calculations for Present Flows

Qex avg = Average Present Flows = Qex peak / PF

Qex peak = Peak Present Flows = Existing Flow Conditions Per Site Investigation

Qex avg = 8,085 gpd

D	1.667	ft
r	0.833	ft
θ	0.764	rad
h/D	0.036	ft/ft
A	0.025	ft ²
P	0.636	ft
R	0.039	ft
Qex peak	0.04	cfs
Qex peak	28,297	gpd

Calculations for Projected Flows in Five (5) Years

Qproj avg = Average Projected Flows in Five (5) Years = Qproj peak / PF

Qproj peak = Peak Projected Flows in Five (5) Years = (Qex peak + Qp) x 1.05

Qproj avg = 8729 gpd
Qproj peak = 30552 gpd

Summary Table

Variable	GPD
Qd avg	3,400,398
Qd peak	11,901,392
Qex avg	8,085
Qex peak	28,297
Qproj avg	8,729
Qproj peak	30,552



PWSA PROVIDED MLCS
STRUCTURES SPREADSHEET

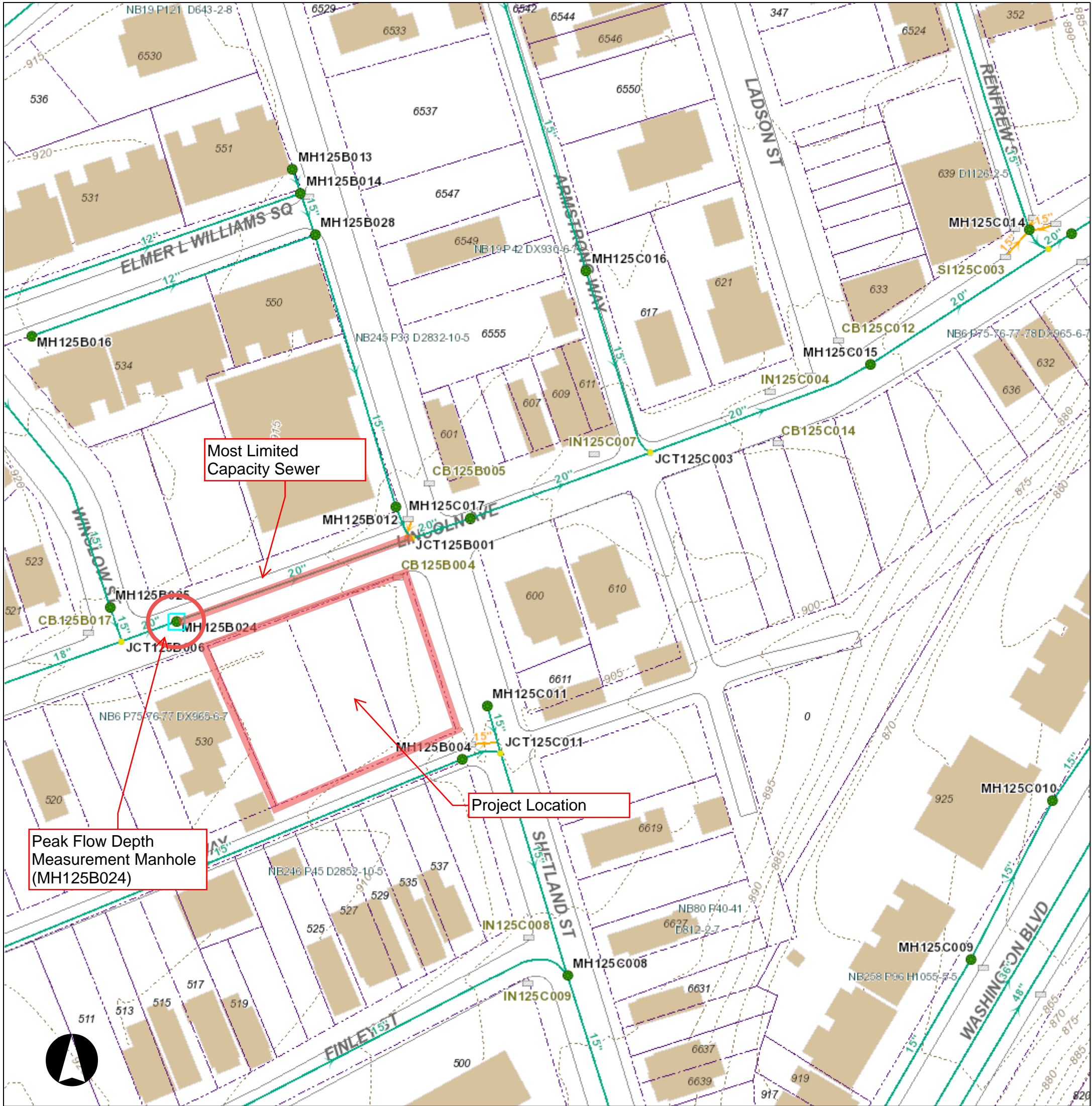
Most Limited Capacity Sewer (MLCS) Spreadsheet

PROJECT NAME:	532 Lincoln Ave
PWSA PROJECT NUMBER:	DEV-123-0622
PWSA REVIEWER:	Midori Bridges
DATE:	June 28, 2022

LEGEND:	Output Data
	Input Data
	Questionable Data
	Hydraulically Limited Sewer

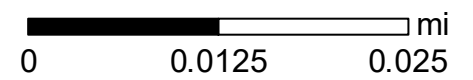
Upstream MH	Downstream MH	Upstream Invert	Downstream Invert	Length, ft	Diam., in.	Material	n	Area, sf	Wetted P, ft	Slope	Flow, gpd
MH125B024	JCT125B001	900.00	896.00	172.35	20	VCP	0.015	2.18	5.236	2.32%	11,903,593
JCT125B001	MH125C017	896.00	894.00	42.55	20	VCP	0.015	2.18	5.236	4.70%	16,940,216
MH125C017	JCT125C003	894.00	889.00	132.95	20	VCP	0.015	2.18	5.236	3.76%	15,152,858
JCT125C003	MH125C015	889.00	883.00	163.45	20	VCP	0.015	2.18	5.236	3.67%	14,970,520
MH125C015	JCT125C004	883.00	877.70	146.60	20	VCP	0.015	2.18	5.236	3.62%	14,856,780
JCT125C004	MH125C018	877.70	877.00	19.36	20	VCP	0.015	2.18	5.236	3.62%	14,857,648
MH125C018	MH125C013	877.00	875.60	36.60	20	VCP	0.015	2.18	5.236	3.83%	15,281,895
MH125C013	JCT124R014	875.60	810.40	215.24	20	VCP	0.015	2.18	5.236	30.29%	43,004,711
JCT124R014	JCT125R001	810.40	808.56	71.10	36	Brick	0.016	7.07	9.425	2.59%	56,497,053
JCT125R001	MH124R005	808.56	807.72	11.36	72	Brick	0.016	28.27	18.850	7.36%	604,940,017
MH124R005	EQ124R001	807.72	807.16	33.29	72	Brick	0.016	28.27	18.850	1.69%	290,268,939
EQ124R001	JCT124R009	807.16	804.14	389.66	72	Brick	0.016	28.27	18.850	0.78%	196,317,448
JCT124R009	MH124L019	804.14	792.30	485.48	72	Brick	0.016	28.27	18.850	2.44%	348,247,912
MH124L019	JCT124K008	792.30	784.50	584.86	72	Brick	0.016	28.27	18.850	1.33%	257,525,170
JCT124K008	MH124K006	784.50	782.50	129.13	72	Brick	0.016	28.27	18.850	1.55%	277,523,500
MH124K006	JCT124F006	782.50	778.00	247.05	72	Brick	0.016	28.27	18.850	1.82%	300,962,350
JCT124F006	JCT124F004	778.00	774.50	79.15	72	Brick	0.016	28.27	18.850	4.42%	468,928,797
JCT124F004	MH124B005	774.50	762.50	822.97	72	Brick	0.016	28.27	18.850	1.46%	269,275,575
MH124B005	JCT124B003	762.50	762.21	12.87	72	Brick	0.016	28.27	18.850	2.29%	337,613,711
JCT124B003	JCT124B006	762.21	762.00	32.75	96	Brick	0.016	50.27	25.133	0.63%	379,961,492
JCT124B006	JCT124B004	762.00	761.00	187.83	96	Brick	0.016	50.27	25.133	0.53%	350,417,532
JCT124B004	JCT124B005	761.00	760.00	167.15	96	Brick	0.016	50.27	25.133	0.60%	371,462,618
JCT124B005	JCT124P002	760.00	754.46	711.90	96	Brick	0.016	50.27	25.133	0.78%	423,809,239
JCT124P002	JCT124P003	754.46	752.25	288.36	108	Brick	0.016	63.62	28.274	0.77%	575,056,183
JCT124P003	MH123P007	752.25	748.16	55.13	108	Brick	0.016	63.62	28.274	7.42%	1,790,781,874
MH123P007	JCT123P004	748.16	748.00	6.21	108	Brick	0.016	63.62	28.274	2.58%	1,055,332,282
JCT123P004	JCT123K005	748.00	746.00	372.78	108	Brick	0.016	63.62	28.274	0.54%	481,574,772
JCT123K005	MH123F002	746.00	734.94	855.96	108	Brick	0.016	63.62	28.274	1.29%	747,353,135
MH123F002	MH123B002	734.94	732.38	934.00	108	Brick	0.016	63.62	28.274	0.27%	344,208,489
MH123B002	MH171P006	732.38	719.21	715.22	108	Brick	0.016	63.62	28.274	1.84%	892,170,984
MH171P006	ADC122PA42A	719.21	718.00	77.87	108	Brick	0.016	63.62	28.274	1.55%	819,563,540

532 Lincoln Ave. MLCS



Legend

	Meter		Water Manhole		Private Inlet
	Curb Box		Rising Main		Outfall
	Water System Pump		Supply Main		End Cap
	Hydrant		Transmission Main		Sewer Pump Station
	System Valve		Distribution Main		Combined Sewer
	Dividing Pressure Valve		Hydrant Branch		Sanitary Sewer
	Coupling		Private Main		Storm Sewer
	Tee		Water Service Line		Regulated Combined Sewer
	Cross				Overflow Sewer
	Reducer				Interceptor
	End Cap				Sewer Force Main
	Wash Out				Private Sewer
		SEWER			Undefined Sewer
			Manhole		Green Infrastructure Underground Facilities
			Junction		
			Inlet		

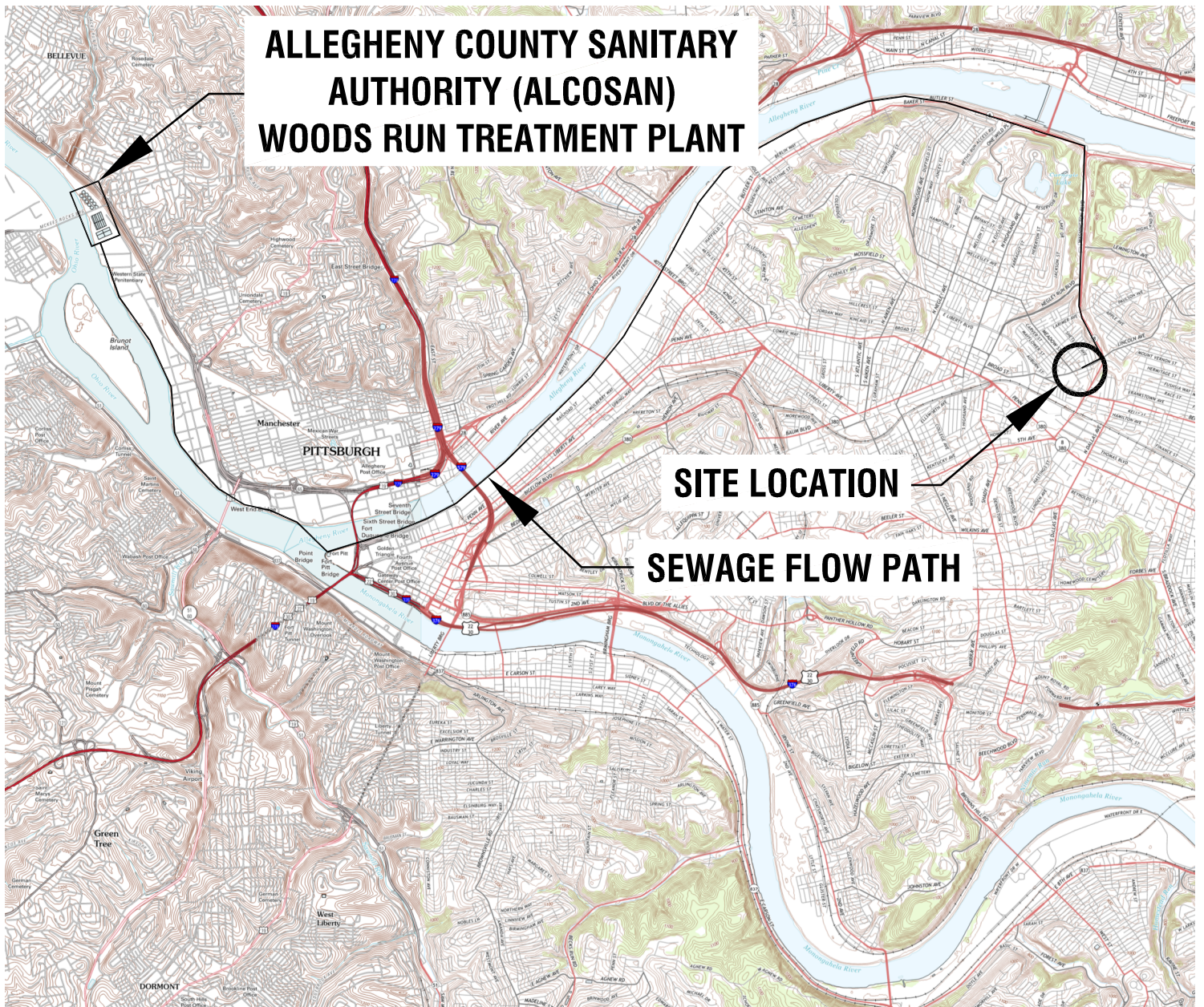


Neither the City of Pittsburgh nor the PWSA guarantees the accuracy of any of the information hereby made available, including but not limited to information concerning the location and condition of underground structures, and neither assumes any responsibility for any conclusions or interpretations made on the basis of such information. COP and PWSA assume no responsibility for any understanding or representations made by their agents or employees unless such understanding or representations are expressly set forth in a duly authorized written document, and such document expressly provides that responsibility therefore is assumed by the City or the PWSA.

Date: 6/29/2022

USGS VICINITY MAP WITH
SEWAGE FLOW PATH

ALLEGHENY COUNTY SANITARY AUTHORITY (ALCOSAN) WOODS RUN TREATMENT PLANT



REFERENCES:

- 1.) PITTSBURGH EAST, PA - 2019
USGS QUADRANGLE
- 2.) PITTSBURGH WEST, PA - 2019
USGS QUADRANGLE



REVISIONS	
DATE	BY

HABITAT FOR HUMANITY
532 LINCOLN AVE PITTSBURGH, PA 15206

USGS VICINITY MAP



DEVELOPMENT SERVICES/DUE DILIGENCE/ ENGINEERS/ OWNERS/ SURVEYORS

4314 OLD WILLIAM PENN HWY
SUITE 101
MONROEVILLE, PA 15146
OFFICE: 724.325.1215

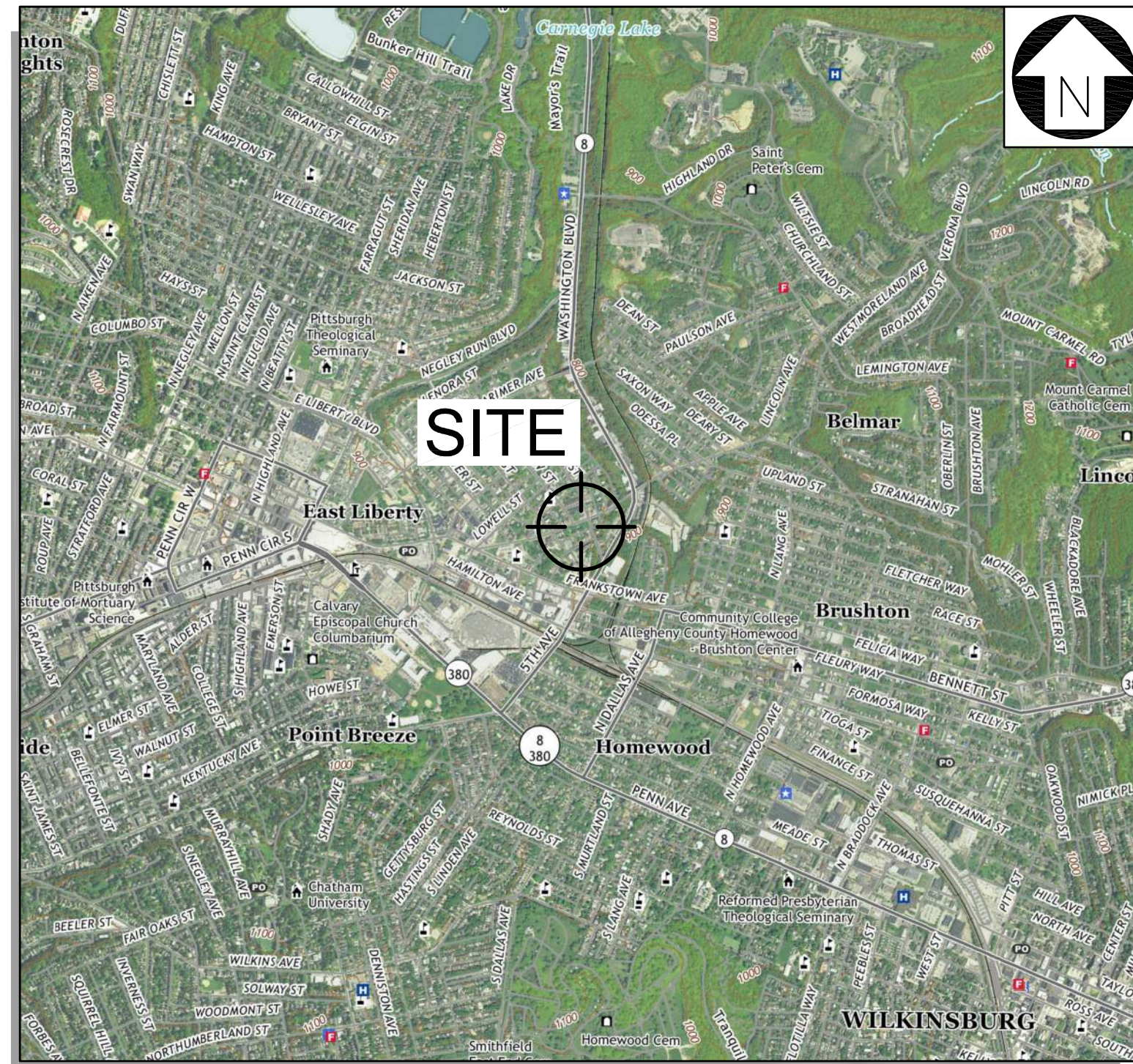
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DATE: 8/17/2022

SCALE: 1"=6,000'

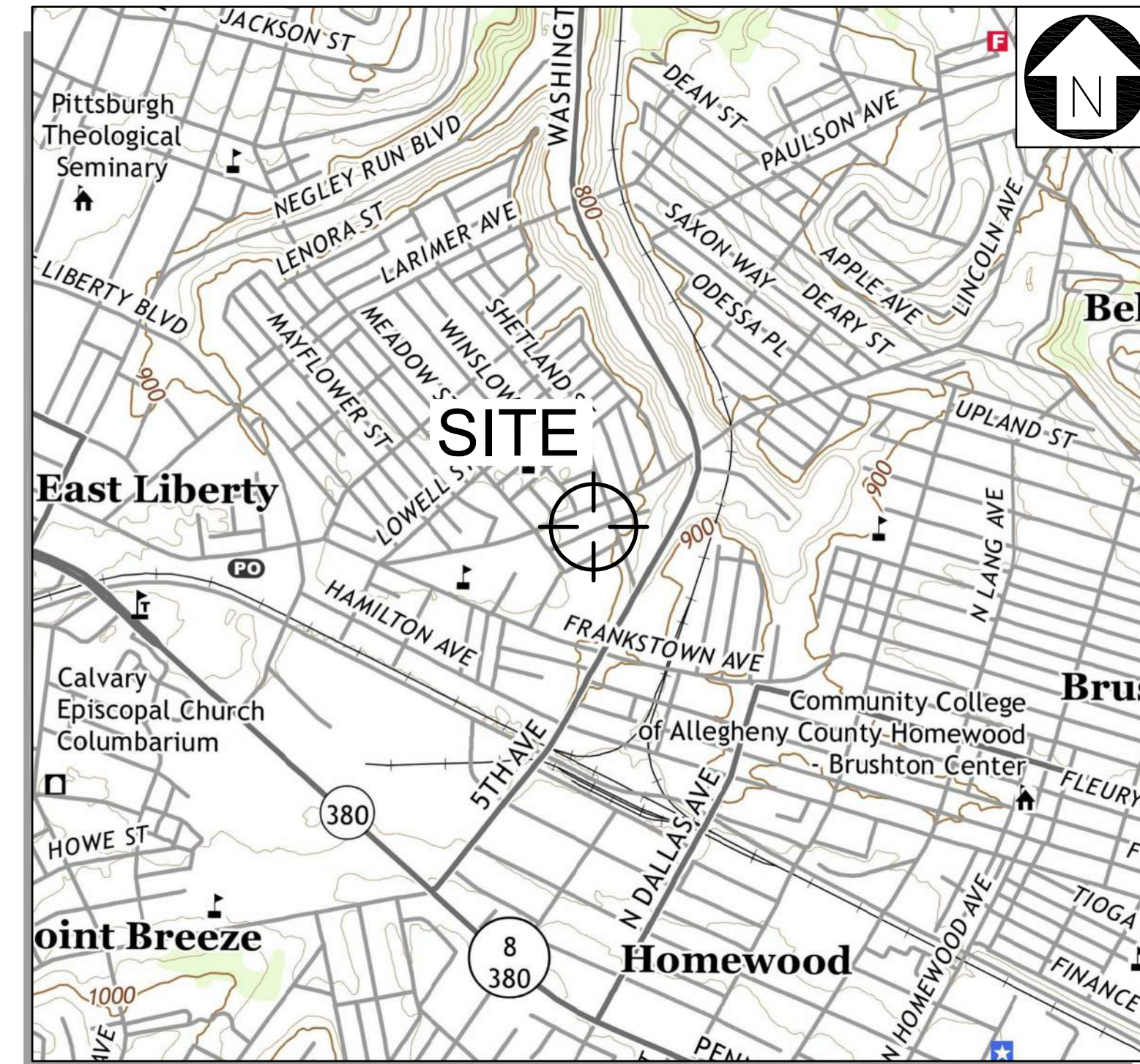
SHEET NO.
1 OF 1

PLOT PLAN

HABITAT FOR HUMANITY 532 LINCOLN AVE PWSA TAP-IN PLANS



PITTSBURGH EAST, PA
2019 USGS QUADRANGLE
USGS VICINITY MAP
SCALE: 1"=2000'



LOCAL MAP
SCALE: 1"=1000'

NUMBER

TP1.1
TP1.2
TP1.3
TP1.4
TP1.5

INDEX OF SHEETS

PWSA TAP-IN PLAN TITLE SHEET
PWSA SANITARY TAP-IN PLAN
PWSA WATER TAP-IN PLAN
PWSA DETAILS ~ SHEET 1 OF 2
PWSA DETAILS ~ SHEET 2 OF 2

REV.

0
0
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DATE

7/18/2022
7/18/2022
7/18/2022
7/18/2022
7/18/2022

LAND OWNER/DEVELOPER
HABITAT FOR HUMANITY OF
GREATER PITTSBURGH
6435 FRANKSTOWN AVENUE SUITE 100
PITTSBURGH, PA 15206
PHONE: (412) 450-8520
CONTACT: DR. HOWARD B. SLAUGHTER, JR.

PROJECT ENGINEER
RED SWING CONSULTING SERVICES, LLC
4314 OLD WILLIAM PENN HWY, SUITE 101
MONROEVILLE, PA 15146
PHONE: (724) 325-1215
CONTACT: MATTHEW E. SMITH, P.E.

SANITARY SEWER
PITTSBURGH WATER & SEWER AUTHORITY
1200 PENN AVENUE
PITTSBURGH, PA 15222
CONTACT: RICK OBERMEIER
robermeier@pgh2o.com

WATER SERVICE
PITTSBURGH WATER & SEWER AUTHORITY
1200 PENN AVENUE
PITTSBURGH, PA 15222
CONTACT: RICK OBERMEIER
robermeier@pgh2o.com

- REVIEW / PRELIMINARY
- APPROVALS / PERMITTING
- CONSTRUCTION

GENERAL NOTE

THESE DRAWINGS MAY NOT SHOW ALL UNDERGROUND PIPING AND UTILITIES. THE CONTRACTOR SHALL EXERCISE EXTREME CARE DURING ALL EXCAVATION AND OTHER CONSTRUCTION ACTIVITIES.

DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS, CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

THE PITTSBURGH WATER AND SEWER AUTHORITY

PWSA Project Reviewer certifies that he/she has reviewed the above noted document(s) in accordance with the Authority's established rules and regulations. Based on this review, approval is hereby recommended.

PWSA Project Reviewer _____ Date _____

Approval _____ Date _____

Manager of Development Service _____

Director of Field Operations _____

HABITAT FOR HUMANITY

HABITAT FOR HUMANITY
PWSA TAP-IN PLAN
532 LINCOLN AVE
PITTSBURGH, PA 15206
ALLEGHENY COUNTY - 12TH WARD

SCALE: SHEET ACCESSION NO. C-
DATE: 1 OF 5 CASE NO. _____

**HABITAT FOR HUMANITY
RESIDENTIAL HOUSING**

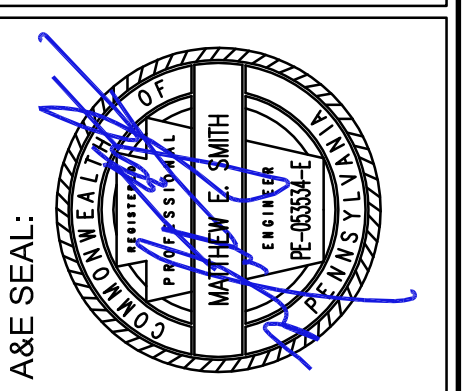
532 LINCOLN AVE
PITTSBURGH, PA 15206
ALLEGHENY COUNTY - 12TH WARD

REVISIONS:	MARK	DATE	ISSUED FOR REVIEW	DESCRIPTION
	0	6/24/2022		

PROJ NO: 21-1080
SCALE: AS SHOWN
DATE: 7/18/2022
DESIGNED BY: ICA
DRAWN BY: DMM
CHECKED BY: PJK

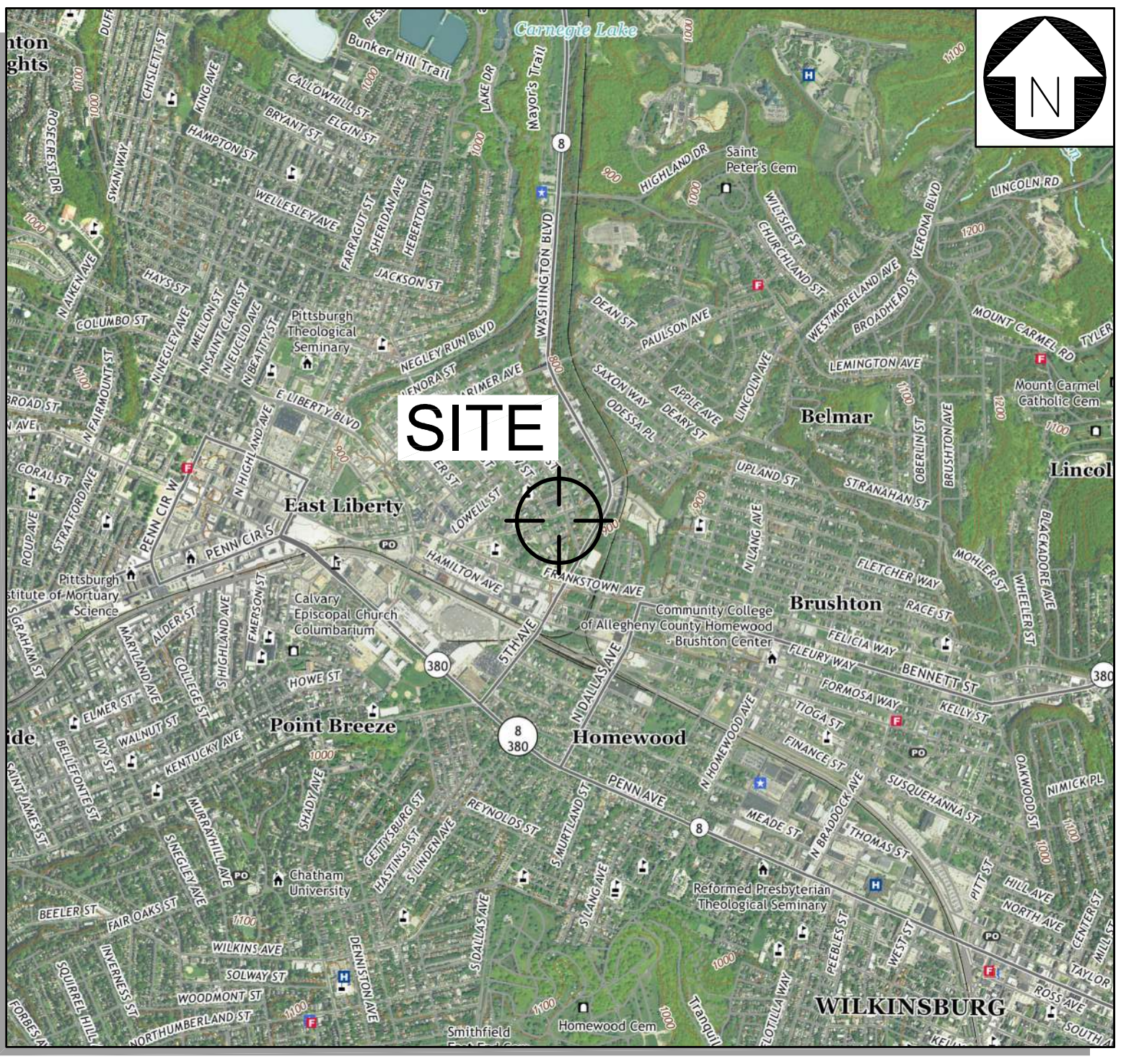
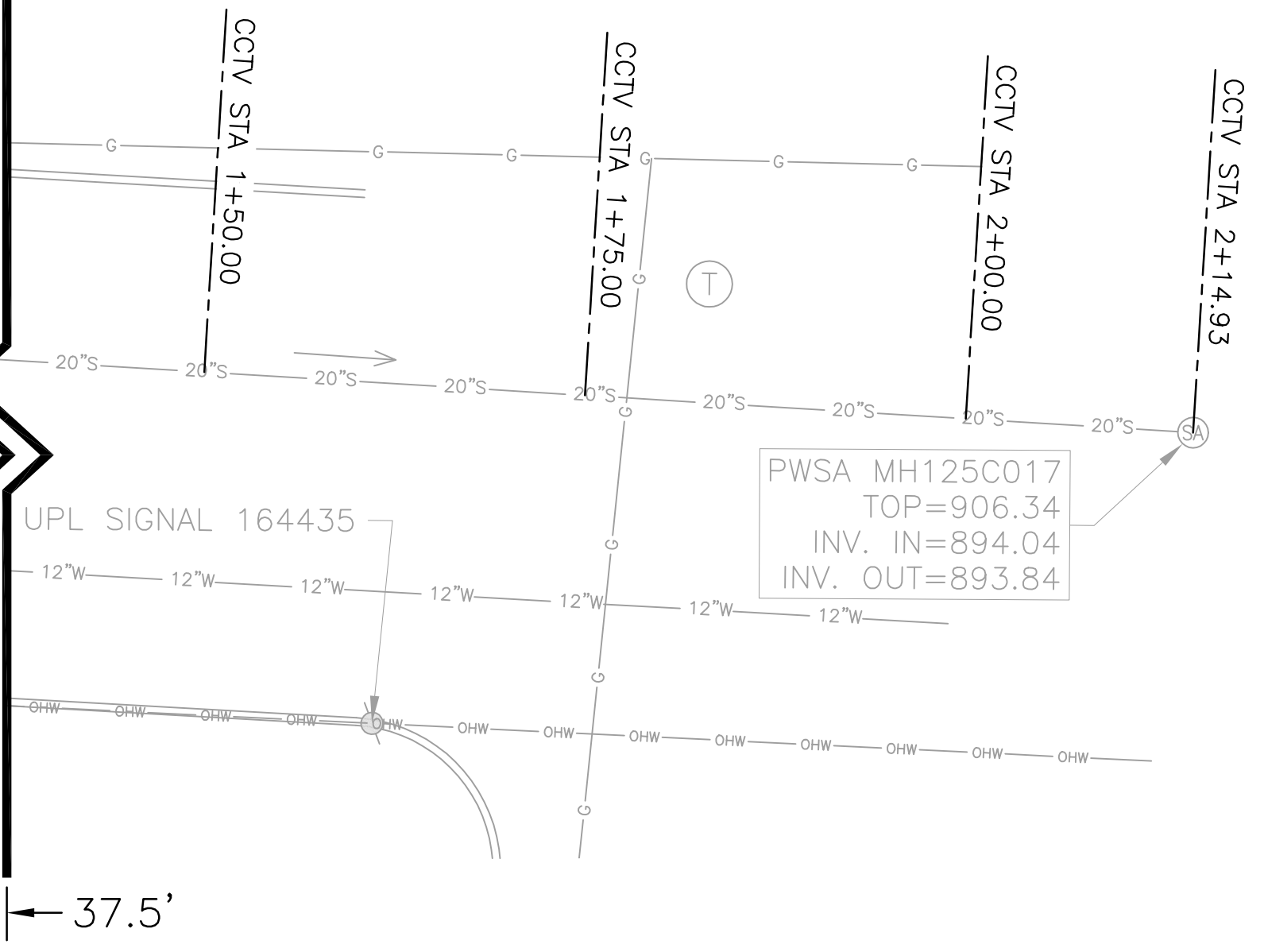
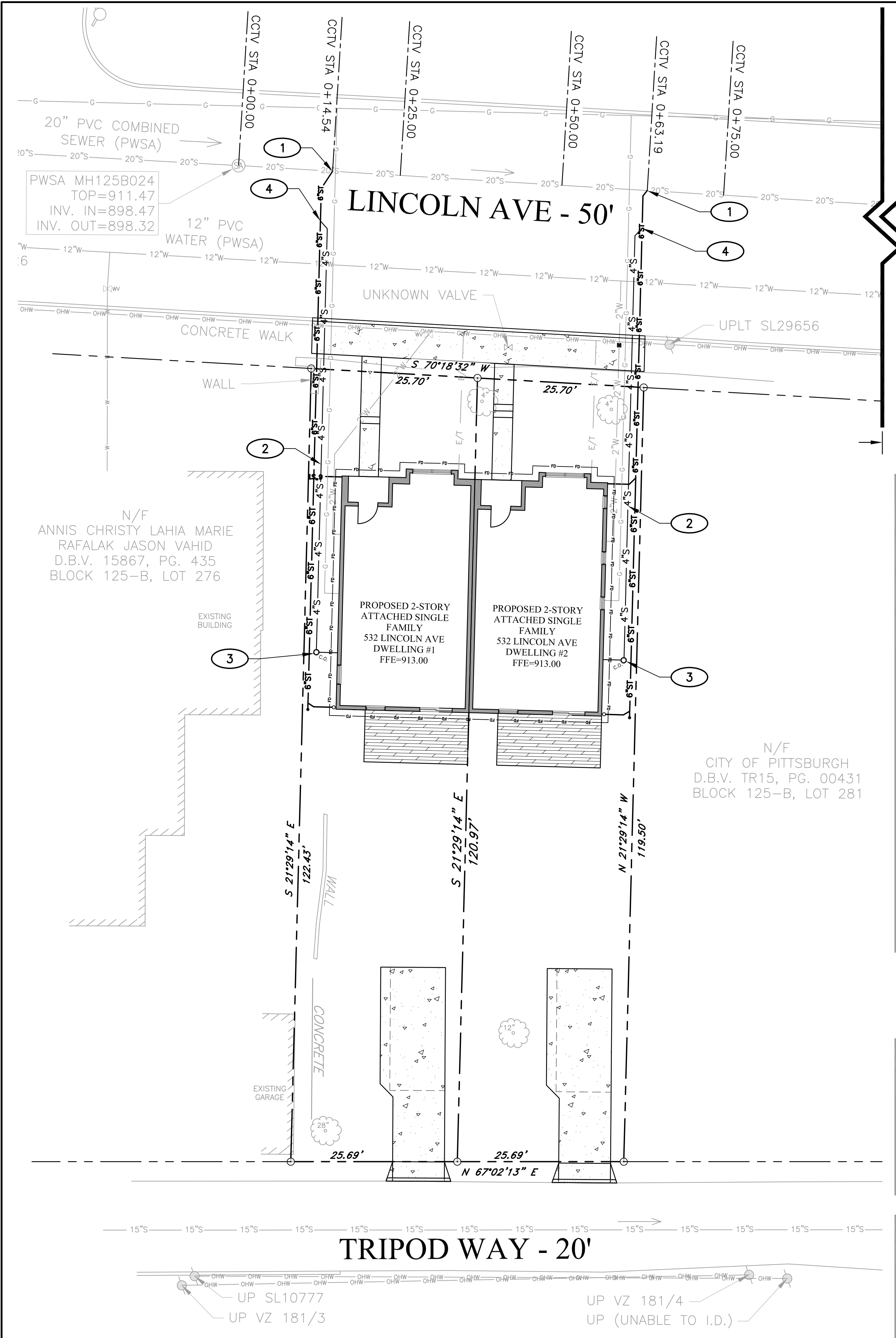
SHEET TITLE:

TITLE SHEET
SHEET NO.
TP1.1



ACKNOWLEDGEMENT OR SIGN-OFF BY
OWNER OR CONTRACTOR
DRAWN BY: _____
DATE: _____
ALTERATION OF LEASE TERMS:
THE INFORMATION CONTAINED IN THIS
SET OF DOCUMENTS IS PROPRIETARY
BY NATURE. ANY USE OR DISCLOSURE
OTHER THAN THAT WHICH RELATES TO
THIS PROJECT IS A VIOLATION OF LAW FOR ANY
PERSON, UNLESS THEY ARE WORKING
UNDER THE DIRECTION OF A LICENSED
PROFESSIONAL ENGINEER TO ALTER
THIS DOCUMENT.

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PITTSBURGH EAST, PA
2019 USGS QUADRANGLE
USGS VICINITY MAP
SCALE: 1"=2000'

- ### SITE UTILITY NOTES
- PROPOSED CONNECTION TO EXISTING PWSA COMBINED SEWER. CONTRACTOR TO COORDINATE WITH SANITARY SEWER SERVICE PROVIDER FOR FIELD CONNECTION TO EXISTING SYSTEM (TYP. PER UNIT). SEE DETAIL 3-1 TR1.4
 - PROPOSED 4" SANITARY LINE.
 - PROPOSED SANITARY CLEANOUT.
 - PROPOSED SANITARY CONNECTION TO PROPOSED STORMWATER LINE. SEE 3-5 TR1.7

UNIT	STATION	TAP
-	0+00.00	BEGIN STA. AT EXISTING MH125B024
1	0+14.54	PROPOSED 6" TAP
2	0+63.19	PROPOSED 6" TAP
-	2+14.93	END STA. AT EXISTING MH125C017

PEAK OPERATING WATER DEMANDS

To be completed by the Applicant:

METER INFORMATION				DOMESTIC SYSTEM		FIRE SYSTEM		
I.D.	QUANTITY	SIZE	TYPE	USE	FLOW, GPM	PRESSURE, PSI	FLOW, GPM	PRESSURE, PSI
A	2	2"	ELECTROMAGNETIC	DOMESTIC	20	45	N/A	N/A
B								
C								
D								
E								

METER SIZE: ½", ¾", 1", 2", 3", 4", 6", 8", 10", 12", 16"
METER TYPE: POSITIVE DISPLACEMENT, COMPOUND, ELECTROMAGNETIC, ULTRASONIC, TURBINE
METER USE: DOMESTIC, FIRE, COMBINATION

- THE PITTSBURGH WATER & SEWER AUTHORITY APPROVAL BLOCK**
- To be completed by the Applicant:*
(Check all that apply)
- NEW WATER CONNECTION(S)
 - NEW SEWER CONNECTION(S)
 - REUSE EXISTING WATER CONNECTION(S)
 - REUSE EXISTING SEWER CONNECTION(S)
 - TERMINATE EXISTING WATER CONNECTION(S)
 - TERMINATE EXISTING SEWER CONNECTION(S)
 - PRIVATE CONSTRUCTION OF PUBLIC FACILITIES
- To be completed by the PWSA:*
(Required for ALL approvals)
- REVIEWER, DEPT. OF ENGINEERING AND CONSTRUCTION
- SENIOR PROJECT MANAGER, DEPT. OF ENGINEERING AND CONSTRUCTION
- DIRECTOR OF OPERATIONS
- (Required for "Private Construction of Public Facilities" ONLY)
- DIRECTOR, DEPT. OF ENGINEERING AND CONSTRUCTION
- PWSA PROJECT NUMBER TAP-74-0622
- TAP C RECORD NUMBER _____

PEAK DAILY FLOW DEMANDS

To be completed by the Applicant:

TYPE OF FLOW	SANITARY, GPD	WATER, GPD	STORM, CFS
PROJECT FLOW	800 GPD	800 GPD	0.76 CFS
EXISTING FLOW	0 GPD	0 GPD	0.65 CFS
NET FLOW	800 GPD	800 GPD	0.11 CFS

PWSA W&S USE APPROVAL DATE (If required) _____
DEP SFPM APPROVAL DATE (If required) _____

- ### LEGEND
- G — G — EXISTING GAS LINE
 - W — W — EXISTING WATER LINES
 - OHW — OHW — EXISTING OVERHEAD UTILITY LINE
 - SAN — SAN — EXISTING SANITARY LINE
 - — — — — PROPERTY LINES
 - G — G — PROPOSED GAS LINE
 - E/T — E/T — PROPOSED TELE/COM LINE
 - 6"ST — 6"ST — PROPOSED STORM LINE
 - PROPOSED CONCRETE DRIVEWAY
 - SA EXISTING SANITARY MANHOLE
 - O.C. PROPOSED CLEAN-OUT
 - U UTILITY POLE
 - P PROPERTY CORNER
 - W PROPOSED CURB BOX
 - 1.0"W PROPOSED WATER LINES
 - 4"S PROPOSED SANITARY LINE
 - ADJACENT PROPERTY LINE

LAND OWNER/DEVELOPER
HABITAT FOR HUMANITY OF
GREATER PITTSBURGH
6435 FRANKSTOWN AVENUE SUITE 100
PITTSBURGH, PA 15206
PHONE: (412) 450-8520
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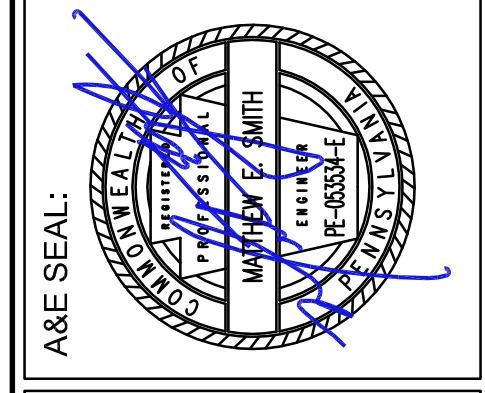
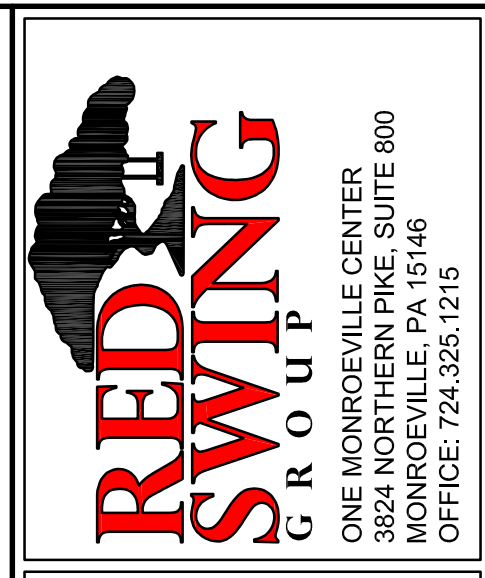
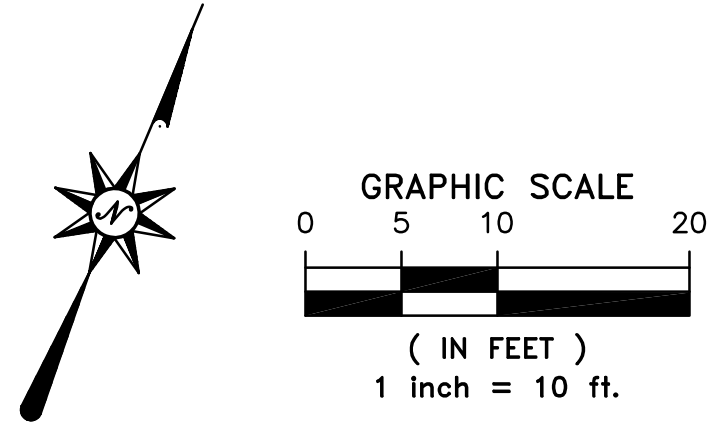
PROJECT ENGINEER
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CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS NOTICE IN DESIGN STAGE.
STOP CALL
PENNSYLVANIA ONE CALL SYSTEM, INC.
1-800-242-1776



ACKNOWLEDGMENT OR SIGN-OFF BY APPLICANT IS REQUIRED FOR CONSTRUCTION. THIS INFORMATION IS PROPRIETARY TO RED SWING CONSULTING SERVICES, LLC. ANY USE OR DISCLOSURE OF THIS INFORMATION TO ANY OTHER PERSON OR ENTITY WITHOUT THE WRITTEN PERMISSION OF RED SWING CONSULTING SERVICES, LLC IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE WORKING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER TO ALTER THIS DOCUMENT.

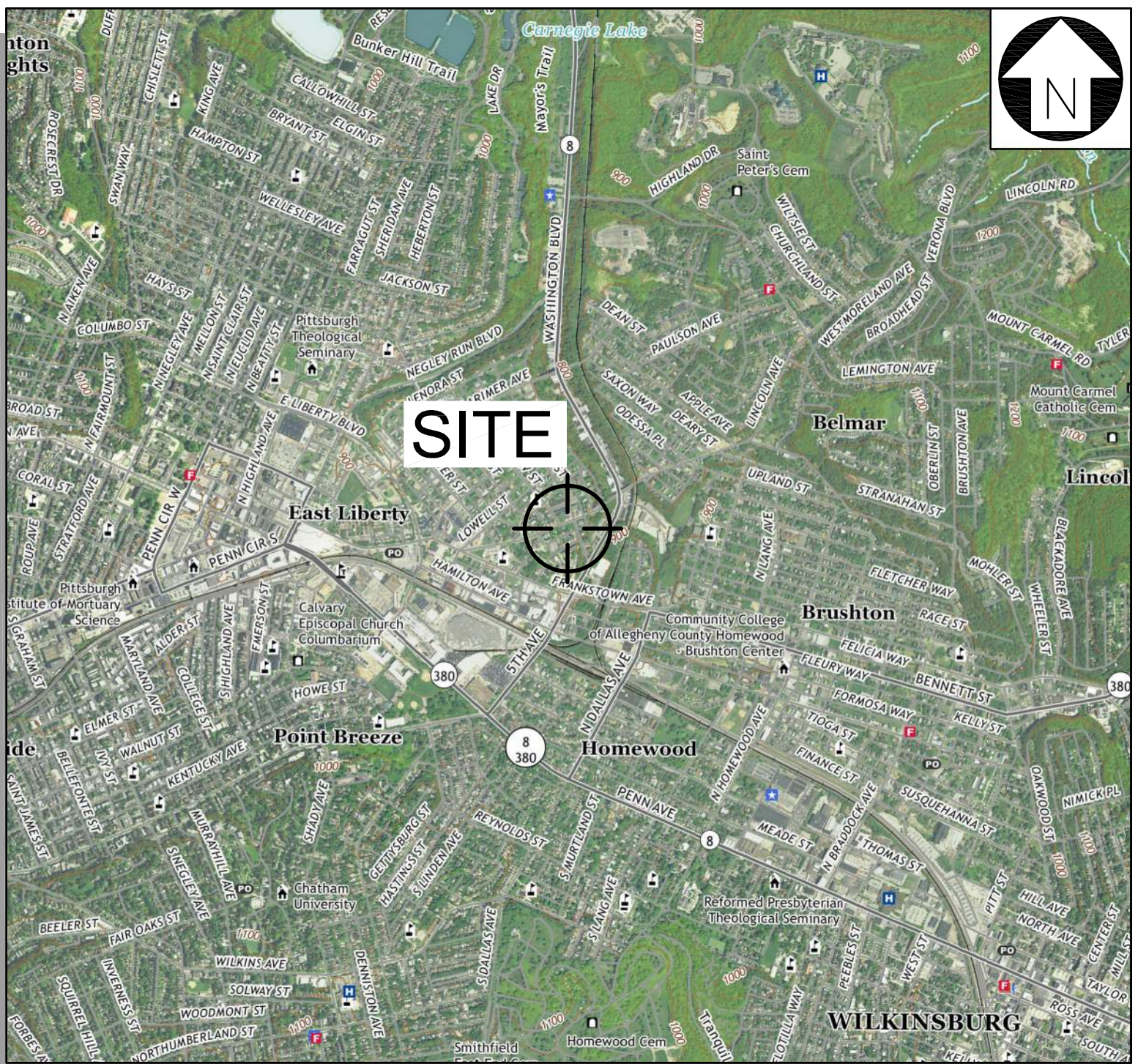
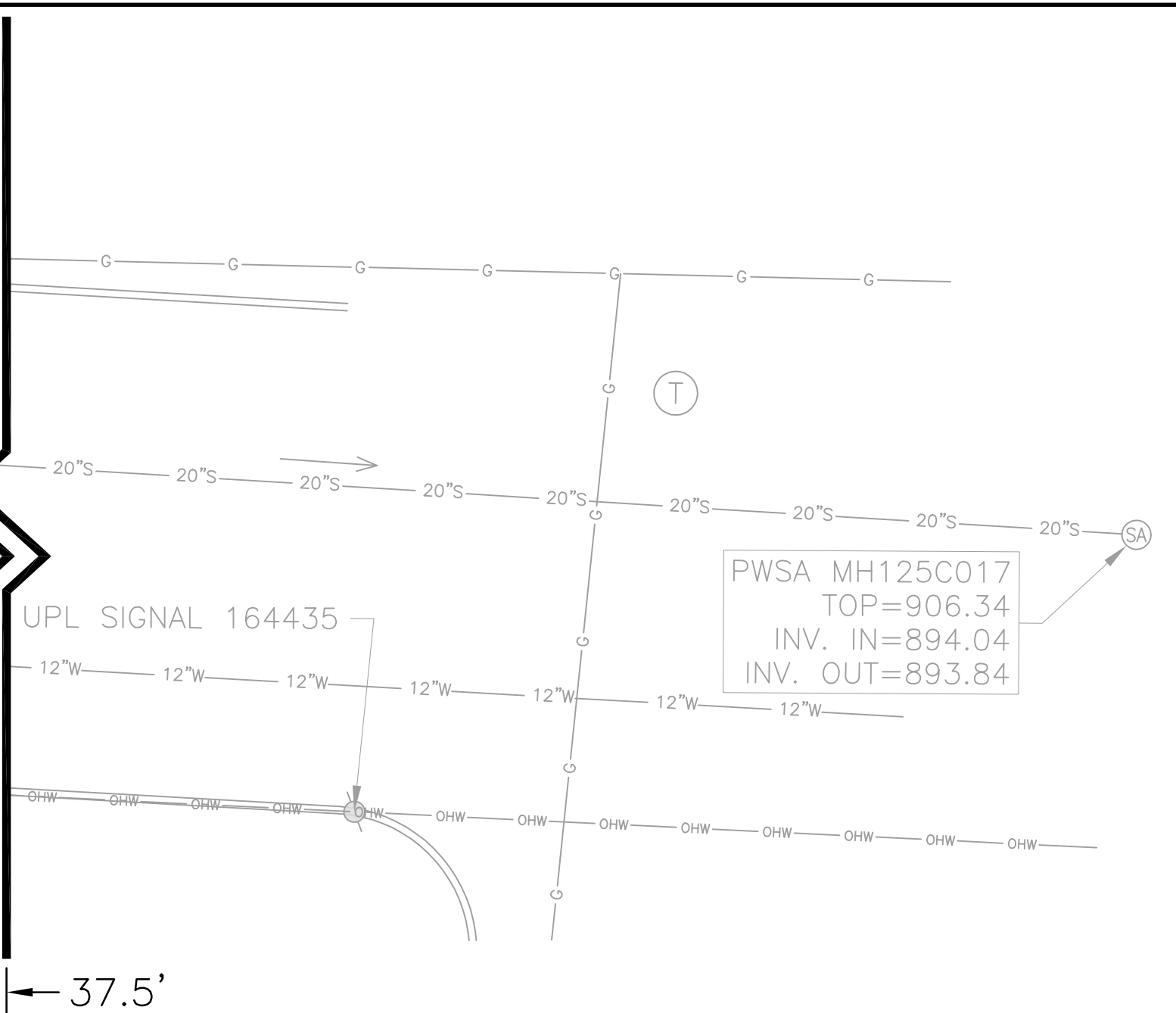
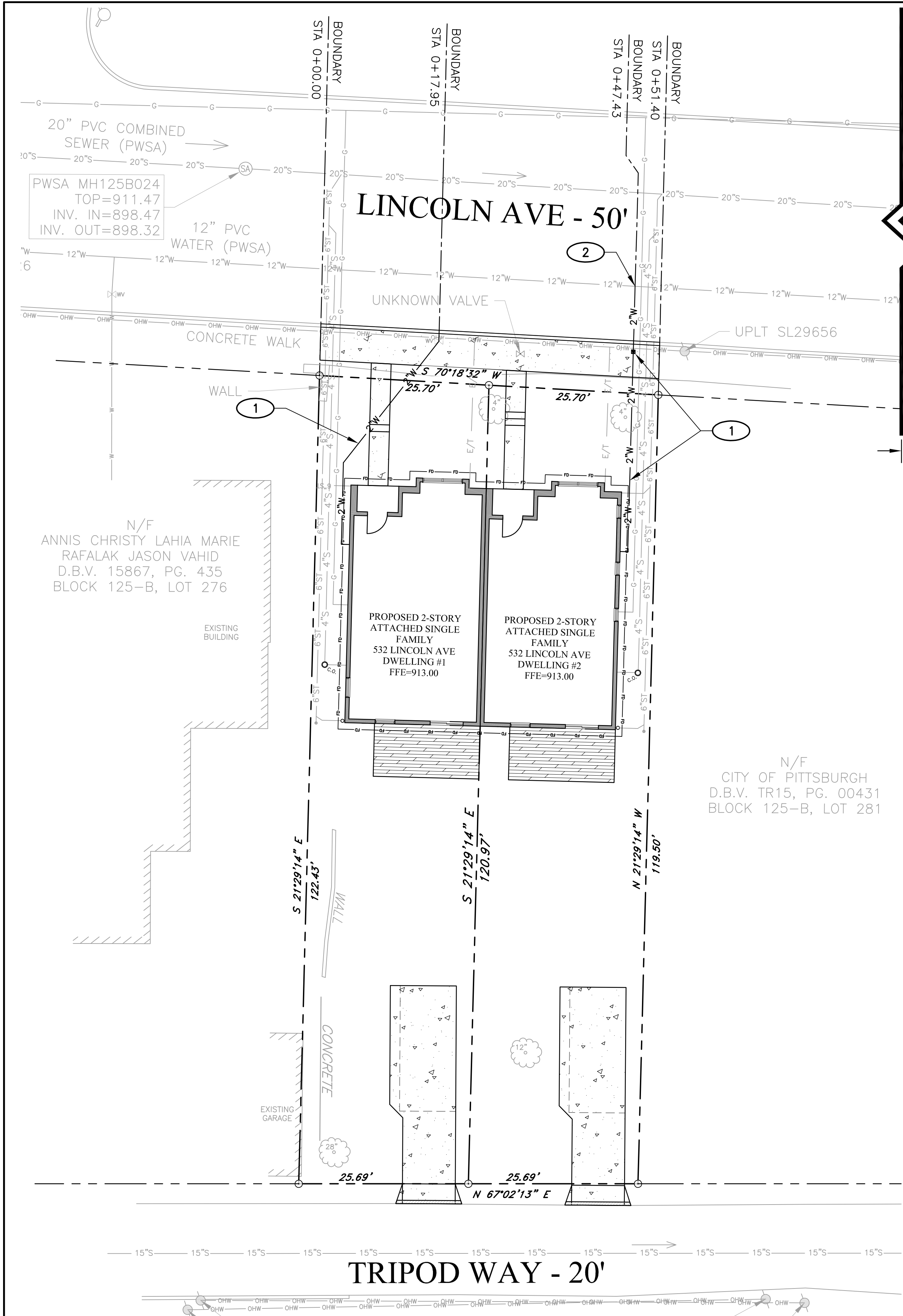
**HABITAT FOR HUMANITY
RESIDENTIAL HOUSING**

532 LINCOLN AVE
PITTSBURGH, PA 15206
ALLEGHENY COUNTY - 12TH WARD

REVISIONS:

MARK	DATE	ISSUED FOR REVIEW	DESCRIPTION
0	6/24/2022		

PROJ NO: 21-1080
SCALE: AS SHOWN
DATE: 7/18/2022
DESIGNED BY: ICA
DRAWN BY: DMM
CHECKED BY: PJK
SHEET TITLE:
**SANITARY
TAP-IN PLAN**
SHEET NO.
TP1.2



PITTSBURGH EAST, PA
2019 USGS QUADRANGLE
USGS VICINITY MAP
SCALE: 1"=2000'

- SITE UTILITY NOTES**
- 1 PROPOSED WATER SERVICE LATERAL AND CURB BOX. CONTRACTOR TO COORDINATE WITH WATER SERVICE PROVIDER FOR FIELD CONNECTION. SEE (E-1) TP1.4, (E-2) TP1.4
 - 2 PROPOSED WATER TAP INTO EXISTING PWSA 12" WATER LINE. REFER TO (E-1) TP1.5

PROPOSED WATER TAPS

UNIT TAP	STATION	TYPE
-	0+00.00	BEGIN STATION AT PROPERTY LINE
1	0+17.95	PROPOSED 2.0" CONNECTION TO EXISTING WATER VALVE
2	0+47.43	PROPOSED 2.0" TAP
-	0+51.40	END STATION AT PROPERTY LINE

PEAK OPERATING WATER DEMANDS

To be completed by the Applicant:

I.D.	METER INFORMATION				DOMESTIC SYSTEM		FIRE SYSTEM	
	QUANTITY	SIZE	TYPE	USE	FLOW, GPM	PRESSURE, PSI	FLOW, GPM	PRESSURE, PSI
A	2	2"	ELECTROMAGNETIC	DOMESTIC	20	45	N/A	N/A
B								
C								
D								
E								

METER SIZE: 3/8", 1/2", 3/4", 1", 2", 3", 4", 6", 8", 10", 12", 16"
 METER TYPE: POSITIVE DISPLACEMENT, COMPOUND, ELECTROMAGNETIC, ULTRASONIC, TURBINE
 METER USE: DOMESTIC, FIRE, COMBINATION

- THE PITTSBURGH WATER & SEWER AUTHORITY APPROVAL BLOCK**
- To be completed by the Applicant:
(Check all that apply)
- NEW WATER CONNECTION(S)
 - NEW SEWER CONNECTION(S)
 - REUSE EXISTING WATER CONNECTION(S)
 - REUSE EXISTING SEWER CONNECTION(S)
 - TERMINATE EXISTING WATER CONNECTION(S)
 - TERMINATE EXISTING SEWER CONNECTION(S)
 - PRIVATE CONSTRUCTION OF PUBLIC FACILITIES

To be completed by the PWSA:
(Required for ALL approvals)

REVIEWER, DEPT. OF ENGINEERING AND CONSTRUCTION

SENIOR PROJECT MANAGER, DEPT. OF ENGINEERING AND CONSTRUCTION

DIRECTOR OF OPERATIONS
(Required for "Private Construction of Public Facilities" ONLY)

DIRECTOR, DEPT. OF ENGINEERING AND CONSTRUCTION

PWSA PROJECT NUMBER TAP-74-0622

TAP C RECORD NUMBER

Signatures / Approval by PWSA are for the physical connection(s) to the water and/or sewer system only. Responsibility for the design and work depicted by the drawings, including the flow design for the facilities, is by the Professional Engineer shown by the seal and signature affixed to the drawing. The PWSA does not represent or warrant that the water supply to the facilities is sufficient to support the design.

PEAK DAILY FLOW DEMANDS

To be completed by the Applicant:

TYPE OF FLOW	SANITARY, GPD	WATER, GPD	STORM, CFS
PROJECT FLOW	800 GPD	1,600 GPD	0.76 CFS
EXISTING FLOW	0 GPD	0 GPD	0.65 CFS
NET FLOW	800 GPD	1,600 GPD	0.11 CFS

PWSA W&S USE APPROVAL DATE (If required)

DEP SFPM APPROVAL DATE (If required)

LEGEND

-G-G-	EXISTING GAS LINE	SA	EXISTING SANITARY MANHOLE
-W-W-	EXISTING WATER LINES	o.o.	PROPOSED CLEAN-OUT
-OHW-OHW-	EXISTING OVERHEAD UTILITY LINE	o	UTILITY POLE
-SAN-SAN-	EXISTING SANITARY LINE	o	PROPERTY CORNER
- - - - -	PROPERTY LINES	W	PROPOSED CURB BOX
-G-G-	PROPOSED GAS LINE	2"W	PROPOSED WATER LINES
-E/T-	PROPOSED TELE/COM LINE	4"S	PROPOSED SANITARY LINE
-6"ST-6"ST-	PROPOSED STORM LINE	- - - - -	ADJACENT PROPERTY LINE
[Symbol]	PROPOSED CONCRETE DRIVEWAY		

LAND OWNER/DEVELOPER
 HABITAT FOR HUMANITY OF GREATER PITTSBURGH
 6435 FRANKSTOWN AVENUE SUITE 100
 PITTSBURGH, PA 15206
 PHONE: (412) 450-8520
 CONTACT: DR. HOWARD B. SLAUGHTER, JR.

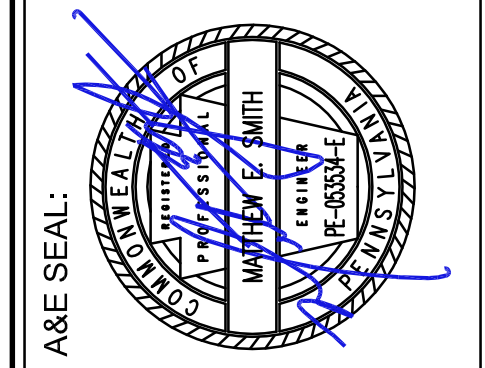
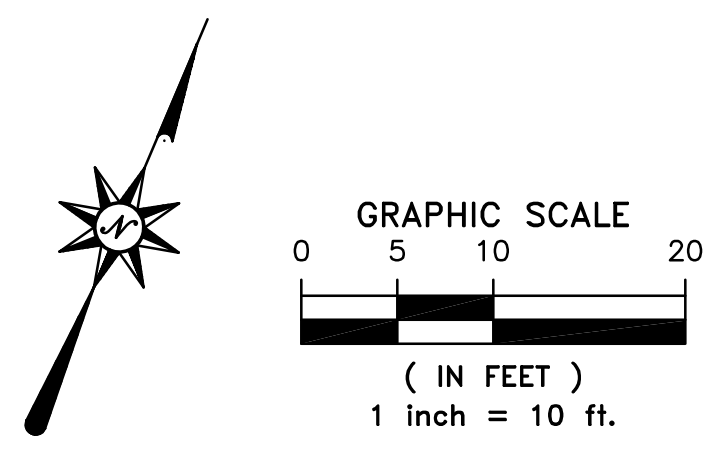
PROJECT ENGINEER
 RED SWING CONSULTING SERVICES, LLC
 4314 OLD WILLIAM PENN HWY, SUITE 101
 MONROEVILLE, PA 15146
 PHONE: (724) 325-1215
 CONTACT: MATTHEW E. SMITH, P.E.

SANITARY SEWER
 PITTSBURGH WATER & SEWER AUTHORITY
 1200 PENN AVENUE
 PITTSBURGH, PA 15222
 CONTACT: RICK OBERMEIER
 robermeier@pgh2o.com

WATER SERVICE
 PITTSBURGH WATER & SEWER AUTHORITY
 1200 PENN AVENUE
 PITTSBURGH, PA 15222
 CONTACT: RICK OBERMEIER
 robermeier@pgh2o.com

811
 Know what's below.
 Call before you dig.

CALL BEFORE YOU DIG!
 PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS NOTICE IN DESIGN STAGE. STOP CALL PENNSYLVANIA ONE CALL SYSTEM, INC. 1-800-242-1776



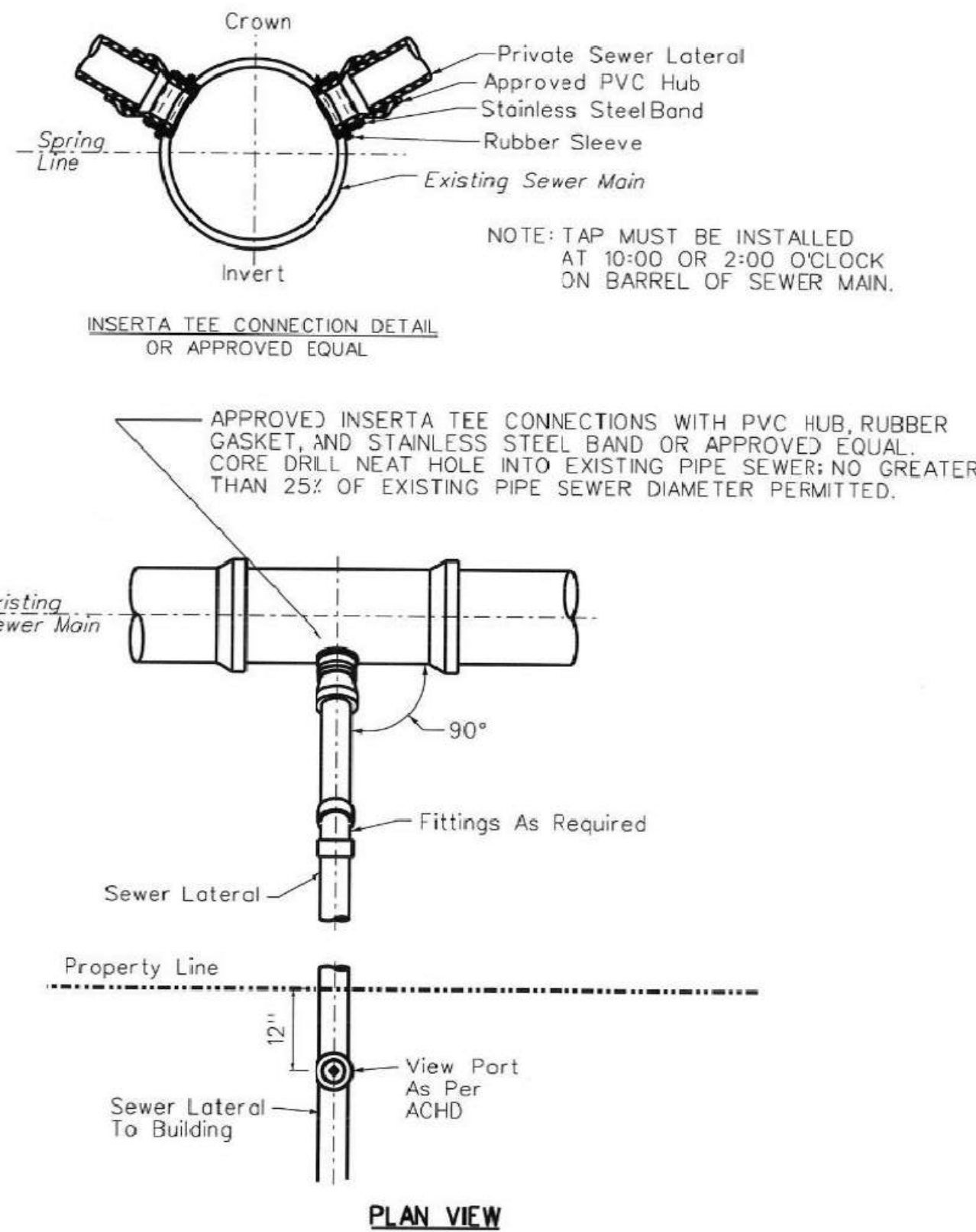
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HABITAT FOR HUMANITY RESIDENTIAL HOUSING
 532 LINCOLN AVE
 PITTSBURGH, PA 15206
 ALLEGHENY COUNTY - 12TH WARD

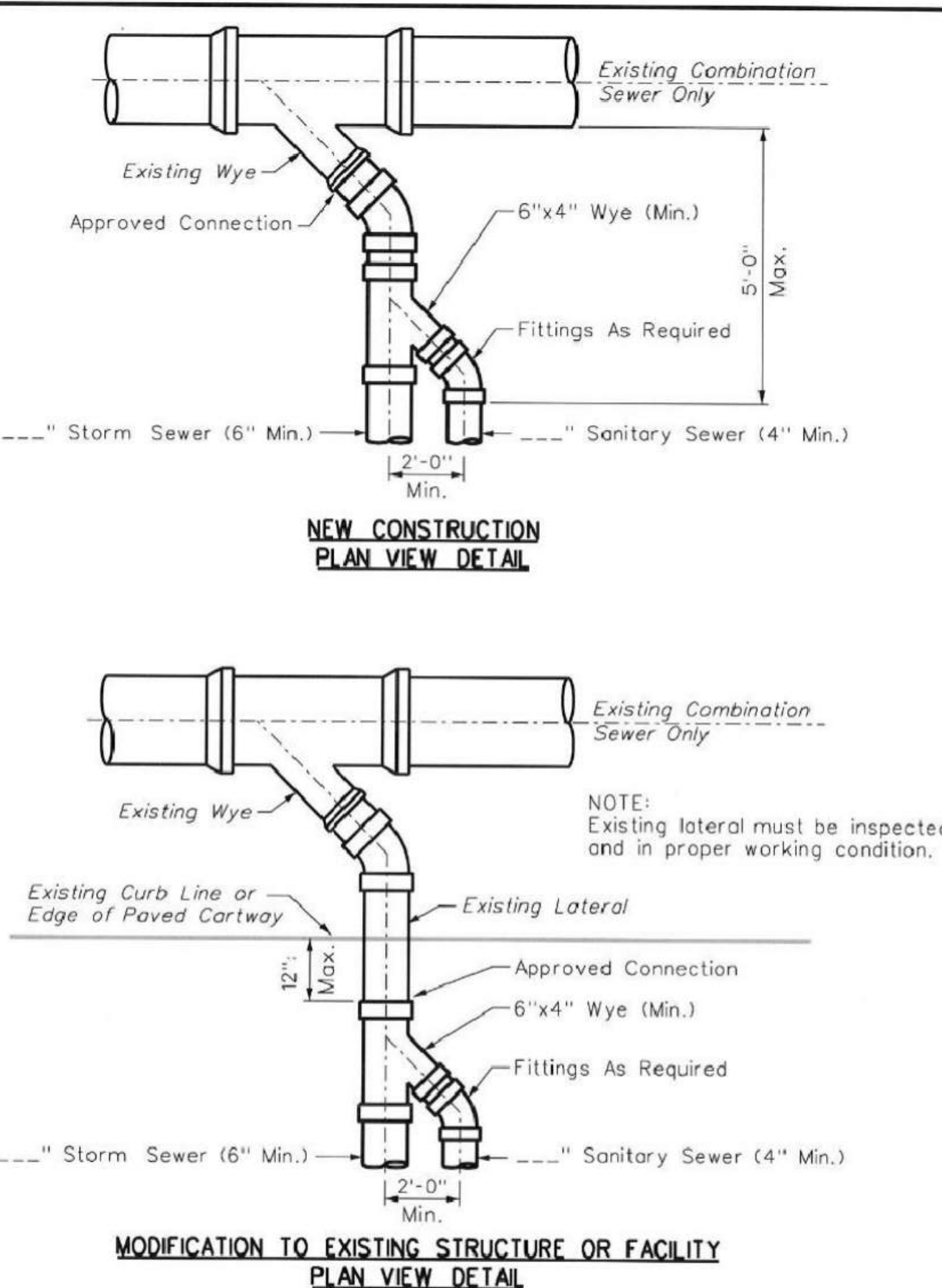
REVISIONS:

MARK	DATE	ISSUED FOR REVIEW	DESCRIPTION
0	6/24/2022		

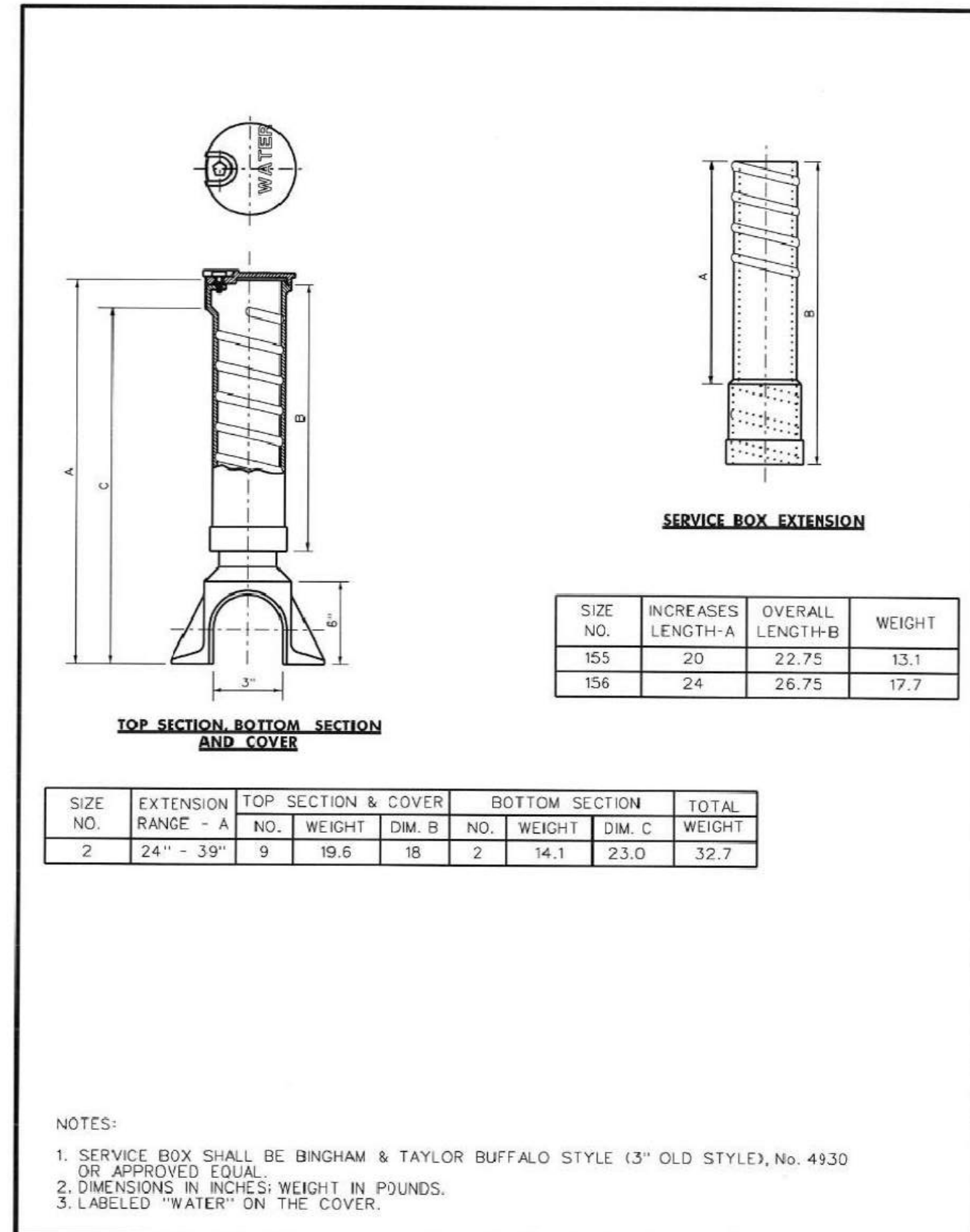
PROJ NO: 21-1080
 SCALE: AS SHOWN
 DATE: 7/18/2022
 DESIGNED BY: ICA
 DRAWN BY: DMM
 CHECKED BY: PJK
 SHEET TITLE:
WATER TAP-IN PLAN
 SHEET NO.
 TP1.3



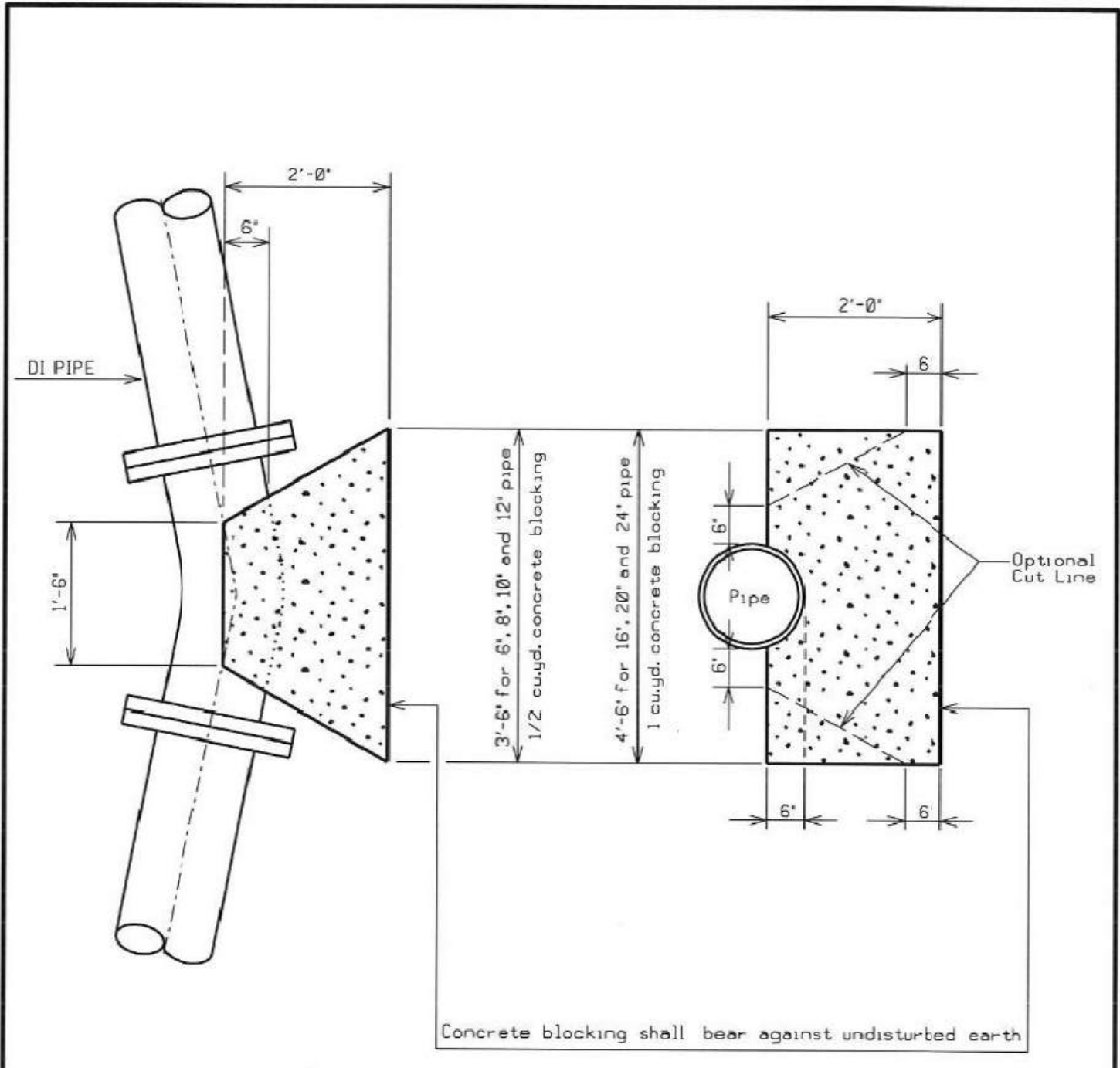
REVISIONS	PWSA	Pittsburgh Water and Sewer Authority
1. MSR 4-18-01	QUALITY WATER	Sewer Tap Tee Connection To Existing Sewer Main
2. LRC 1-31-14	QUALITY SERVICE	
2/24/2014	Approved by:	Scale: N.T.S. Supplemental Detail Drawing: ST-3



REVISIONS	PWSA	Pittsburgh Water and Sewer Authority
1. MSR 4-18-01	QUALITY WATER	Separated House Lateral One Connection To Main
2. DWP 12-16-04	QUALITY SERVICE	
3. LRC 1-31-14		
2/24/2014	Approved by:	Scale: N.T.S. Supplemental Detail Drawing: ST-5



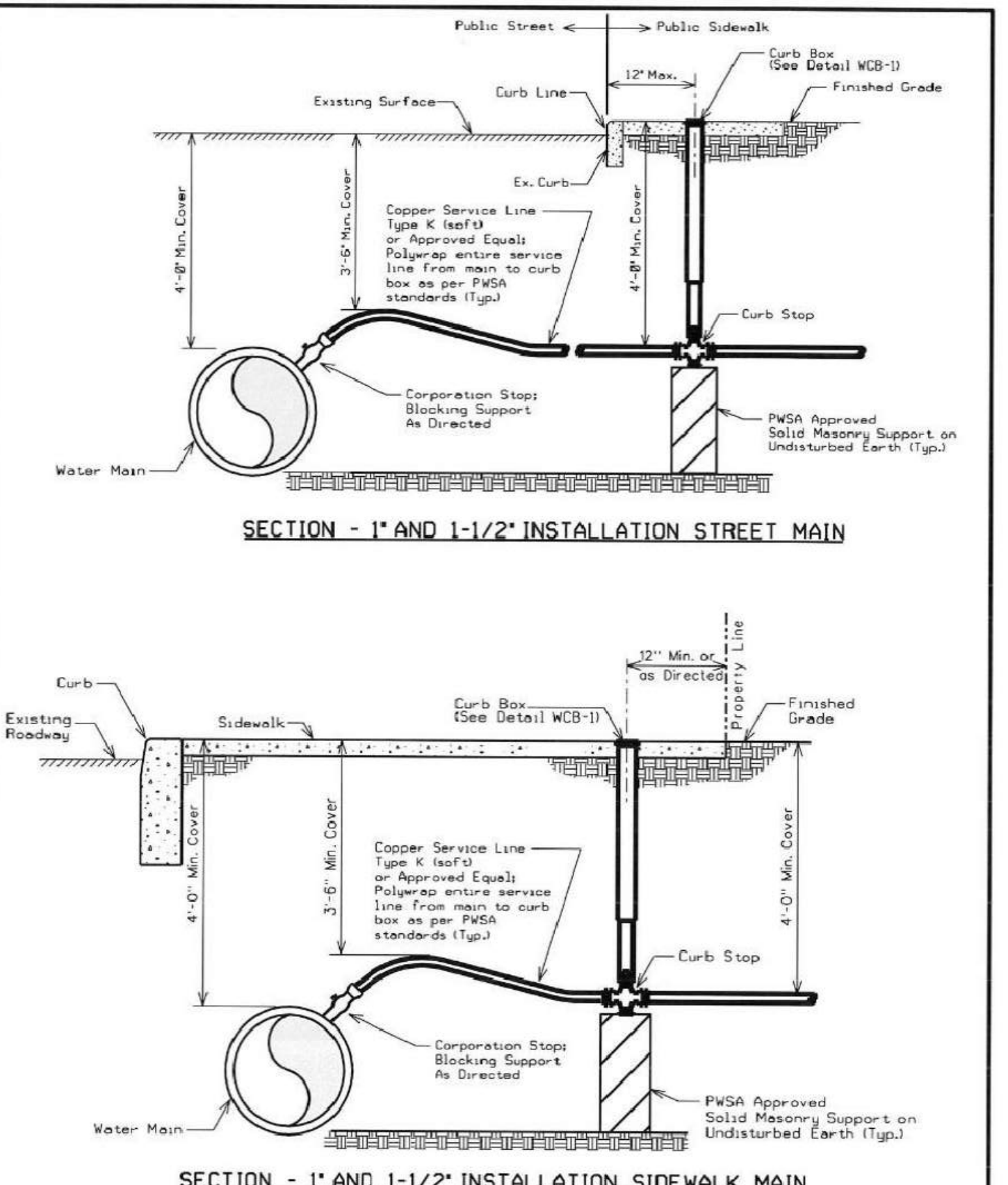
REVISIONS	PWSA	Pittsburgh Water and Sewer Authority
1. MAC 3-12-04	QUALITY WATER	3" Curb Service Box
2. MAC 8-15-07	QUALITY SERVICE	
3. MAC 12-28-07		
4. LRC 1-31-14		
2/24/2014	Approved by:	Scale: N.T.S. Supplemental Detail Drawing: WCB-1



NOTES:

- Concrete thrust blocking shall be provided at all tees, bends, caps, and plugs. In addition, all pipe bends shall be harnessed with mechanical joint retainers, using either set screw or lug type retaining system, as directed.
- Concrete thrust blocks shall be minimum 4000 PSI cement concrete.
- See detail WS-VB and WS-VBL for vertical bends and tees.

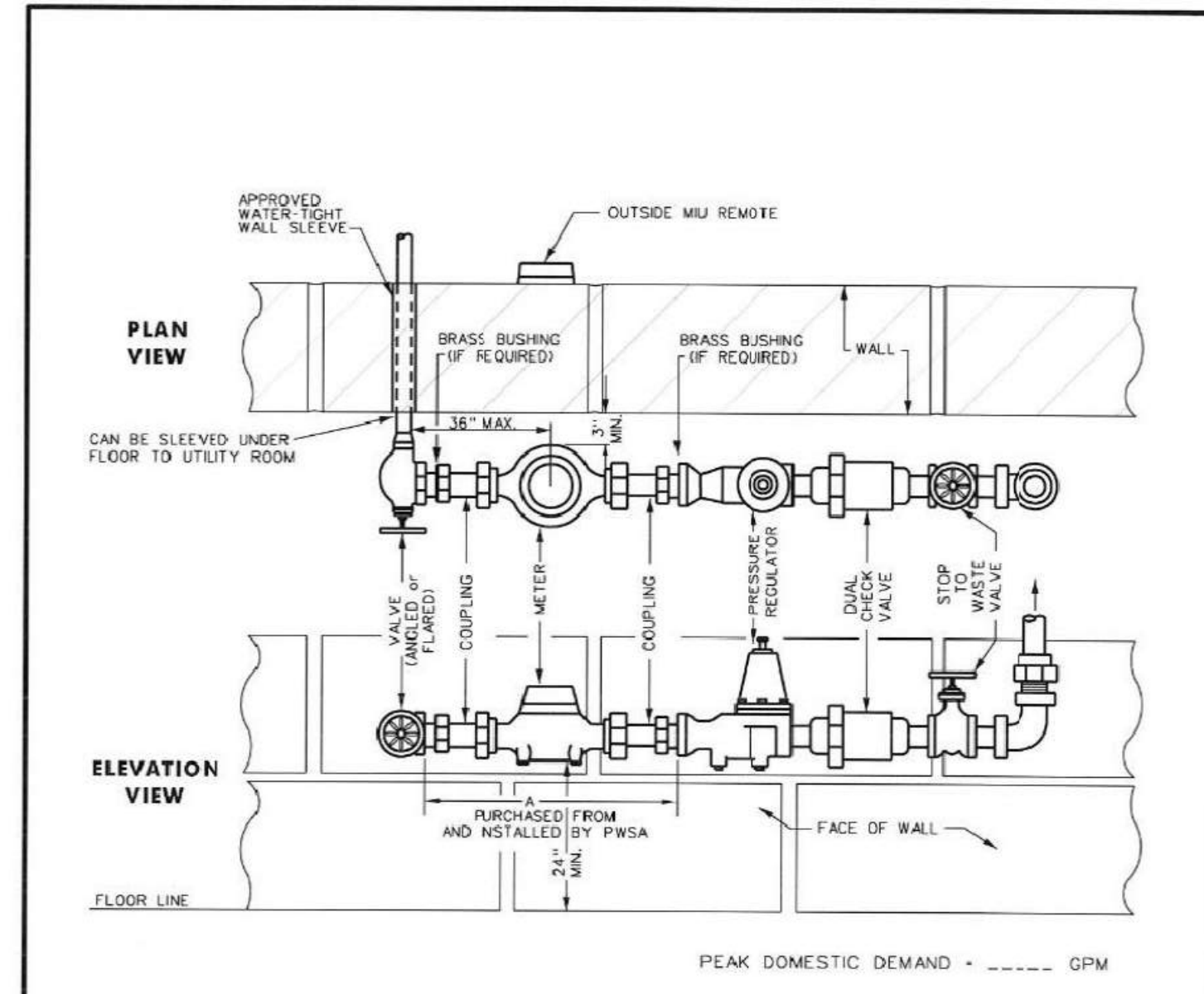
REVISIONS	PWSA	Pittsburgh Water and Sewer Authority
1. MSR 4-23-01	QUALITY WATER	Concrete Blocking For Pressure Pipe
2. MAC 8-13-07	QUALITY SERVICE	
3. LRC 1-31-14		
2/24/2014	Approved by:	Scale: N.T.S. Supplemental Detail Drawing: WS-3



NOTES:

- Only one PWSA meter will be installed per each service tap.
- Domestic Service is 1" min. from PWSA Main to Meter.

REVISIONS	PWSA	Pittsburgh Water and Sewer Authority
1. MSR 4-23-01	QUALITY WATER	Water Service Line 1\"/>
2. MAC 9-1-05	QUALITY SERVICE	
3. MAC 8-13-07		
4. MAC 1-2-08		
2/24/2014	Approved by:	Scale: N.T.S. Supplemental Detail Drawing: WS-5NT



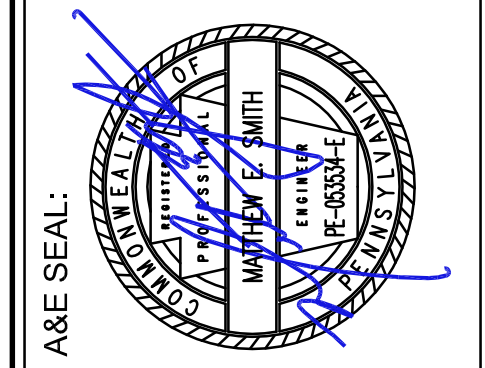
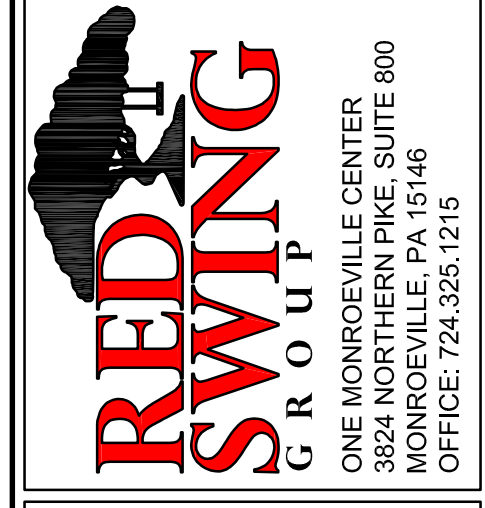
NOTES:

- METER TO BE INSTALLED IN A WARM, NON-FREEZING, ACCESSIBLE AREA WITHIN DWELLING, A MINIMUM OF 2' FROM FLOOR AND A MAXIMUM OF 3' FROM POINT OF ENTRY AND/OR FROM INSIDE WALL.
- SEE ACHD PLUMBING CODE FOR ADDITIONAL PIPING AND PRESSURE REGULATOR REQUIREMENTS.
- PROPER METER ACCESS REQUIRED. METER SETTING CAN NOT BE IN A RESTRICTED AREA (e.g. UNDER STEPS, BEHIND FURNACE OR HOT WATER TANKS, OR IN OTHER OBSTRUCTED AREAS IN ANY WAY).
- METER SETTING VALUES:

SIZE	COUPLING SPACE A	METER TAIL-PIECE	FLOW (GPM)
3/4"	12.5"	1/2"	20
1"	15.5"	3/4"	30
1 1/4"	18.5"	1"	50

- METER SHALL BE PURCHASED FROM AND INSTALLED BY PWSA.
- METER ASSEMBLY SETTINGS MUST BE INSTALLED BY THE CUSTOMER BEFORE THE METER WILL BE SET, INCLUDING METER SIGNAL WIRING.
- CUSTOMER SHALL PROVIDE PROPER DRAIN AT METER SETTING LOCATION.
- METER MUST BE INSTALLED IN A HORIZONTAL POSITION ONLY.
- CUSTOMER TO PROVIDE DATA FOR PROPER PWSA SIZING AND PEAK DOMESTIC DEMAND.
- APPROVED BACKFLOW PREVENTER REQUIRED, PER ASSE No. 1024.

REVISIONS	PWSA	Pittsburgh Water and Sewer Authority
1. MSR 4-23-01	QUALITY WATER	Domestic Meter Setting Specifications Indoor Residential 5/8" - 1" Meter
2. DWP 9-15-05	QUALITY SERVICE	
3. MAC 8-13-07		
4. LRC 1-31-14		
2/24/2014	Approved by:	Scale: N.T.S. Supplemental Detail Drawing: WS-5MS

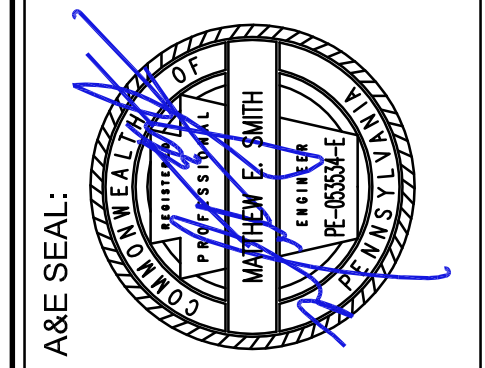
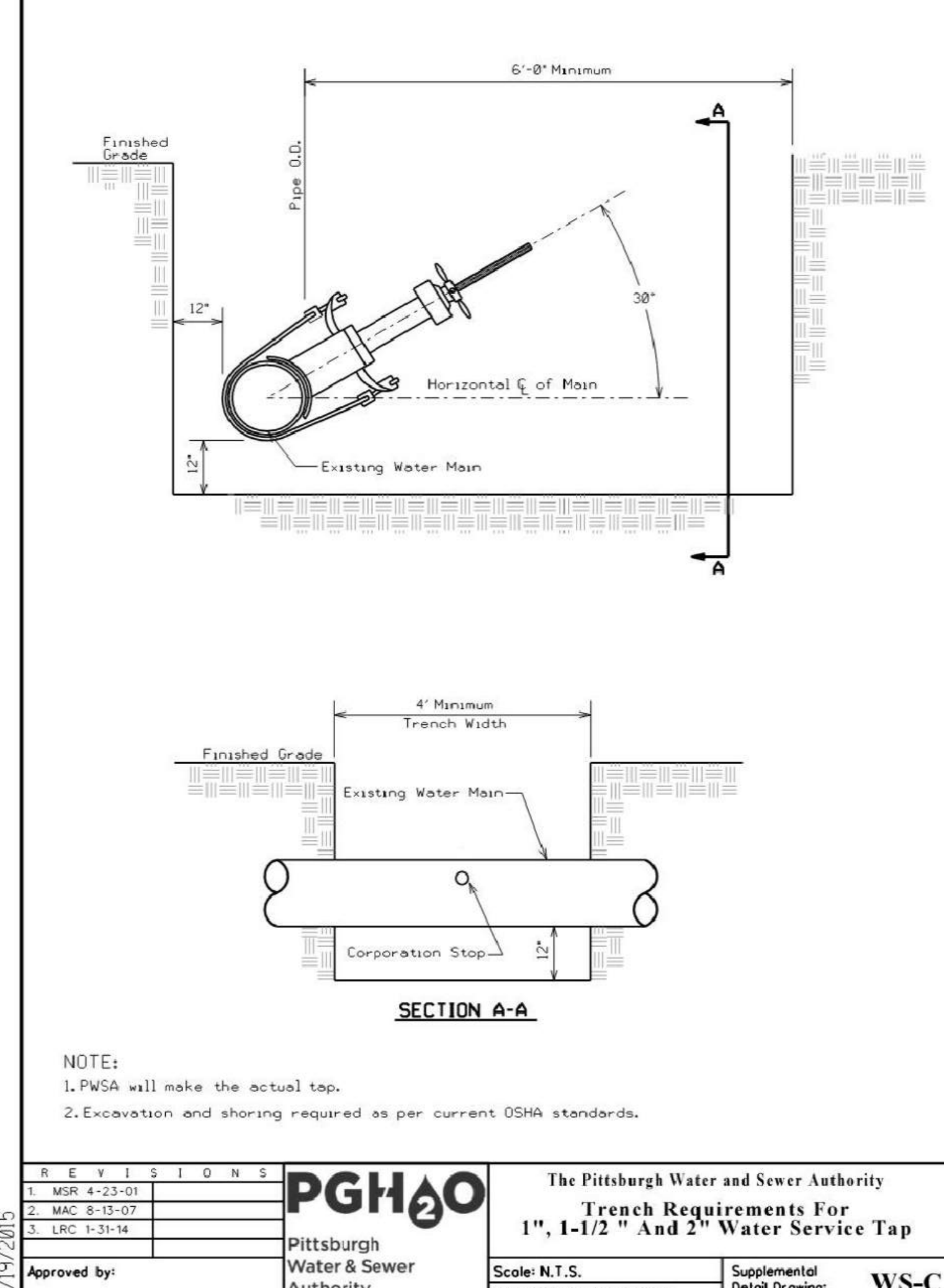
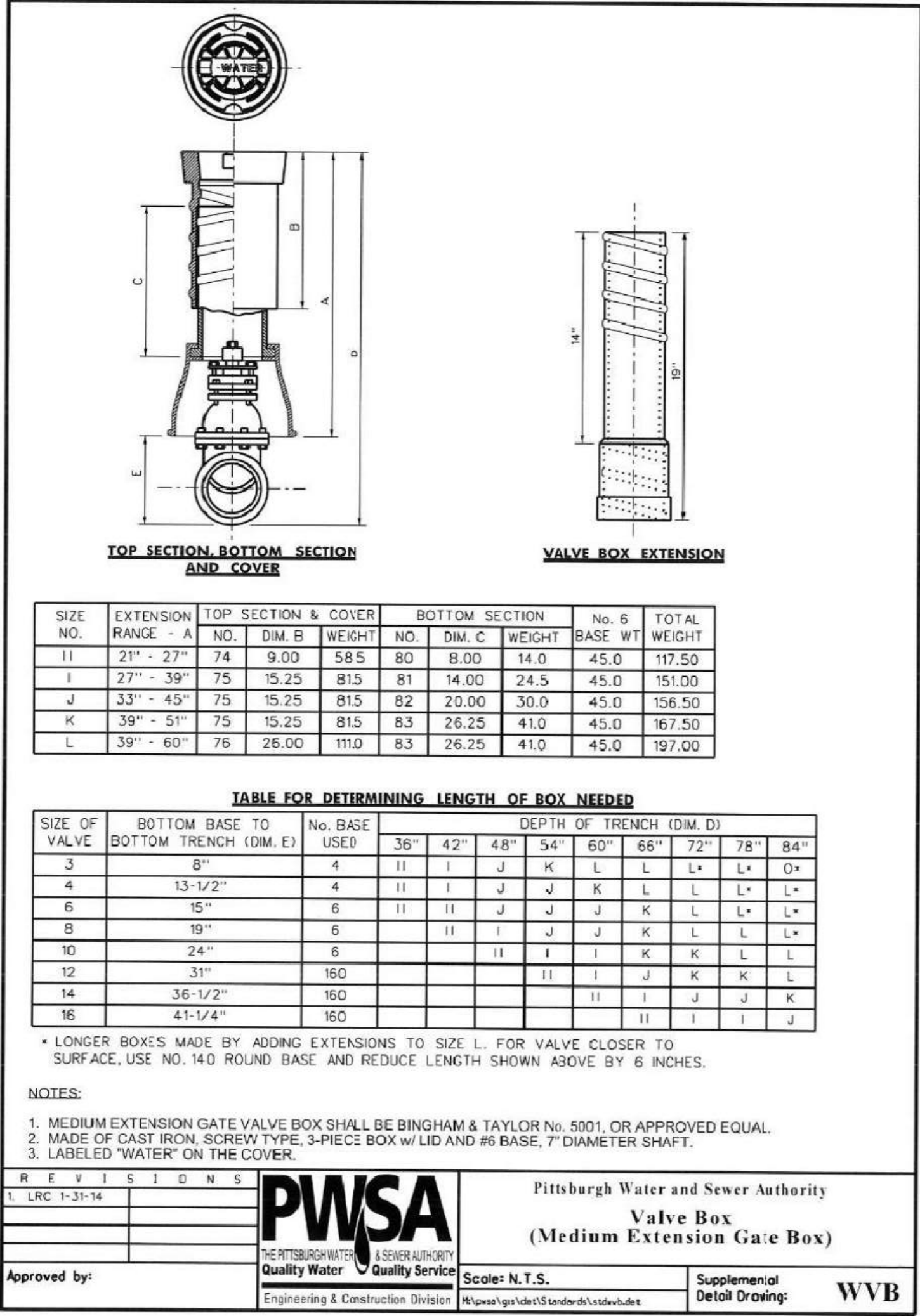
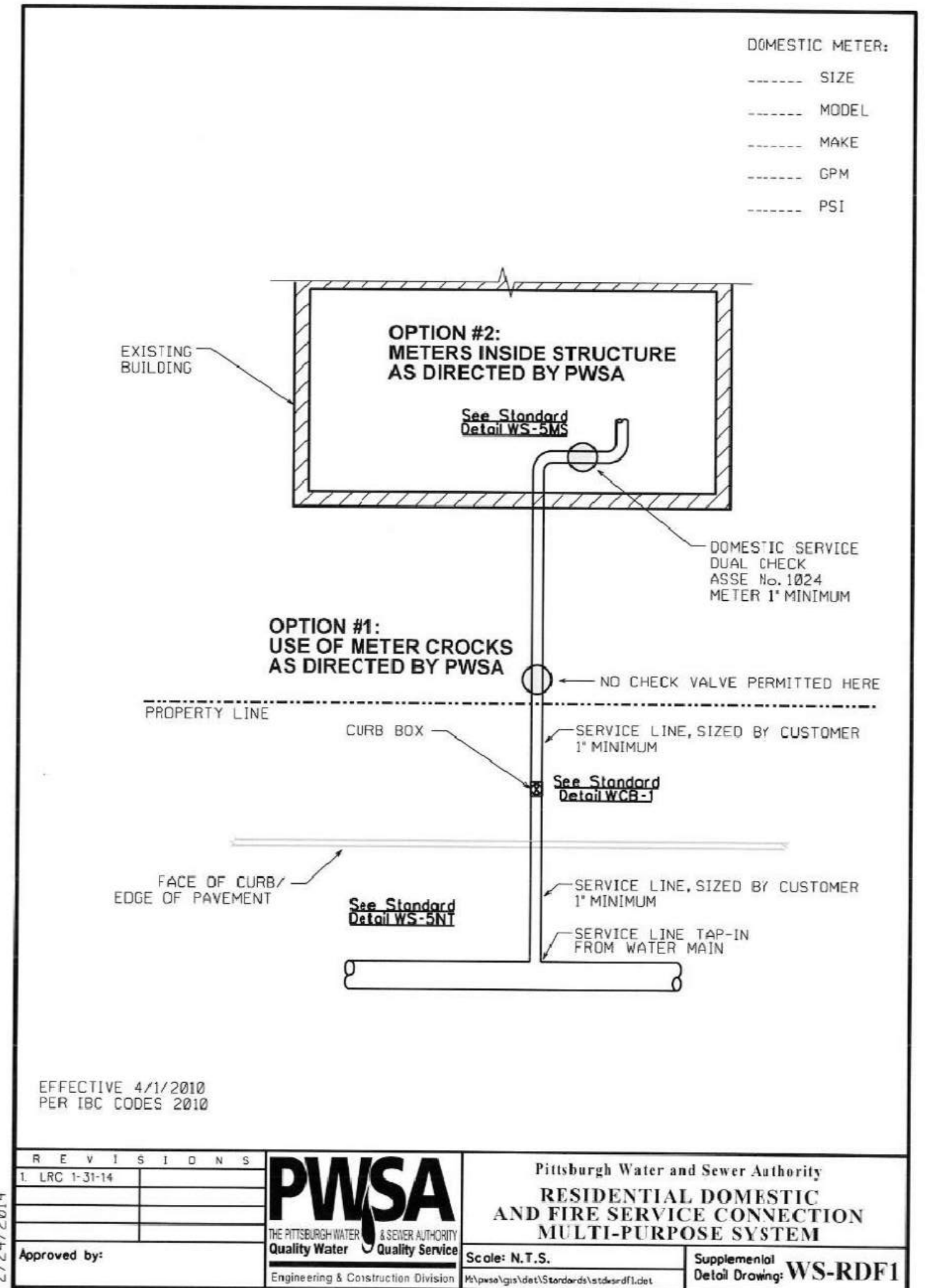
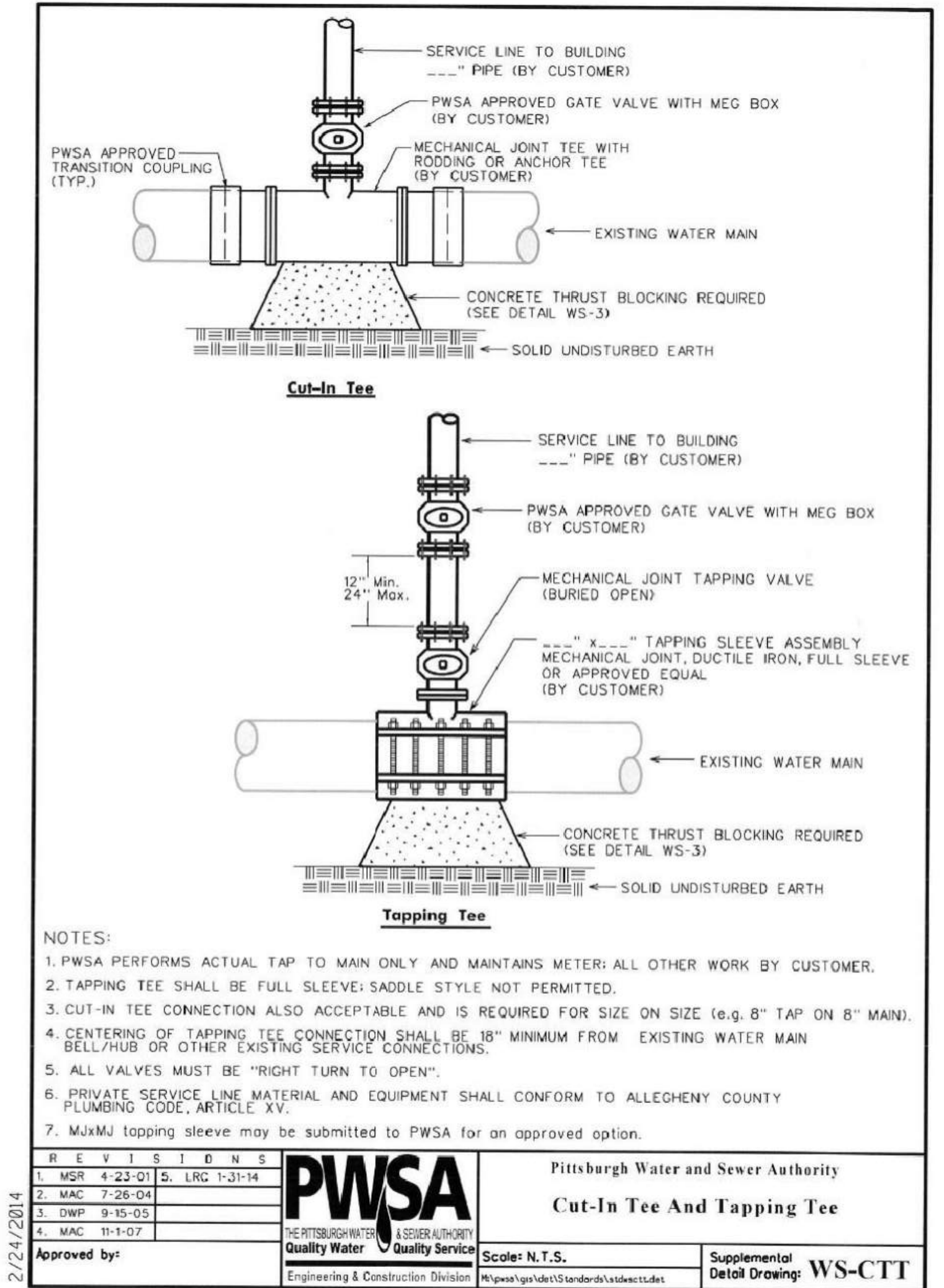
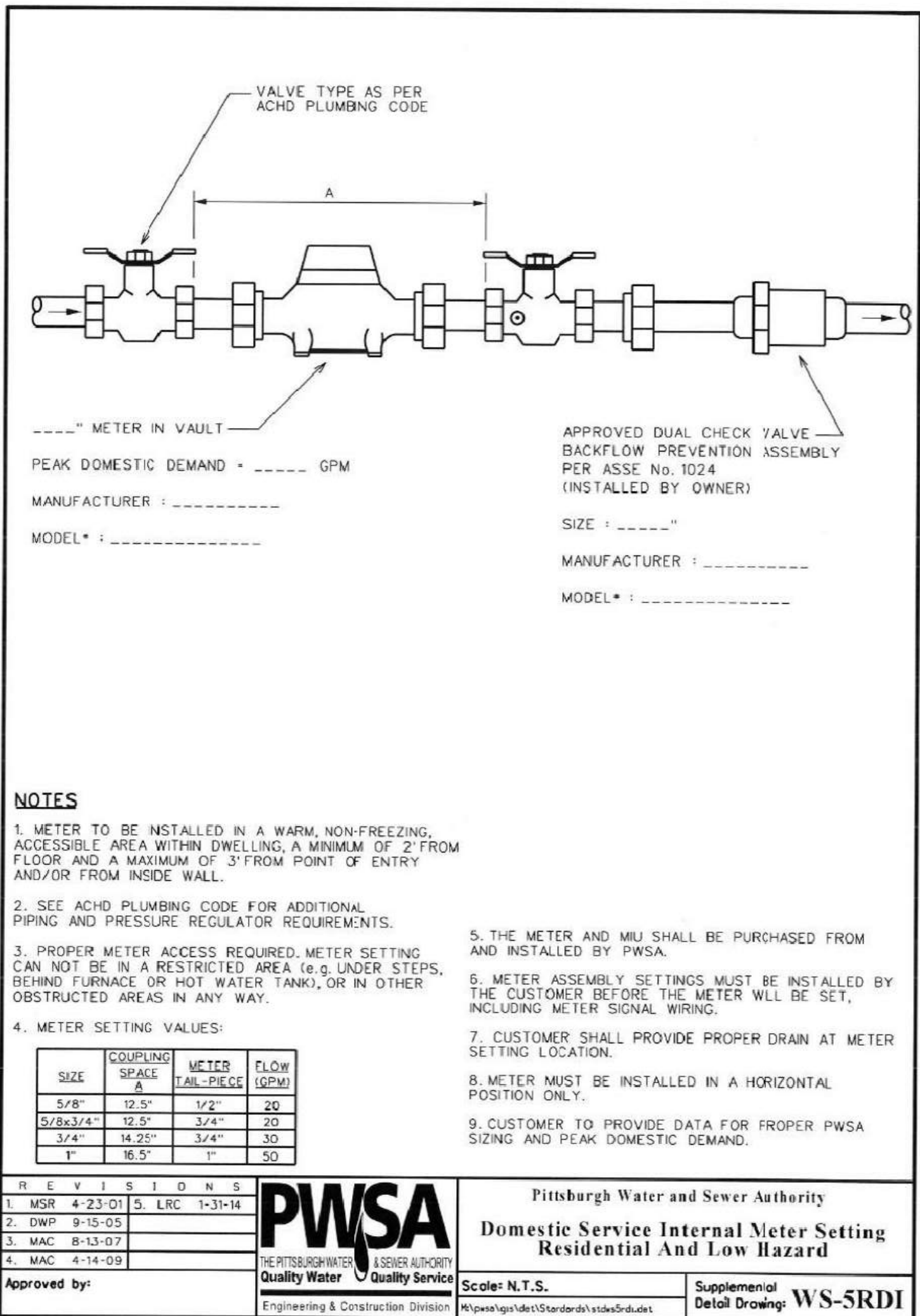


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HABITAT FOR HUMANITY
RESIDENTIAL HOUSING
532 LINCOLN AVE
PITTSBURGH, PA 15206
ALLEGHENY COUNTY - 12TH WARD

REVISIONS	MARK	DATE	DESCRIPTION
0		6/24/2022	ISSUED FOR REVIEW

PROJ NO: 21-1080
SCALE: AS SHOWN
DATE: 7/18/2022
DESIGNED BY: ICA
DRAWN BY: DMM
CHECKED BY: PJK
SHEET TITLE:
TAP-IN DETAILS SHEET 1 OF 2
SHEET NO. TP1.4



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HABITAT FOR HUMANITY
RESIDENTIAL HOUSING
532 LINCOLN AVE
PITTSBURGH, PA 15206
ALLEGHENY COUNTY - 12TH WARD

REVISIONS:	DATE	ISSUED FOR REVIEW	DESCRIPTION
0	6/24/2022		

PROJ NO: 21-1080
SCALE: AS SHOWN
DATE: 7/18/2022
DESIGNED BY: ICA
DRAWN BY: DMM
CHECKED BY: PJK

SHEET TITLE:
TAP-IN DETAILS SHEET 2 OF 2

SHEET NO.
TP1.5

COMPONENT 4A



INSTRUCTIONS FOR COMPLETING COMPONENT 4A MUNICIPAL PLANNING AGENCY REVIEW

Remove and recycle these instructions prior to mailing component to the approving agency.

Background

This component, Component 4, is used to obtain the comments of planning agencies and/or health departments having jurisdiction over the project area. It is used in conjunction with other planning module components appropriate to the characteristics of the project proposed.

Who Should Complete the Component?

The component should be completed by any existing municipal planning agency, county planning agency, planning agency with areawide jurisdiction, and/or health department having jurisdiction over the project site. It is divided into sections to allow for convenient use by the appropriate agencies.

The project sponsor must forward copies of this component, along with supporting components and data, to the appropriate planning agency(ies) and health department(s) (if any) having jurisdiction over the development site. These agencies are responsible for responding to the questions in their respective sections of Component 4, as well as providing whatever additional comments they may wish to provide on the project plan. After the agencies have completed their review, the component will be returned to the applicant. The agencies have 60 days in which to provide comments to the applicant. If the agencies fail to comment within this 60 day period, the applicant may proceed to the next stage of the review without the comments. The use of registered mail or certified mail (return receipt requested) by the applicant when forwarding the module package to the agencies will document a date of receipt.

After receipt of the completed Component 4 from the planning agencies, or following expiration of the 60 day period without comments, the applicant must submit the entire component package to the municipality having jurisdiction over the project area for review and action. If approved by the municipality, the proposed plan, along with the municipal action, will be forwarded to the approving agency (Department of Environmental Protection or delegated local agency). The approving agency, in turn, will either approve the proposed plan, return it as incomplete, or disapprove the plan, based upon the information provided.

Instructions for Completing Planning Agency and/or Health Department Review Component

Section A. Project Name

Enter the project name as it appears on the accompanying sewage facilities planning module component (Component 2, 2m, 3, 3s or 3m).

Section B. Review Schedule

Enter the date the package was received by the reviewing agency, and the date that the review was completed.

Section C. Agency Review

1. Answer the yes/no questions and provide any descriptive information necessary on the lines provided. Attach additional sheets, if necessary.
2. Complete the name, title, and signature block.

Section D. Additional Comments

The Agency may provide whatever additional comment(s) it deems necessary, as described in the form. Attach additional sheets, if necessary.



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF CLEAN WATER

DEP Code #:

**SEWAGE FACILITIES PLANNING MODULE
COMPONENT 4A - MUNICIPAL PLANNING AGENCY REVIEW**

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning module package and one copy of this *Planning Agency Review Component* should be sent to the local municipal planning agency for their comments.

SECTION A. PROJECT NAME (See Section A of instructions)

Project Name
Habitat for Humanity - 532 Lincoln Ave

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by municipal planning agency 9/13/2022
2. Date review completed by agency 10/13/2022

SECTION C. AGENCY REVIEW (See Section C of instructions)

- | Yes | No | |
|-------------------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 1. Is there a municipal comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101, <i>et seq.</i>)? |
| <input type="checkbox"/> N/A | <input type="checkbox"/> | 2. Is this proposal consistent with the comprehensive plan for land use?
If no, describe the inconsistencies _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 3. Is this proposal consistent with the use, development, and protection of water resources?
If no, describe the inconsistencies _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 4. Is this proposal consistent with municipal land use planning relative to Prime Agricultural Land Preservation? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 5. Does this project propose encroachments, obstructions, or dams that will affect wetlands?
If yes, describe impacts _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6. Will any known historical or archaeological resources be impacted by this project?
If yes, describe impacts _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 7. Will any known endangered or threatened species of plant or animal be impacted by this project?
If yes, describe impacts _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 8. Is there a municipal zoning ordinance? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 9. Is this proposal consistent with the ordinance?
If no, describe the inconsistencies _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 10. Does the proposal require a change or variance to an existing comprehensive plan or zoning ordinance? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 11. Have all applicable zoning approvals been obtained? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 12. Is there a municipal subdivision and land development ordinance? |

SECTION C. AGENCY REVIEW (continued)

- | Yes | No | |
|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 13. Is this proposal consistent with the ordinance?
If no, describe the inconsistencies _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 14. Is this plan consistent with the municipal Official Sewage Facilities Plan?
If no, describe the inconsistencies _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 15. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality?
If yes, describe _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16. Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision? |
| <input type="checkbox"/> | <input type="checkbox"/> | If yes, is the proposed waiver consistent with applicable ordinances?
If no, describe the inconsistencies
_____ |

17. Name, title and signature of planning agency staff member completing this section:
 Name: Kyla Prendergast
 Title: Senior Environmental Planner
 Signature: *Kyla Prendergast*
 Date: 10/13/2022
 Name of Municipal Planning Agency: City of Pittsburgh, Dept. of City Planning
 Address 436 Grant St, Pittsburgh, PA 15219
 Telephone Number: 412-522-6551

SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)

This component does not limit municipal planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The planning agency must complete this component within 60 days.

This component and any additional comments are to be returned to the applicant.

COMPONENT 4C

COUNTY OF



ALLEGHENY

RICH FITZGERALD
COUNTY EXECUTIVE

September 13, 2022

Ian Booe
Red Swing Group
4314 Old William Penn Highway, Suite 101
Monroeville, PA 15146

**RE: SEWAGE FACILITIES PLANNING MODULE; ALLEGHENY COUNTY
HFH Lincoln Ave, City of Pittsburgh**

Dear Mr. Booe:

Enclosed is a signed copy of Component 4C, County or Joint County Health Department Review, for the above-referenced development. This Planning Module Component was received on September 13, 2022. The project proposes the following:

Project Description:	HFH Lincoln Ave. Proposing the development consisting of two (2) new single-family townhomes and associated parking, hardscaping, and landscaping and involves the installation of bathrooms, water-closets, laundry units and additional facilities for three-bedroom single-family units located at 532 Lincoln Avenue in the City of Pittsburgh, Allegheny County.
Sewage Flow:	800 GPD
Conveyance:	The flow from this site will be conveyed to the Pittsburgh Water and Sewer Authority (PWSA) collection system to the ALCOSAN POC A-42 to the Allegheny River Interceptor and then to the ALCOSAN Treatment Plant at Woods Run.
Sewer's Owner:	PWSA (collection) and ALCOSAN (interceptor)
Name of Sewage Treatment Plant:	ALCOSAN



DEBRA BOGEN, MD, FAAP, FABM, DIRECTOR
ALLEGHENY COUNTY HEALTH DEPARTMENT

WATER POLLUTION CONTROL & SOLID WASTE MANAGEMENT
3901 PENN AVENUE • BUILDING 5 • PITTSBURGH, PA 15224-1318
PHONE: 412.578.8040 • FAX: 412.578.8053
WWW.ALLEGHENYCOUNTY.US/HEALTHDEPARTMENT



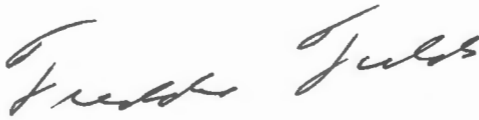
Mr. Ian Booe
September 13, 2022
Page 2

Please be advised that a permit must be obtained from the Allegheny County Health Department's (ACHD) Plumbing Section prior to commencing any plumbing work for the proposed project. Plumbing work for which an ACHD Plumbing Permit must be obtained includes any plumbing work done on the site and any sewers, which will not be owned and operated by a municipality or a sewer authority.

In addition, it should be noted that the approval of this sewage facilities planning module does not include approval of pipe size and/or type. Approval for pipe size and/or type must be obtained by filing a specific plumbing plan with the ACHD's Plumbing Section. If you should have any questions relative to ACHD's plumbing requirements, Drew Grese, Acting Plumbing Chief at 412-578-8055.

The ACHD has no objection to the approval of this project. If you have any questions, please call me at 412-578-8046.

Sincerely,

A handwritten signature in cursive script, appearing to read "Freddie Fields".

Freddie Fields, M.B.A.
Environmental Health Engineer III
Water Pollution Control & Solid Waste Management

Enclosure

cc: Thomas Flanagan, PA Department of Environmental Protection w/attachment
Drew Grese, ACHD w/attachment



INSTRUCTIONS FOR COMPLETING COMPONENT 4C COUNTY OR JOINT HEALTH DEPARTMENT REVIEW

Remove and recycle these instructions prior to mailing component to the approving agency.

Background

This component, Component 4, is used to obtain the comments of planning agencies and/or health departments having jurisdiction over the project area. It is used in conjunction with other planning module components appropriate to the characteristics of the project proposed.

Who Should Complete the Component?

The component should be completed by any existing municipal planning agency, county planning agency, planning agency with areawide jurisdiction, and/or health department having jurisdiction over the project site. It is divided into sections to allow for convenient use by the appropriate agencies.

The project sponsor must forward copies of this component, along with supporting components and data, to the appropriate planning agency(ies) and health department(s) (if any) having jurisdiction over the development site. These agencies are responsible for responding to the questions in their respective sections of Component 4, as well as providing whatever additional comments they may wish to provide on the project plan. After the agencies have completed their review, the component will be returned to the applicant. The agencies have 60 days in which to provide comments to the applicant. If the agencies fail to comment within this 60 day period, the applicant may proceed to the next stage of the review without the comments. The use of registered mail or certified mail (return receipt requested) by the applicant when forwarding the module package to the agencies will document a date of receipt.

After receipt of the completed Component 4 from the planning agencies, or following expiration of the 60 day period without comments, the applicant must submit the entire component package to the municipality having jurisdiction over the project area for review and action. If approved by the municipality, the proposed plan, along with the municipal action, will be forwarded to the approving agency (Department of Environmental Protection or delegated local agency). The approving agency, in turn, will either approve the proposed plan, return it as incomplete, or disapprove the plan, based upon the information provided.

Instructions for Completing Planning Agency and/or Health Department Review Component

Section A. Project Name

Enter the project name as it appears on the accompanying sewage facilities planning module component (Component 2, 2m, 3, 3s or 3m).

Section B. Review Schedule

Enter the date the package was received by the reviewing agency, and the date that the review was completed.

Section C. Agency Review

1. Answer the yes/no questions and provide any descriptive information necessary on the lines provided. Attach additional sheets, if necessary.
 2. Complete the name, title, and signature block.
-

Section D. Additional Comments

The Agency may provide whatever additional comment(s) it deems necessary, as described in the form. Attach additional sheets, if necessary.

SEWAGE FACILITIES PLANNING MODULE COMPONENT 4C - COUNTY OR JOINT HEALTH DEPARTMENT REVIEW

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning module package and one copy of this *Planning Agency Review Component* should be sent to the county or joint county health department for their comments.

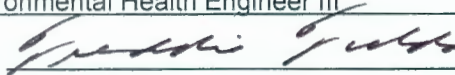
SECTION A. PROJECT NAME (See Section A of instructions)

Project Name
HFH Lincoln Ave

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by county or joint county health department September 13, 2022
Agency name Allegheny County Health Department (ACHD)
2. Date review completed by agency September 13, 2022

SECTION C. AGENCY REVIEW (See Section C of instructions)

- | Yes | No | |
|-------------------------------------|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 1. Is the proposed plan consistent with the municipality's Official Sewage Facilities Plan?
If no, what are the inconsistencies? _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 2. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality?
If yes, describe _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 3. Is there any known groundwater degradation in the area of this proposal?
If yes, describe _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 4. The county or joint county health department recommendation concerning this proposed plan is as follows: <u>ACHD recommends approval. See attached letter.</u> |
| | | 5. Name, title and signature of person completing this section:
Name: <u>Freddie Fields</u>
Title: <u>Environmental Health Engineer III</u>
Signature: <u></u>
Date: <u>September 13, 2022</u>
Name of County Health Department: <u>ACHD</u>
Address: <u>3901 Penn Avenue, Building #5, Pittsburgh, PA 15224-1318</u>
Telephone Number: <u>412-578-8046</u> |

SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)

This component does not limit county planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The county planning agency must complete this component within 60 days.
This component and any additional comments are to be returned to the applicant.

PROJECT NARRATIVE

HABITAT FOR HUMANITY – 532 LINCOLN AVE.

PROJECT NARRATIVE

PROJECT NAME: Habitat for Humanity

532 Lincoln Avenue

Pittsburgh, PA 15206

Site Description and Analysis Location

The project site is a previously developed vacant lot located at 532 Lincoln Avenue in Pittsburgh and is owned by Habitat for Humanity. The existing site is generally covered in a grassy meadow with few trees on relatively flat grades. The project development consists of two (2) new single-family townhomes and associated parking, hardscaping, and landscaping. The project involves the installation of bathrooms, water-closets, laundry units and additional facilities for three-bedroom single-family units. As calculated below, the proposed amount of Equivalent Dwelling Units (EDU's) for this project are 2.0 EDU's. This is derived from the proposed sanitary flow of 800 gallons per day (GPD), which is calculated below.

Storm flows will be handled by existing roadside inlets currently handling existing site runoff. Sewage flows will be handled by two (2) proposed 4" sewer line connected to a 20" VCP sewer line in Lincoln Avenue.

All subsequent flow calculations are in accordance with the Pittsburgh Water and Sanitary Authority (PWSA) – Procedures Manual for Developers, Table 2-1 Sanitary Sewage Flow Estimates (Referenced from PA Code Title 25, Ch 73, Paragraph 73.17).

Sanitary Flows:

Existing Sanitary Flows:

-The existing site is a vacant lot contributing no sanitary flow.

-Existing Sanitary Flow = **0 GPD**

Proposed Sanitary Flows:

-According to PWSA, the flow is calculated based on the number of residences.

-Proposed Sanitary Flows = 400 GPD/Single-Family Residence (SFR)

-Single-Family Residence(s) = 2 SFR (Provided by the Architect)

-Proposed Sanitary Flows = 400 GPD/SFR x 2 SFR = **800 GPD**

Net Sanitary Flows:

Net Sanitary Flow = Proposed Sanitary Flow – Existing Sanitary Flow

Net Sanitary Flow = 800 GPD – 0 GPD = **800 GPD**

Net Sanitary EDU's = 800 GPD x (1 EDU/400 GPD) = **2.0 EDU's**

Water Flow:

According to architect’s floorplan, each proposed private residence (x2) will have 3 water closets, 4 lavatory sinks, 1 kitchen sink, 2 bathtubs/showers, 1 laundry machine and 1 dishwasher.

Utilizing the Land Development Handbook *Second Edition*, Table 26.14 “Demand Load of Fixtures” to determine the associated private-occupancy load values assigned to each fixture, and Figure 26.37 “Curves for Estimating Demand Load”, the new water flow was calculated to be 15 gallons per minute per residence.

Fixture	Type of Supply Control	Load Value Assigned, Water Supply Fixture Units	Number of Fixtures Per Residence	Total Fixture Units
Water Closet	Flush Tank	3	3	9
Lavatory	Faucet	1	4	4
Bathtub/Shower	Faucet/Mixing Valve	2	2	4
Kitchen Sink	Faucet	2	1	2
Laundry Machine [8lb]	Automatic	2	1	2
Dishwashing Machine	Automatic	1	1	1

Total Water Supply Fixture Units (FU) = Sum of (Load Value x Number of Fixtures) = **22 FU’s**.
Using Figure 26.37 the Associated Flow Rate to 22 FU’s ~ **15 GPM** per SFR.

Stormwater Flows:

Existing Stormwater Flow:

$$Q = C \times i \times A$$

C = The runoff coefficients for:

- Improved Surface (concrete, asphalt, brick, etc.) = 0.95 (89 sf)
- Unimproved Surface (suburban, normal residential) = 0.60 (6,125 sf)

Weighted Average C = 0.61

i = The rainfall intensity value from the local Stormwater Ordinance (NOAA) = 7.12 in/hr

A = The area of the lot in square feet = 6,214 SF

Converting in/hr to ft/second:

$$7.12 \text{ in/hr} \times 1 \text{ hr}/3600 \text{ seconds} \times 1 \text{ ft}/12 \text{ in} = 0.000165 \text{ ft/s}$$

Storm Flow Calculation:

$$Q = 0.61 \times 0.000165 \text{ ft/s} \times 6,214 \text{ SF} = \mathbf{0.620 \text{ CFS}}$$
 (cubic feet per second)

Proposed Stormwater Flow:

$$Q = C \times i \times A$$

C = The runoff coefficients for:

- Improved Surface (concrete, asphalt, brick, etc.) = 0.95 (2,236 sf)

- Unimproved Surface (suburban, normal residential) = 0.60 (3,978 sf)

Weighted Average C = 0.73

i = The rainfall intensity value from the local Stormwater Ordinance (NOAA) = 7.12 in/hr

A = The area of the lot in square feet = 6,214 SF

Converting in/hr to ft/second:

$$7.12 \text{ in/hr} \times 1 \text{ hr}/3600 \text{ seconds} \times 1 \text{ ft}/12 \text{ in} = 0.000165 \text{ ft/s}$$

Storm Flow Calculation:

$$Q = 0.73 \times 0.000165 \text{ ft/s} \times 6,214 \text{ SF} = \mathbf{0.742 \text{ CFS}}$$
 (cubic feet per second)

Net Stormwater Flow:

Net Stormwater Flow = Proposed Stormwater Flow – Existing Stormwater Flow

$$\text{Net Stormwater Flow} = 0.742 \text{ CFS} - 0.620 \text{ CFS} = \mathbf{0.122 \text{ CFS}}$$

Alternative Analysis:

Since the proposed facility is located adjacent to two public sanitary sewer collection systems and is situated in a small urban lot, consideration for other means of sanitary sewer disposal were considered and eliminated from further evaluation as public sewer connection is readily available. Additionally, PWSA advised adequate capacity is available in the collection/conveyance and treatment facilities for the proposed use.

WATER & SEWER
AVAILABILITY LETTER



08/19/2022

Philip Karanovich
Red Swing Group
4314 Old William Penn Hwy, Monroeville PA

RE: Water and Sewer Availability
532 Lincoln Ave, Pittsburgh PA, 15206

Dear Philip Karanovich

In response to your inquiry concerning water and sewer availability for the area referenced above, please be advised that water and sewer service will be provided in accordance with the policies and procedures of the Pittsburgh Water and Sewer Authority as described below:

Water service available: Yes

Sewer service available: Yes

12" Lincoln Avenue

20" Lincoln Avenue
15" Tripod Way

We wish to advise you that, if it is your desire to tap our water and sewer mains for service, your plans must be approved through a development permit application in accordance with the PWSA Developer's Manual.

Please note that the Authority in no way guarantees that the available lines have the capacity or pressure adequate for your project's needs. It is the responsibility of the project developer, design consultant, and/or architects to determine, at their expense, the adequacy of the existing water system to fulfill their needs.

If you have any questions, please feel free to contact me at (412) 255-8800 x 8030. Thank you.

Sincerely,

A handwritten signature in black ink that reads 'Wendy M. Dean'.

Wendy M. Dean
Engineering Tech II

532 Lincoln Avenue - Water



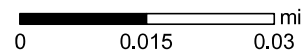
Legend

WATER

- Meter
- Curb Box
- Water System Pump
- Hydrant
- System Valve
- Dividing Pressure Valve
- Coupling
- Tee
- Cross
- Reducer
- End Cap
- Wash Out
- Pressure Monitoring Station
- Water Manhole
- Rising Main
- Supply Main
- Transmission Main
- Distribution Main
- Hydrant Branch
- Private Main
- Water Service Line

SEWER

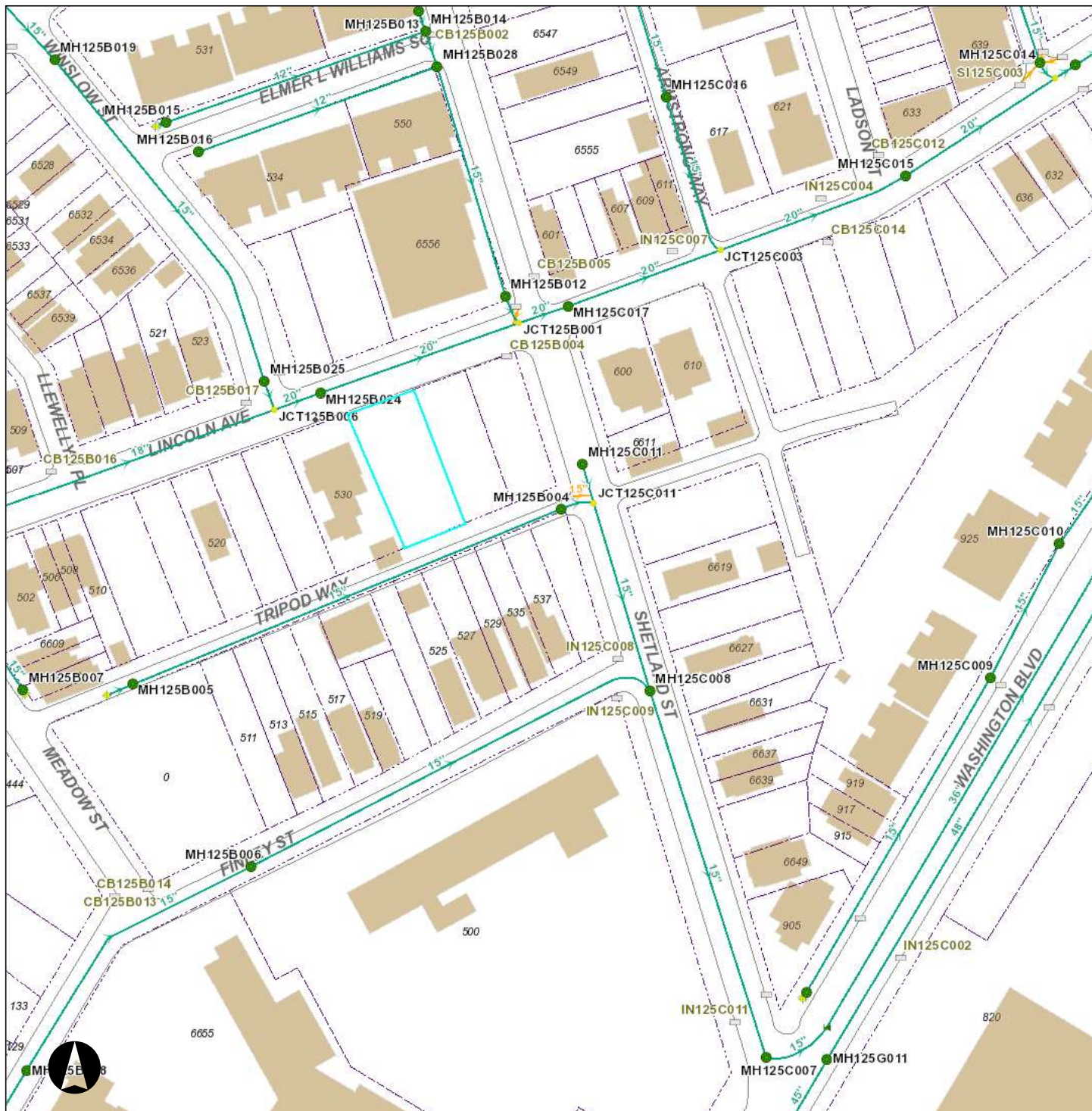
- Private Inlet
- Outfall
- End Cap
- Sewer Pump Station
- Combined Sewer
- Sanitary Sewer
- Storm Sewer
- Regulated Combined Sewer
- Overflow Sewer
- Interceptor
- Sewer Force Main
- Private Sewer
- Undefined Sewer
- Green Infrastructure Underground Facilities
- Manhole
- Junction
- Inlet



Neither the City of Pittsburgh nor the PWSA guarantees the accuracy of any of the information hereby made available, including but not limited to information concerning the location and condition of underground structures, and neither assumes any responsibility for any conclusions or interpretations made on the basis of such information. COP and PWSA assume no responsibility for any understanding or representations made by their agents or employees unless such understanding or representations are expressly set forth in a duly authorized written document, and such document expressly provides that responsibility therefore is assumed by the City or the PWSA.

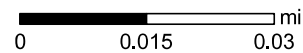
Date: 8/19/2022

532 Lincoln Avenue - Sewer



Legend

- | | | | |
|--|--------------|--|--------------|
| | WATER | | SEWER |
| | | | |
| | | | |
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Neither the City of Pittsburgh nor the PWSA guarantees the accuracy of any of the information hereby made available, including but not limited to information concerning the location and condition of underground structures, and neither assumes any responsibility for any conclusions or interpretations made on the basis of such information. COP and PWSA assume no responsibility for any understanding or representations made by their agents or employees unless such understanding or representations are expressly set forth in a duly authorized written document, and such document expressly provides that responsibility therefore is assumed by the City or the PWSA.

Date: 8/19/2022

PNDI INFORMATION

1. PROJECT INFORMATION

Project Name: **HFH - 532 Lincoln Ave**

Date of Review: **8/18/2022 03:45:35 PM**

Project Category: **Development, Residential, subdivision which will contain 1-2 lots with 1-2 single family living units**

Project Area: **0.27 acres**

County(s): **Allegheny**

Township/Municipality(s): **PITTSBURGH**

ZIP Code:

Quadrangle Name(s): **PITTSBURGH EAST**

Watersheds HUC 8: **Lower Allegheny**

Watersheds HUC 12: **Allegheny River-Ohio River**

Decimal Degrees: **40.461275, -79.908275**

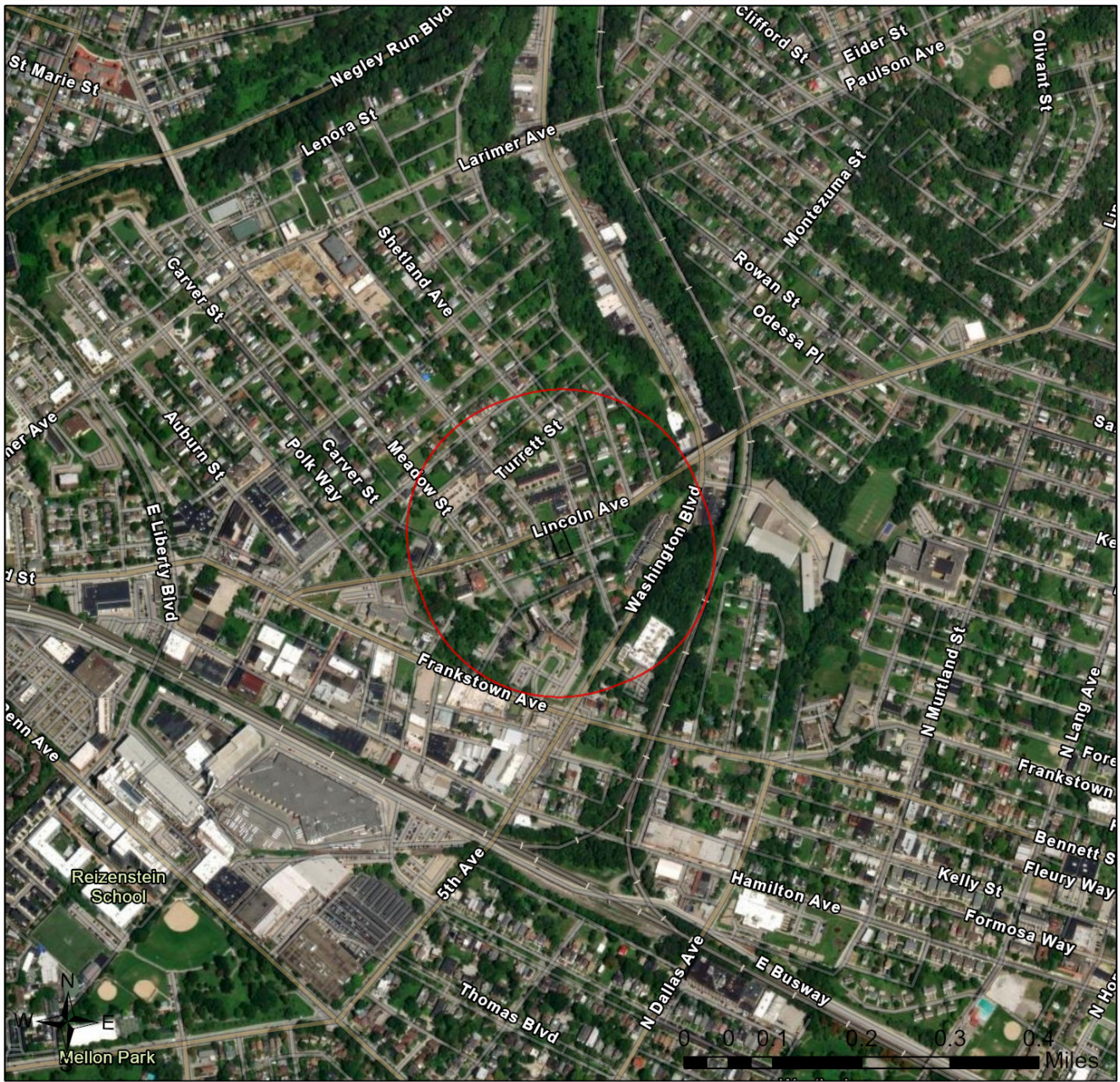
Degrees Minutes Seconds: **40° 27' 40.5916" N, 79° 54' 29.7903" W**



2. SEARCH RESULTS

Agency	Results	Response
PA Game Commission	No Known Impact	No Further Review Required
PA Department of Conservation and Natural Resources	No Known Impact	No Further Review Required
PA Fish and Boat Commission	No Known Impact	No Further Review Required
U.S. Fish and Wildlife Service	No Known Impact	No Further Review Required

As summarized above, Pennsylvania Natural Diversity Inventory (PNDI) records indicate no known impacts to threatened and endangered species and/or special concern species and resources within the project area. Therefore, based on the information you provided, no further coordination is required with the jurisdictional agencies. This response does not reflect potential agency concerns regarding impacts to other ecological resources, such as wetlands.

HFH - 532 Lincoln Ave

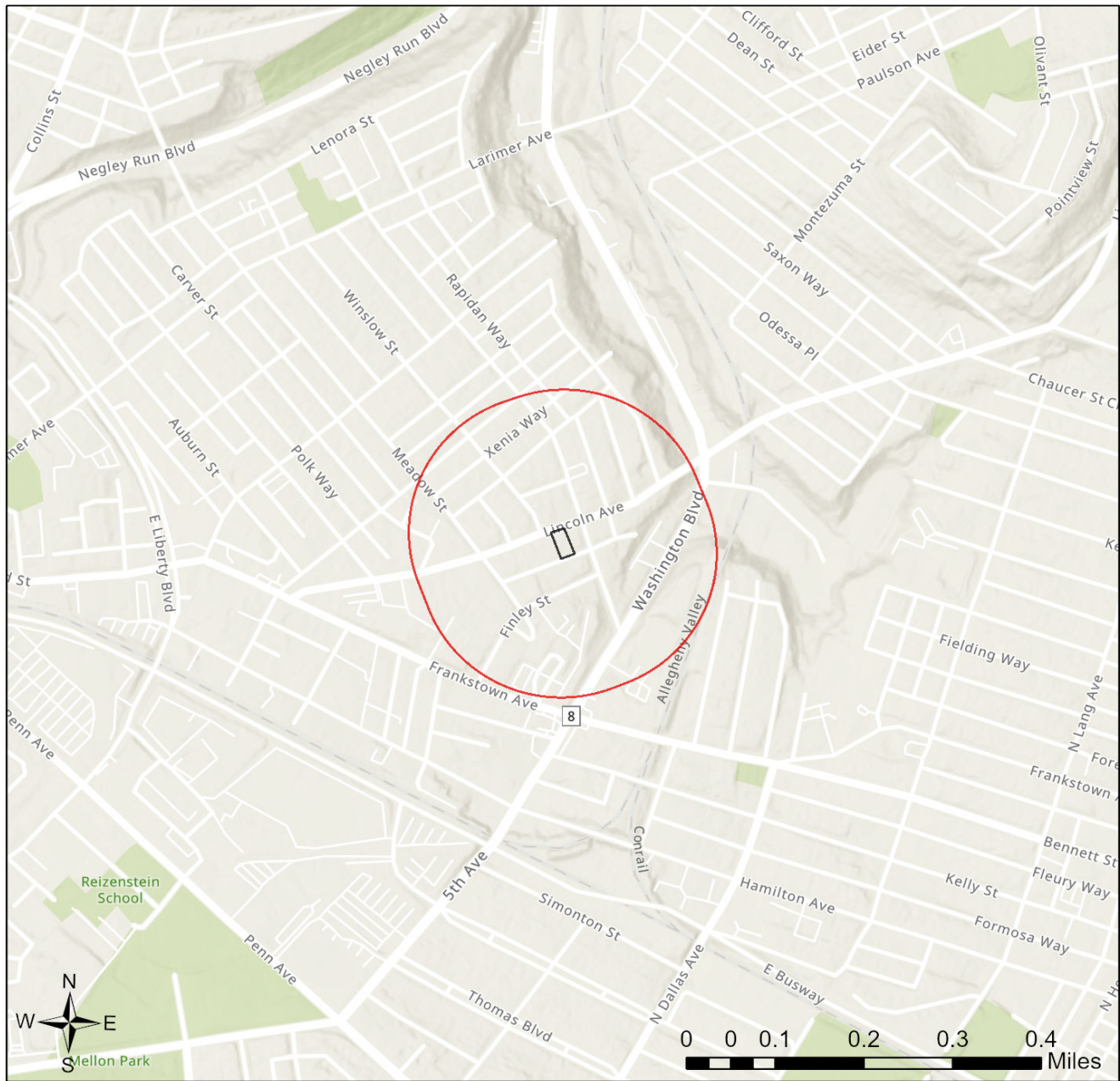


-  Buffered Project Boundary
-  Project Boundary



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community

HFH - 532 Lincoln Ave



- Buffered Project Boundary
- Project Boundary



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community

3. AGENCY COMMENTS

Regardless of whether a DEP permit is necessary for this proposed project, any potential impacts to threatened and endangered species and/or special concern species and resources must be resolved with the appropriate jurisdictional agency. In some cases, a permit or authorization from the jurisdictional agency may be needed if adverse impacts to these species and habitats cannot be avoided.

These agency determinations and responses are **valid for two years** (from the date of the review), and are based on the project information that was provided, including the exact project location; the project type, description, and features; and any responses to questions that were generated during this search. If any of the following change: 1) project location, 2) project size or configuration, 3) project type, or 4) responses to the questions that were asked during the online review, the results of this review are not valid, and the review must be searched again via the PNDI Environmental Review Tool and resubmitted to the jurisdictional agencies. The PNDI tool is a primary screening tool, and a desktop review may reveal more or fewer impacts than what is listed on this PNDI receipt. The jurisdictional agencies **strongly advise against** conducting surveys for the species listed on the receipt prior to consultation with the agencies.

PA Game Commission

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

PA Department of Conservation and Natural Resources

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

PA Fish and Boat Commission

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

U.S. Fish and Wildlife Service

RESPONSE:

No impacts to **federally** listed or proposed species are anticipated. Therefore, no further consultation/coordination under the Endangered Species Act (87 Stat. 884, as amended; 16 U.S.C. 1531 et seq. is required. Because no take of federally listed species is anticipated, none is authorized. This response does not reflect potential Fish and Wildlife Service concerns under the Fish and Wildlife Coordination Act or other authorities.

4. DEP INFORMATION

The Pa Department of Environmental Protection (DEP) requires that a signed copy of this receipt, along with any required documentation from jurisdictional agencies concerning resolution of potential impacts, be submitted with applications for permits requiring PNDI review. Two review options are available to permit applicants for handling PNDI coordination in conjunction with DEP's permit review process involving either T&E Species or species of special concern. Under sequential review, the permit applicant performs a PNDI screening and completes all coordination with the appropriate jurisdictional agencies prior to submitting the permit application. The applicant will include with its application, both a PNDI receipt and/or a clearance letter from the jurisdictional agency if the PNDI Receipt shows a Potential Impact to a species or the applicant chooses to obtain letters directly from the jurisdictional agencies. Under concurrent review, DEP, where feasible, will allow technical review of the permit to occur concurrently with the T&E species consultation with the jurisdictional agency. The applicant must still supply a copy of the PNDI Receipt with its permit application. The PNDI Receipt should also be submitted to the appropriate agency according to directions on the PNDI Receipt. The applicant and the jurisdictional agency will work together to resolve the potential impact(s). See the DEP PNDI policy at <https://conservationexplorer.dcnr.pa.gov/content/resources>.

5. ADDITIONAL INFORMATION

The PNDI environmental review website is a preliminary screening tool. There are often delays in updating species status classifications. Because the proposed status represents the best available information regarding the conservation status of the species, state jurisdictional agency staff give the proposed statuses at least the same consideration as the current legal status. If surveys or further information reveal that a threatened and endangered and/or special concern species and resources exist in your project area, contact the appropriate jurisdictional agency/agencies immediately to identify and resolve any impacts.

For a list of species known to occur in the county where your project is located, please see the species lists by county found on the PA Natural Heritage Program (PNHP) home page (www.naturalheritage.state.pa.us). Also note that the PNDI Environmental Review Tool only contains information about species occurrences that have actually been reported to the PNHP.

6. AGENCY CONTACT INFORMATION

PA Department of Conservation and Natural Resources

Bureau of Forestry, Ecological Services Section
400 Market Street, PO Box 8552
Harrisburg, PA 17105-8552
Email: RA-HeritageReview@pa.gov

PA Fish and Boat Commission

Division of Environmental Services
595 E. Rolling Ridge Dr., Bellefonte, PA 16823
Email: RA-FBPACENOTIFY@pa.gov

U.S. Fish and Wildlife Service

Pennsylvania Field Office
Endangered Species Section
110 Radnor Rd; Suite 101
State College, PA 16801
Email: IR1_ESPenn@fws.gov
NO Faxes Please

PA Game Commission

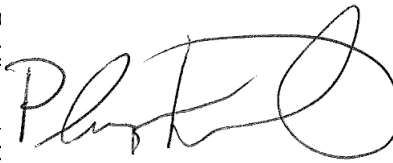
Bureau of Wildlife Management
Division of Environmental Review
2001 Elmerton Avenue, Harrisburg, PA 17110-9797
Email: RA-PGC_PNDI@pa.gov
NO Faxes Please

7. PROJECT CONTACT INFORMATION

Name: Philip J. Karanovich
Company/Business Name: Red Swing Group
Address: 4314 Old William Penn Hwy, Suite 101
City, State, Zip: Monroeville, PA 15146
Phone: (724) 325 - 1215 Fax: (866) 295 - 5226
Email: p.karanovich@redswinggroup.com

8. CERTIFICATION

I certify that ALL of the project information contained in this receipt (including project location, project size/configuration, project type, answers to questions) is true, accurate and complete. In addition, if the project type, location, or if the answers to any questions that were asked during this online review changed during the environmental review.



applicant

8/19/2022

date