



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF WATER STANDARDS AND FACILITY REGULATION

Code No.

SEWAGE FACILITIES PLANNING MODULE

Component 3. Sewage Collection and Treatment Facilities

(Return completed module package to appropriate municipality)

DEP USE ONLY

DEP CODE #	CLIENT ID #	SITE ID #	APS ID #	AUTH ID #
02001-11-031				

This planning module component is used to fulfill the planning requirements of Act 537 for the following types of projects: (1) a subdivision to be served by sewage collection, conveyance or treatment facilities, (2) a tap-in to an existing collection system with flows on a lot of 2 EDU's or more, or (3) the construction of, or modification to, wastewater collection, conveyance or treatment facilities that will require DEP to issue or modify a Clean Streams Law permit. Planning for any project that will require DEP to issue or modify a permit cannot be processed by a delegated agency. Delegated agencies must send their projects to DEP for final planning approval.

This component, along with any other documents specified in the cover letter, must be completed and submitted to the municipality with jurisdiction over the project site for review and approval. All required documentation must be attached for the Sewage Facilities Planning Module to be complete. Refer to the instructions for help in completing this component.

REVIEW FEES: Amendments to the Sewage Facilities Act established fees to be paid by the developer for review of planning modules for land development. These fees may vary depending on the approving agency for the project (DEP or delegated local agency). Please see section R and the instructions for more information on these fees.

NOTE: All projects must complete Sections A through I, and Sections O through R. Complete Sections J, K, L, M and/or N if applicable or marked ☒.

A. PROJECT INFORMATION (See Section A of instructions)

- Project Name Taco Bell
- Brief Project Description Fast Food Restaurant with Drive-Thru. 2593 s.f. building on a 0.45 acre lot

B. CLIENT (MUNICIPALITY) INFORMATION (See Section B of instructions)

Municipality Name	County	City	Boro	Twp
City of Pittsburgh	Allegheny	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Municipality Contact Individual - Last Name	First Name	MI	Suffix	Title
Johnson-Wasler	Linda			City Clerk
Additional Individual Last Name	First Name	MI	Suffix	Title
Municipality Mailing Address Line 1	Mailing Address Line 2			
414 Grant St., 510 City County Building	City Clerks Office			
Address Last Line -- City	State	ZIP+4		
Pittsburgh	PA	15219		
Phone + Ext.	FAX (optional)	Email (optional)		
412-255-2138				

C. SITE INFORMATION (See Section C of instructions)**Site (Land Development or Project) Name**

Taco Bell

Site Location Line 1
705 Allegheny Ave.

Site Location Line 2

Site Location Last Line -- City
PittsburghState
PAZIP+4
15233Latitude
40.448711Longitude
80.017612

Detailed Written Directions to Site Northwest corner of Allegheny Avenue and Ridge Avenue intersection. Approximately 300 linear feet north of PA-65 overpass.

Description of Site New Taco Bell restaurant with drive-thru and parking lot. 2593 s.f. building on a 0.45 acre lot.

Site Contact (Developer/Owner)

Last Name

First Name

MI

Suffix

Phone

Ext.

Aarsand

Kurt

410-458-2618

Site Contact Title

Site Contact Firm (if none, leave blank)

Developer/Lessee

Aarsand Management Company

FAX

Email

410-458-2618

Kurt@aarsand.com

Mailing Address Line 1

Mailing Address Line 2

1019 McCormick Road, Ste. 320

Mailing Address Last Line -- City

State

ZIP+4

Hunt Valley

MD

21030

D. PROJECT CONSULTANT INFORMATION (See Section D of instructions)

Last Name

First Name

MI

Suffix

Huntington

Todd

M

Title

Consulting Firm Name

Project Engineer

Glaus, Pyle, Schomer, Burns & DeHaven, Inc. dba, GPD Group

Mailing Address Line 1

Mailing Address Line 2

520 S. Main St., Ste. 2531

Address Last Line -- City

State

ZIP+4

Country

Akron

OH

44311

United States

Email

Phone

Ext.

FAX

thuntington@gpdco.com

330-572-2207

330-572-2101

E. AVAILABILITY OF DRINKING WATER SUPPLY

The project will be provided with drinking water from the following source: (Check appropriate box)

☐ Individual wells or cisterns.☐ A proposed public water supply.☒ An existing public water supply.

If existing public water supply is to be used, provide the name of the water company and attach documentation from the water company stating that it will serve the project.

Name of water company: Pittsburgh Water and Sewer Authority**F. PROJECT NARRATIVE** (See Section F of instructions)☒ A narrative has been prepared as described in Section F of the instructions and is attached.

The applicant may choose to include additional information beyond that required by Section F of the instructions.

G. PROPOSED WASTEWATER DISPOSAL FACILITIES (See Section G of instructions)

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter 93 (relating to wastewater treatment requirements).

1. COLLECTION SYSTEM

a. Check appropriate box concerning collection system

- ☐ New collection system ☐ Pump Station ☐ Force Main
☐ Grinder pump(s) ☒ Extension to existing collection system ☐ Expansion of existing facility

Clean Streams Law Permit Number 0

b. Answer questions below on collection system

Number of EDU's and proposed connections to be served by collection system. EDU's 5

Connections 1

Name of:

existing collection or conveyance system PWSA Collection System

owner PWSA

existing interceptor

owner

2. WASTEWATER TREATMENT FACILITY

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter(s) 91 (relating to general provisions), 92 (relating to national Pollution Discharge Elimination System permitting, monitoring and compliance) and 93 (relating to water quality standards).

a. Check appropriate box and provide requested information concerning the treatment facility

- ☐ New facility ☒ Existing facility ☐ Upgrade of existing facility ☐ Expansion of existing facility

Name of existing facility ALCOSAN

NPDES Permit Number for existing facility

Clean Streams Law Permit Number

Location of discharge point for a new facility. Latitude Longitude

b. The following certification statement must be completed and signed by the wastewater treatment facility permittee or their representative.

As an authorized representative of the permittee, I confirm that the (Name from above) sewage treatment facilities can accept sewage flows from this project without adversely affecting the facility's ability to achieve all applicable technology and water quality based effluent limits (see Section I) and conditions contained in the NPDES permit identified above.

Name of Permittee Agency, Authority, Municipality

Name of Responsible Agent

Agent Signature Date

(Also see Section I. 4.)

G. PROPOSED WASTEWATER DISPOSAL FACILITIES (Continued)**3. PLOT PLAN**

The following information is to be submitted on a plot plan of the proposed subdivision.

- | | |
|---|--|
| a. Existing and proposed buildings. | j. Any designated recreational or open space area. |
| b. Lot lines and lot sizes. | k. Wetlands - from National Wetland Inventory Mapping and USGS Hydric Soils Mapping. |
| c. Adjacent lots. | l. Flood plains or Flood prone areas, floodways, (Federal Flood Insurance Mapping) |
| d. Remainder of tract. | m. Prime Agricultural Land. |
| e. Existing and proposed sewerage facilities. Plot location of discharge point, land application field, spray field, COLDS, or LVCOLDS if a new facility is proposed. | n. Any other facilities (pipelines, power lines, etc.) |
| f. Show tap-in or extension to the point of connection to existing collection system (if applicable). | o. Orientation to north. |
| g. Existing and proposed water supplies and surface water (wells, springs, ponds, streams, etc.) | p. Locations of all site testing activities (soil profile test pits, slope measurements, permeability test sites, background sampling, etc. (if applicable). |
| h. Existing and proposed rights-of-way. | q. Soils types and boundaries when a land based system is proposed. |
| i. Existing and proposed buildings, streets, roadways, access roads, etc. | r. Topographic lines with elevations when a land based system is proposed |

4. WETLAND PROTECTION

YES NO

- a. ☐ ☒ Are there wetlands in the project area? If yes, ensure these areas appear on the plot plan as shown in the mapping or through on-site delineation.
- b. ☐ ☒ Are there any construction activities (encroachments, or obstructions) proposed in, along, or through the wetlands? If yes, Identify any proposed encroachments on wetlands and identify whether a General Permit or a full encroachment permit will be required. If a full permit is required, address time and cost impacts on the project. Note that wetland encroachments should be avoided where feasible. Also note that a feasible alternative **MUST BE SELECTED** to an identified encroachment on an exceptional value wetland as defined in Chapter 105. Identify any project impacts on streams classified as HQ or EV and address impacts of the permitting requirements of said encroachments on the project.

5. PRIME AGRICULTURAL LAND PROTECTION

YES NO

- ☐ ☒ Will the project involve the disturbance of prime agricultural lands?
If yes, coordinate with local officials to resolve any conflicts with the local prime agricultural land protection program. The project must be consistent with such municipal programs before the sewage facilities planning module package may be submitted to DEP.
If no, prime agricultural land protection is not a factor to this project.
- ☐ ☐ Have prime agricultural land protection issues been settled?

6. HISTORIC PRESERVATION ACT

YES NO

- ☐ ☒ Sufficient documentation is attached to confirm that this project is consistent with DEP Technical Guidance 012-0700-001 *Implementation of the PA State History Code* (available online at the DEP Web site at www.depweb.state.pa.us, select "subject" then select "technical guidance"). As a minimum this includes copies of the completed Cultural Resources Notice (CRN), a return receipt for its submission to the PHMC and the PHMC review letter.

7. PROTECTION OF RARE, ENDANGERED OR THREATENED SPECIES

Check one:

- ☒ The "Pennsylvania Natural Diversity Inventory (PNDI) Project Environmental Review Receipt" resulting from my search of the PNDI database and all supporting documentation from jurisdictional agencies (when necessary) is/are attached.
- ☐ A completed "Pennsylvania Natural Diversity Inventory (PNDI) Project Planning & Environmental Review Form," (PNDI Form) available at www.naturalheritage.state.pa.us, and all required supporting documentation is attached. I request DEP staff to complete the required PNDI search for my project. I realize that my planning module will be considered incomplete upon submission to the Department and that the DEP review will not begin, and that processing of my planning module will be delayed, until a "PNDI Project Environmental Review Receipt" and all supporting documentation from jurisdictional agencies (when necessary) is/are received by DEP.

Applicant or Consultant Initials _____.

H. ALTERNATIVE SEWAGE FACILITIES ANALYSIS (See Section H of Instructions)

- ☒ An alternative sewage facilities analysis has been prepared as described in Section H of the attached instructions and is attached to this component.

The applicant may choose to include additional information beyond that required by Section H of the attached instructions.

I. COMPLIANCE WITH WATER QUALITY STANDARDS AND EFFLUENT LIMITATIONS (See Section I of instructions) (Check and complete all that apply.)**1. Waters designated for Special Protection**

- ☐ The proposed project will result in a new or increased discharge into special protection waters as identified in Title 25, Pennsylvania Code, Chapter 93. The Social or Economic Justification (SEJ) required by Section 93.4c. is attached.

2. Pennsylvania Waters Designated As Impaired

- ☐ The proposed project will result in a new or increased discharge of a pollutant into waters that DEP has identified as being impaired by that pollutant. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss water quality based discharge limitations.

3. Interstate and International Waters

- ☐ The proposed project will result in a new or increased discharge into interstate or international waters. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss effluent limitations necessary to meet the requirements of the interstate or international compact.

4. Tributaries To The Chesapeake Bay

- ☐ The proposed project result in a new or increased discharge of sewage into a tributary to the Chesapeake Bay. This proposal for a new sewage treatment facility or new flows to an existing facility includes total nitrogen and total phosphorus in the following amounts: _____ pounds of TN per year, and _____ pounds of TP per year. Based on the process design and effluent limits, the total nitrogen treatment capacity of the wastewater treatment facility is _____ pounds per year and the total phosphorus capacity is _____ pounds per year as determined by the wastewater treatment facility permittee. The permittee has determined that the additional TN and TP to be contributed by this project (as modified by credits and/or offsets to be provided) will not cause the discharge to exceed the annual total mass limits for these parameters. Documentation of compliance with nutrient allocations is attached.

Name of Permittee Agency, Authority, Municipality _____

Initials of Responsible Agent (See Section G 2.b) _____

See *Special Instructions* (Form 3800-FM-WSFR0353-1) for additional information on Chesapeake Bay watershed requirements.

J. CHAPTER 94 CONSISTENCY DETERMINATION (See Section J of Instructions)

Projects that propose the use of existing municipal collection, conveyance or wastewater treatment facilities, or the construction of collection and conveyance facilities to be served by existing municipal wastewater treatment facilities

must be consistent with the requirements of Title 25, Chapter 94 (relating to Municipal Wasteload Management). If not previously included in Section F, include a general map showing the path of the sewage to the treatment facility. If more than one municipality or authority will be affected by the project, please obtain the information required in this section for each. Additional sheets may be attached for this purpose.

1. Project Flows 2050 gpd
2. Total Sewage Flows to Facilities (pathway from point of origin through treatment plant)

When providing "treatment facilities" sewage flows, use Annual Average Daily Flow for "average" and Maximum Monthly Average Daily Flow for "peak" in all cases. For "peak flows" in "collection" and "conveyance" facilities, indicate whether these flows are "peak hourly flow" or "peak instantaneous flow" and how this figure was derived (i.e., metered, measured, estimated, etc.).

- a. Enter average and peak sewage flows for each proposed or existing facility as designed or permitted.
- b. Enter the average and peak sewage flows for the most restrictive sections of the existing sewage facilities.
- c. Enter the average and peak sewage flows, projected for 5 years (2 years for pump stations) through the most restrictive sections of the existing sewage facilities. Include existing, proposed (this project) and future project (other approved projects) flows.

To complete the table, refer to the instructions, Section J.

	a. Design and/or Permitted Capacity (gpd)		b. Present Flows (gpd)		c. Projected Flows in 5 years (gpd) (2 years for P.S.)	
	Average	Peak	Average	Peak	Average	Peak
Collection						
Conveyance						
Treatment						

3. Collection and Conveyance Facilities

The questions below are to be answered by the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities. These questions should be answered in coordination with the latest Chapter 94 annual report and the above table. The individual(s) signing below must be legally authorized to make representation for the organization.

YES NO

- a. ☐ ☐ This project proposes sewer extensions or tap-ins. Will these actions create a hydraulic overload within five years on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until all inconsistencies with Chapter 94 are resolved or unless there is an approved Corrective Action Plan (CAP) granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the module package.

If no, a representative of the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not affect that status.

b. Collection System

Name of Agency, Authority, Municipality _____

Name of Responsible Agent _____

Agent Signature _____ Date _____

☒ J. CHAPTER 94 CONSISTENCY DETERMINATION (Continued)

c. Conveyance System

Name of Agency, Authority, Municipality _____

Name of Responsible Agent _____

Agent Signature _____

Date _____

4. Treatment Facility

The questions below are to be answered by a representative of the facility permittee in coordination with the information in the table and the latest Chapter 94 report. The individual signing below must be legally authorized to make representation for the organization.

Yes No

- a. ☐ ☐ This project proposes the use of an existing wastewater treatment plant for the disposal of sewage. Will this action create a hydraulic or organic overload within 5 years at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this inconsistency with Chapter 94 is resolved or unless there is an approved CAP granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the planning module.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not impact that status.

- b. Name of Agency, Authority, Municipality _____

Name of Responsible Agent _____

Agent Signature _____

Date _____

☐ **K. TREATMENT AND DISPOSAL OPTIONS** (See Section K of instructions)

This section is for land development projects that propose construction of wastewater treatment facilities. Please note that, since these projects require permits issued by DEP, these projects may **NOT** receive final planning approval from a delegated local agency. Delegated local agencies must send these projects to DEP for final planning approval.

Check the appropriate box indicating the selected treatment and disposal option.

- ☐ 1. Spray irrigation (other than individual residential spray systems (IRSIS)) or other land application is proposed, and the information requested in Section K.1. of the planning module instructions are attached.
- ☐ 2. Recycle and reuse is proposed and the information requested in Section K-2 of the planning module instructions is attached.
- ☐ 3. A discharge to a dry stream channel is proposed, and the information requested in Section K.3. of the planning module instructions are attached.
- ☐ 4. A discharge to a perennial surface water body is proposed, and the information requested in Section K.4. of the planning module instructions are attached.

☐ **L. PERMEABILITY TESTING** (See Section L of instructions)

- ☐ The information required in Section L of the instructions is attached.

☐ **M. PRELIMINARY HYDROGEOLOGIC STUDY** (See Section M of instructions)

- ☐ The information required in Section M of the instructions is attached.

☐ N. DETAILED HYDROGEOLOGIC STUDY (See Section N of instructions)

☐ The detailed hydrogeologic information required in Section N. of the instructions is attached.

O. SEWAGE MANAGEMENT (See Section O of instructions)

(1-3 for completion by the developer(project sponser), 4-5 for completion by the non-municipal facility agent and 6 for completion by the municipality)

Yes No

1. ☐ ☐ Is connection to, or construction of, a DEP permitted, non-municipal sewage facility or a local agency permitted, community onlot sewage facility proposed.

If Yes, respond to the following questions, attach the supporting analysis, and an evaluation of the options available to assure long-term proper operation and maintenance of the proposed non-municipal facilities. If No, skip the remainder of Section O.

2. Project Flows _____ gpd

Yes No

3. ☐ ☐ Is the use of nutrient credits or offsets a part of this project?

If yes, attach a letter of intent to purchase the necessary credits and describe the assurance that these credits and offsets will be available for the remaining design life of the non-municipal sewage facility;

(For completion by non-municipal facility agent)

4. Collection and Conveyance Facilities

The questions below are to be answered by the organization/individual responsible for the non-municipal collection and conveyance facilities. The individual(s) signing below must be legally authorized to make representation for the organization.

Yes No

- a. ☐ ☐ If this project proposes sewer extensions or tap-ins, will these actions create a hydraulic overload on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, a representative of the organization responsible for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with Chapter 71 §71.53(d)(3) and that this proposal will not affect that status.

- b. Collection System

Name of Responsible Organization _____

Name of Responsible Agent _____

Agent Signature _____

Date _____

- c. Conveyance System

Name of Responsible Organization _____

Name of Responsible Agent _____

Agent Signature _____

Date _____

5. Treatment Facility

The questions below are to be answered by a representative of the facility permittee. The individual signing below must be legally authorized to make representation for the organization.

Yes No

- a. ☐ ☐ If this project proposes the use of an existing non-municipal wastewater treatment plant for the disposal of sewage, will this action create a hydraulic or organic overload at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with §71.53(d)(3) and that this proposal will not impact that status.

- b. Name of Facility _____
 Name of Responsible Agent _____
 Agent Signature _____
 Date _____

(For completion by the municipality)

6. ☐ The **SELECTED OPTION** necessary to assure long-term proper operation and maintenance of the proposed non-municipal facilities is clearly identified with documentation attached in the planning module package.

P. PUBLIC NOTIFICATION REQUIREMENT (See Section P of instructions)

This section must be completed to determine if the applicant will be required to publish facts about the project in a newspaper of general circulation to provide a chance for the general public to comment on proposed new land development projects. This notice may be provided by the applicant or the applicant's agent, the municipality or the local agency by publication in a newspaper of general circulation within the municipality affected. Where an applicant or an applicant's agent provides the required notice for publication, the applicant or applicant's agent shall notify the municipality or local agency and the municipality and local agency will be relieved of the obligation to publish. The required content of the publication notice is found in Section P of the instructions.

To complete this section, each of the following questions must be answered with a "yes" or "no". Newspaper publication is required if any of the following are answered "yes".

Yes No

1. ☐ ☒ Does the project propose the construction of a sewage treatment facility ?
2. ☐ ☒ Will the project change the flow at an existing sewage treatment facility by more than 50,000 gallons per day?
3. ☐ ☒ Will the project result in a public expenditure for the sewage facilities portion of the project in excess of \$100,000?
4. ☐ ☒ Will the project lead to a major modification of the existing municipal administrative organizations within the municipal government?
5. ☐ ☒ Will the project require the establishment of *new* municipal administrative organizations within the municipal government?
6. ☐ ☒ Will the project result in a subdivision of 50 lots or more? (onlot sewage disposal only)

P. PUBLIC NOTIFICATION REQUIREMENT cont'd. (See Section P of instructions)

7. ☐ ☒ Does the project involve a major change in established growth projections?
8. ☐ ☒ Does the project involve a different land use pattern than that established in the municipality's Official Sewage Plan?
9. ☐ ☒ Does the project involve the use of large volume onlot sewage disposal systems (Flow > 10,000 gpd)?
10. ☐ ☒ Does the project require resolution of a conflict between the proposed alternative and consistency requirements contained in §71.21(a)(5)(i), (ii), (iii)?
11. ☐ ☒ Will sewage facilities discharge into high quality or exceptional value waters?
- ☐ Attached is a copy of:
- ☐ the public notice,
- ☐ all comments received as a result of the notice,
- ☐ the municipal response to these comments.
- ☐ No comments were received. A copy of the public notice is attached.

Q. FALSE SWEARING STATEMENT (See Section Q of instructions)

I verify that the statements made in this component are true and correct to the best of my knowledge, information and belief. I understand that false statements in this component are made subject to the penalties of 18 PA C.S.A. §4904 relating to unsworn falsification to authorities.

Todd Huntington, GPD Group

Name (Print)

Project Engineer

Title

520 S. Main St., Ste. 2531, Akron, OH 44311

Address

08-25-11

Date

330-572-2207

Telephone Number

R. REVIEW FEE (See Section R of instructions)

The Sewage Facilities Act establishes a fee for the DEP planning module review. DEP will calculate the review fee for the project and invoice the project sponsor **OR** the project sponsor may attach a self-calculated fee payment to the planning module prior to submission of the planning package to DEP. (Since the fee and fee collection procedures may vary if a "delegated local agency" is conducting the review, the project sponsor should contact the "delegated local agency" to determine these details.) Check the appropriate box.

- ☐ I request DEP calculate the review fee for my project and send me an invoice for the correct amount. I understand DEP's review of my project will not begin until DEP receives the correct review fee from me for the project.
- ☒ I have calculated the review fee for my project using the formula found below and the review fee guidance in the instructions. I have attached a check or money order in the amount of \$250.00 payable to "Commonwealth of PA, DEP". Include DEP code number on check. I understand DEP will not begin review of my project unless it receives the fee and determines the fee is correct. If the fee is incorrect, DEP will return my check or money order, send me an invoice for the correct amount. I understand DEP review will NOT begin until I have submitted the correct fee.
- ☐ I request to be exempt from the DEP planning module review fee because this planning module creates **only** one new lot and is the **only** lot subdivided from a parcel of land as that land existed on December 14, 1995. I realize that subdivision of a second lot from this parcel of land shall disqualify me from this review fee exemption. I am furnishing the following deed reference information in support of my fee exemption.

County Recorder of Deeds for _____ County, Pennsylvania

Deed Volume _____ Book Number _____

Page Number _____ Date Recorded _____

R. REVIEW FEE (continued)

Formula:

1. For a new collection system (with or without a Clean Streams Law Permit), a collection system extension, or individual tap-ins to an existing collection system use this formula.

$$\#5 \text{ Lots (or EDUs) X } \$50.00 = \$250.00$$

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
 - For community sewer system projects, one EDU is equal to a sewage flow of 400 gallons per day.
2. For a surface or subsurface discharge system, use the appropriate one of these formulae.

- A. A new surface discharge greater than 2000 gpd will use a flat fee:

\$ 1,500 per submittal (non-municipal)
\$ 500 per submittal (municipal)

- B. An increase in an existing surface discharge will use:

$$\# \text{ Lots (or EDUs) X } \$35.00 = \$$$

to a maximum of \$ 1,500 per submittal (non-municipal) or \$ 500 per submittal (municipal)

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
- For community sewage system projects one EDU is equal to a sewage flow of 400 gallons per day.
- For non-single family residential projects, EDUs are calculated using projected population figures

- C. A sub-surface discharge system that requires a permit under The Clean Streams Law will use a flat fee:

\$ 1,500 per submittal (non-municipal)
\$ 500 per submittal (municipal)



INSTRUCTIONS FOR COMPLETING COMPONENT 4A MUNICIPAL PLANNING AGENCY REVIEW

Remove and recycle these instructions prior to mailing component to the approving agency (DEP or delegated local agency).

Background

This component, Component 4, is used to obtain the comments of planning agencies and/or health departments having jurisdiction over the project area. It is used in conjunction with other planning module components appropriate to the characteristics of the project proposed.

Who Should Complete the Component?

The component should be completed by any existing municipal planning agency, county planning agency, planning agency with areawide jurisdiction, and/or health department having jurisdiction over the project site. It is divided into sections to allow for convenient use by the appropriate agencies.

The project sponsor must forward copies of this component, along with supporting components and data, to the appropriate planning agency or agencies and health department(s) (if any) having jurisdiction over the development site. These agencies are responsible for responding to the questions in their respective sections of Component 4, as well as providing whatever additional comments they may wish to provide on the project plan. After the agencies have completed their review, the component will be returned to the applicant. The agencies have 60 days in which to provide comments to the applicant. If the agencies fail to comment within this 60 day period, the applicant may proceed to the next stage of the review without the comments. The use of registered mail or certified mail (return receipt requested) by the applicant when forwarding the module package to the agencies will document a date of receipt.

After receipt of the completed Component 4 from the planning agencies, or following expiration of the 60 day period without comments, the applicant must submit the entire component package to the municipality having jurisdiction over the project area for review and action. If approved by the municipality, the proposed plan, along with the municipal action, will be forwarded to the approving agency (DEP or delegated local agency). The approving agency, in turn, will either approve the proposed plan, return it as incomplete, or disapprove the plan, based upon the information provided.

Instructions for Completing Planning Agency and/or Health Department Review Component

Section A. Project Name

Enter the project name as it appears on the accompanying sewage facilities planning module component (Component 2, 3, 3s or 3m).

Section B. Review Schedule

Enter the date the package was received by the reviewing agency, and the date that the review was completed.

Section C. Agency Review

1. Answer the yes/no questions and provide any descriptive information necessary on the lines provided. Attach additional sheets, if necessary.
2. Complete the name, title, and signature block.

Section D. Additional Comments

The Agency may provide whatever additional comment it deems necessary, as described in the form. Attach additional sheets, if necessary.



SEWAGE FACILITIES PLANNING MODULE COMPONENT 4A - MUNICIPAL PLANNING AGENCY REVIEW

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning module package and one copy of this **Planning Agency Review Component** should be sent to the existing local municipal planning agency for their comments.

SECTION A. PROJECT NAME (See Section A of instructions)

Project Name

Taco Bell

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by municipal planning agency. _____
2. Date review completed by agency. _____

SECTION C. AGENCY REVIEW (See Section C of instructions)

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	1. Is there a municipal comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101, <i>et seq.</i>)?
<input type="checkbox"/>	<input type="checkbox"/>	2. Is this proposal consistent with the comprehensive plan for land use? If no, describe the inconsistencies _____
<input type="checkbox"/>	<input type="checkbox"/>	3. Is this proposal consistent with the use, development, and protection of water resources? If no, describe the inconsistencies _____
<input type="checkbox"/>	<input type="checkbox"/>	4. Is this proposal consistent with municipal land use planning relative to Prime Agricultural Land Preservation?
<input type="checkbox"/>	<input type="checkbox"/>	5. Does this project propose encroachments, obstructions, or dams that will affect wetlands? If yes, describe impacts _____
<input type="checkbox"/>	<input type="checkbox"/>	6. Will any known historical or archaeological resources be impacted by this project? If yes, describe impacts _____
<input type="checkbox"/>	<input type="checkbox"/>	7. Will any known endangered or threatened species of plant or animal be impacted by this project? If yes, describe impacts _____
<input type="checkbox"/>	<input type="checkbox"/>	8. Is there a municipal zoning ordinance?
<input type="checkbox"/>	<input type="checkbox"/>	9. Is this proposal consistent with the ordinance? If no, describe the inconsistencies _____
<input type="checkbox"/>	<input type="checkbox"/>	10. Does the proposal require a change or variance to an existing comprehensive plan or zoning ordinance?
<input type="checkbox"/>	<input type="checkbox"/>	11. Have all applicable zoning approvals been obtained?
<input type="checkbox"/>	<input type="checkbox"/>	12. Is there a municipal subdivision and land development ordinance?

SECTION C. AGENCY REVIEW (continued)**Yes****No**

- | | | |
|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | 13. Is this proposal consistent with the ordinance?
If no, describe the inconsistencies _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 14. Is this plan consistent with the municipal Act 537 Official Sewage Facilities Plan?
If no, describe the inconsistencies _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 15. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality?
If yes, describe _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 16. Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision? |
| <input type="checkbox"/> | <input type="checkbox"/> | If yes, is the proposed waiver consistent with applicable ordinances? |
17. Name, title and signature of planning agency staff member completing this section:
 Name: _____
 Title: _____
 Signature: _____
 Date: _____
 Name of Municipal Planning Agency: _____
 Address _____
 Telephone Number: _____

SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)

This Component does not limit municipal planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are desired, attach additional sheets.

The planning agency must complete this Component within 60 days.

This component and any additional comments are to be returned to the project sponsor.



INSTRUCTIONS FOR COMPLETING COMPONENT 4C COUNTY OR JOINT HEALTH DEPARTMENT REVIEW

Remove and recycle these instructions prior to mailing component to the approving agency (DEP or delegated local agency).

Background

This component, Component 4, is used to obtain the comments of planning agencies and/or health departments having jurisdiction over the project area. It is used in conjunction with other planning module components appropriate to the characteristics of the project proposed.

Who Should Complete the Component?

The component should be completed by any existing municipal planning agency, county planning agency, planning agency with areawide jurisdiction, and/or health department having jurisdiction over the project site. It is divided into sections to allow for convenient use by the appropriate agencies.

The project sponsor must forward copies of this component, along with supporting components and data, to the appropriate planning agency or agencies and health department(s) (if any) having jurisdiction over the development site. These agencies are responsible for responding to the questions in their respective sections of Component 4, as well as providing whatever additional comments they may wish to provide on the project plan. After the agencies have completed their review, the component will be returned to the applicant. The agencies have 60 days in which to provide comments to the applicant. If the agencies fail to comment within this 60 day period, the applicant may proceed to the next stage of the review without the comments. The use of registered mail or certified mail (return receipt requested) by the applicant when forwarding the module package to the agencies will document a date of receipt.

After receipt of the completed Component 4 from the planning agencies, or following expiration of the 60 day period without comments, the applicant must submit the entire component package to the municipality having jurisdiction over the project area for review and action. If approved by the municipality, the proposed plan, along with the municipal action, will be forwarded to the approving agency (DEP or delegated local agency). The approving agency, in turn, will either approve the proposed plan, return it as incomplete, or disapprove the plan, based upon the information provided.

Instructions for Completing Planning Agency and/or Health Department Review Component

Section A. Project Name

Enter the project name as it appears on the accompanying sewage facilities planning module component (Component 2, 3, 3s or 3m).

Section B. Review Schedule

Enter the date the package was received by the reviewing agency, and the date that the review was completed.

Section C. Agency Review

1. Answer the yes/no questions and provide any descriptive information necessary on the lines provided. Attach additional sheets, if necessary.
2. Complete the name, title, and signature block.

Section D. Additional Comments

The Agency may provide whatever additional comment it deems necessary, as described in the form. Attach additional sheets, if necessary.



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF WATER STANDARDS AND FACILITY REGULATION

DEP Code #

SEWAGE FACILITIES PLANNING MODULE

COMPONENT 4C - COUNTY OR JOINT HEALTH DEPARTMENT REVIEW

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning module package and one copy of this **Planning Agency Review Component** should be sent to the county or joint county health department for their comments.

SECTION A. PROJECT NAME (See Section A of instructions)

Project Name

Taco Bell

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by county or joint-county health department. _____
Agency name _____
2. Date review completed by agency _____

SECTION C. AGENCY REVIEW (See Section C of instructions)

Yes No

- | | | |
|---|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | 1. Is the proposed plan consistent with the municipality's Official Sewage Facilities Plan?
If no, what are the inconsistencies? _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 2. Are there any waste water disposal needs in the area adjacent to the new land development that should be considered by the municipality?
If yes, describe _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 3. Is there any known groundwater degradation in the area of the proposed subdivision?
If yes, describe _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 4. The county or joint county health department recommendation concerning this proposed plan is as follows: _____ |
| 5. Name, title and signature of person completing this section: | | |
| Name: _____ | | |
| Title: _____ | | |
| Signature: _____ | | |
| Date: _____ | | |
| Name of County Health Department: _____ | | |
| Address: _____ | | |
| Telephone Number: _____ | | |

SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)

This Component does not limit county planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The county planning agency must complete this Component within 60 days.
This Component and any additional comments are to be returned to the applicant.

THE PITTSBURGH WATER AND SEWER AUTHORITY

Thomas Palmosina
Stephen Simcic
Acting Executive Directors
June 2, 2011

Penn Liberty Plaza I
1200 Penn Avenue
Pittsburgh, PA 15222
(412) 255-8800
Fax: (412) 393-0522

Mr. Todd Huntington
GPD Group
520 South Main Street, Suite 2531
Akron, OH 44311

RE: Water and Sewer Availability
Taco Bell Restaurant
710 Allegheny Avenue - 15212

Dear Mr. Huntington:

In response to your inquiry on 5/25/2011 concerning water and sewer availability for the area referenced above, please be advised that both water and sewers are available near the site, and water and sewer service will be provided in accordance with the policies and procedures of the Pittsburgh Water and Sewer Authority.

We wish to advise you that, if it is your desire to tap our water and sewer mains for service, your plans and Water and Sewer Use Application must be approved by the Authority, complete with detail showing the type of connection, meter, and backflow device before any work is performed.

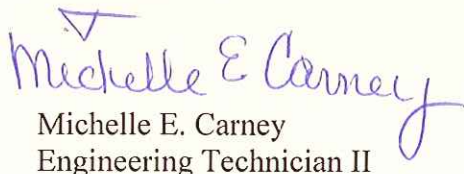
Please note that the Authority in no way guarantees that the available lines have the capacity or pressure adequate for your project's needs. It is the responsibility of the project developer, design consultant, and/or architects to determine, at their expense, the adequacy of the existing water system to fulfill their needs.

If you plan to make modifications to the water or sewer system, please submit design drawings to The Pittsburgh Water and Sewer Authority for approval.

Refer to the Pittsburgh Water and Sewer Authority (PWSA) website (www.pgh2o.com) for the complete "Procedure Manual for Developers". All tap in plans and applications must be submitted according to the manual.

If you have any questions please feel free to contact me at (412) 255-0841. Thank you.

Sincerely,


Michelle E. Carney
Engineering Technician II

mec

cc: PWSA File



PITTSBURGH WATER AND SEWER AUTHORITY
WATER AND SEWER AVAILABILITY LETTER
REQUEST FORM

PWSA Rec
MAY 26 2011
mc

All persons planning to perform construction, demolition, or renovation work that will involve water and/or sewer services are recommended to complete this form and submit to PWSA. PWSA will review the request and reply to indicate if PWSA-owned water and/or sewer utilities are present at the site of the proposed work.

This request form is required for all of the following types of development. (Please note that the term "sewer" refers to sanitary sewers, combined sewers, and storm sewers.)

1. New water and/or sewer tap(s) for all approved/recorded subdivisions.
2. Change of Use and/or increase in water and/or sewer flows for residential development(s), commercial, industrial and institutional developments (i.e. total project sanitary flow is greater than 799 gallons per day).
3. New water and/or sewer tap(s) for all residential, commercial, industrial, and institutional developments.

Information to be submitted by the Applicant:			
Property Owner Name:	BPPD, LLC; AND JULIUS TROIANT AND JACQUELINE TROIANT		
Address of Property:	710 ALLEGHENY AVE (LOTS 27+31 AND 32, BLOCK 7-H)		
Proposed Use of Site:	TACO BELL RESTAURANT WITH DRIVE-THRU		
Closest street intersection to the property:	ALLEGHENY AVE. + RIDGE AVE., ON NORTHWEST CORNER OF THIS INTERSECTION		
Requestor Name:	TODD HUNTINGTON, GPD GROUP	Date of Request:	05/25/11
Requestor Address:	520 S. MAIN ST., STE. 2531, ALKRON, OH 44311		
Requestor Phone Number:	330-572-2207 (THuntington@GPDco.com)		

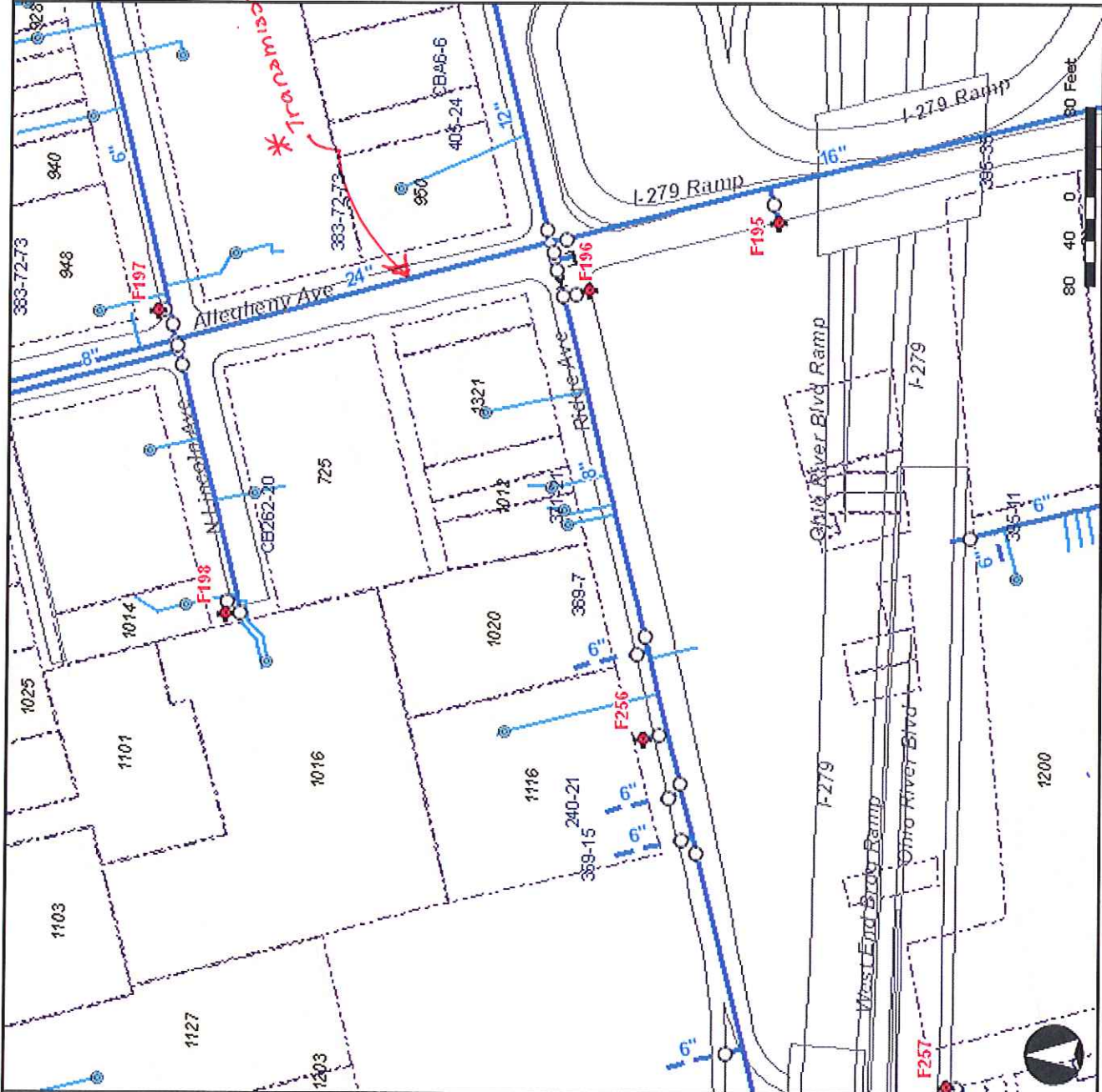
Please submit the completed form to:

Pittsburgh Water and Sewer Authority
Engineering and Construction Division
1200 Penn Avenue
Pittsburgh, PA 15222
Attn: Ms. Michelle Carney (mcarney@pgh2o.com)

PWSA Use Only:	
Water Map No(s).	8" Waterline - Ridge Ave ; 24" Waterline - Allegheny Ave (Transmission only)
Sewer Map No(s).	15" Combo - Allegheny Ave ; 18" Combo - Ridge Ave
PWSA Water Service Available:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
PWSA Sewer Service Available:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Sewer Type(s):	Combination
Applicant must contact separate agency for water service:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Name of separate agency:	N/A
PWSA Approval Authority:	Signature and Date: Michelle E Carney 6-2-2011
	Name (printed): Michelle Carney
	Title: Engineering Tech 2

Disclaimer: The information provided by PWSA does not guarantee capacity of the PWSA-owned water and/or sewer lines to satisfy the needs of the proposed development. The permit application process required by PWSA evaluates the water demand and sewer flows of the development, as provided by the Applicant, and renders a decision on the capacity of the PWSA facilities.

710 Allegheny Ave (Taco Bell)



water ~

transmission air main tap cannot be serviced by water service

Meter

Active

Pump

Hydrant

Active

System Valve

Active Valve

Dividing Pressure Valve

Fitting

Cap

Tee or Cross

Reducer

Coupling

Wash Out

Water Manhole

Water Record Label

Water Main

Water Service Line

Water Storage Facility

Street Name

Street Edge of Pavement

Parcel

Railroad Line

City of Pittsburgh Boundary

Building

Hydro Line

Island

Hydro Area

Copyright
Neither the City of Pittsburgh nor the PW&SA guarantees the accuracy of any of the information hereby made available, including but not limited to information concerning the location and condition of underground structures, and neither assumes any responsibility for any conclusions or interpretations made on the basis of such information. COP and PW&SA assume no responsibility for any understanding or representations made by their agents or employees unless such understanding or representations are expressly set forth in a duly authorized written document, and such document expressly provides that responsibility therefore is assumed by the City or the PW&SA.

1. PROJECT INFORMATION

Project Name: Taco Bell

Date of review: 8/25/2011 11:14:51 AM

Project Category: **Development, New commercial/industrial development (store, gas station, factory)**

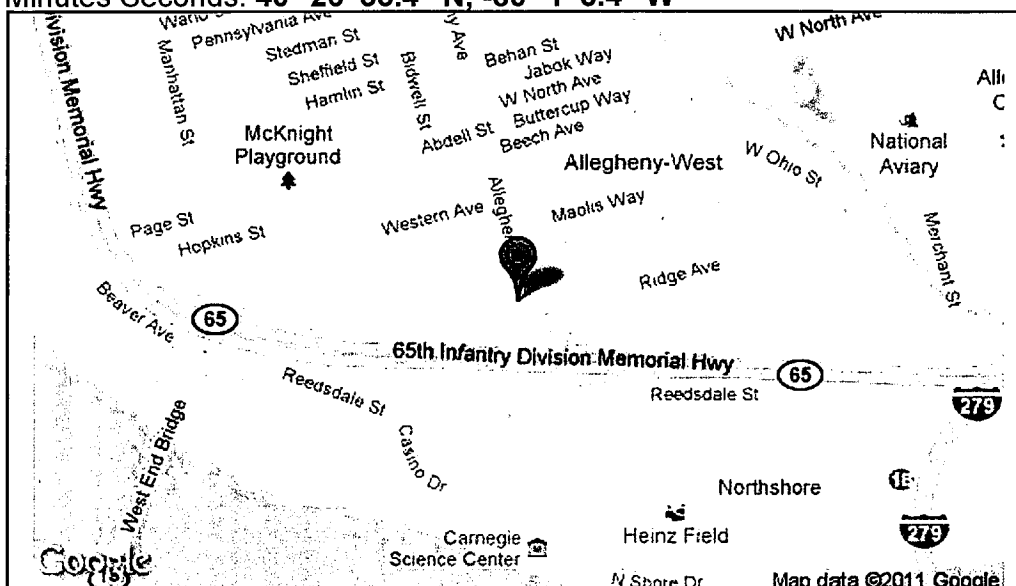
Project Area: **N/A**

County: **Allegheny** Township/Municipality: **Pittsburgh**

Quadrangle Name: **PITTSBURGH WEST** ~ ZIP Code: **15233**

Decimal Degrees: **40.448710 N, -80.017611 W**

Degrees Minutes Seconds: 40° 26' 55.4" N, -80° 1' 3.4" W



2. SEARCH RESULTS

Agency	Results	Response
PA Game Commission	No Known Impact	No Further Review Required
PA Department of Conservation and Natural Resources	No Known Impact	No Further Review Required
PA Fish and Boat Commission	No Known Impact	No Further Review Required
U.S. Fish and Wildlife Service	No Known Impact	No Further Review Required

As summarized above, Pennsylvania Natural Diversity Inventory (PNDI) records indicate no known impacts to threatened and endangered species and/or special concern species and resources within the project area. Therefore, based on the information you provided, no further coordination is required with the jurisdictional agencies. This response does not reflect potential agency concerns regarding impacts to other ecological resources, such as wetlands.

3. AGENCY COMMENTS

Regardless of whether a DEP permit is necessary for this proposed project, any potential impacts to threatened and endangered species and/or special concern species and resources must be resolved with the appropriate jurisdictional agency. In some cases, a permit or authorization from the jurisdictional agency may be needed if adverse impacts to these species and habitats cannot be avoided.

These agency determinations and responses are **valid for one year** (from the date of the review), and are based on the project information that was provided, including the exact project location; the project type, description, and features; and any responses to questions that were generated during this search. If any of the following change: 1) project location, 2) project size or configuration, 3) project type, or 4) responses to the questions that were asked during the online review, the results of this review are not valid, and the review must be searched again via the PNDI Environmental Review Tool and resubmitted to the jurisdictional agencies. The PNDI tool is a primary screening tool, and a desktop review may reveal more or fewer impacts than what is listed on this PNDI receipt. The jurisdictional agencies **strongly advise against** conducting surveys for the species listed on the receipt prior to consultation with the agencies.

PA Game Commission

RESPONSE: No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

PA Department of Conservation and Natural Resources

RESPONSE: No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

PA Fish and Boat Commission

RESPONSE: No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

U.S. Fish and Wildlife Service

RESPONSE: No impacts to federally listed or proposed species are anticipated. Therefore, no further consultation/coordination under the Endangered Species Act (87 Stat. 884, as amended; 16 U.S.C. 1531 *et seq.*) is required. Because no take of federally listed species is anticipated, none is authorized. This response does not reflect potential Fish and Wildlife Service concerns under the Fish and Wildlife Coordination Act or other authorities.

4. DEP INFORMATION

The Pa Department of Environmental Protection (DEP) requires that a signed copy of this receipt, along with any required documentation from jurisdictional agencies concerning resolution of potential impacts, be submitted with applications for permits requiring PNDI review. For cases where a "Potential Impact" to threatened and endangered species has been identified before the application has been submitted to DEP, the application should not be submitted until the impact has been resolved. For cases where "Potential Impact" to special concern species and resources has been identified before the application has been submitted, the application should be submitted to DEP along with the PNDI receipt, a completed PNDI form and a USGS 7.5 minute quadrangle map with the project boundaries delineated on the map. The PNDI Receipt should also be submitted to the appropriate agency according to directions on the PNDI Receipt. DEP and the jurisdictional agency will work together to resolve the potential impact(s). See the DEP PNDI policy at

<http://www.naturalheritage.state.pa.us>.

5. ADDITIONAL INFORMATION

The PNDI environmental review website is a **preliminary** screening tool. There are often delays in updating species status classifications. Because the proposed status represents the best available information regarding the conservation status of the species, state jurisdictional agency staff give the proposed statuses at least the same consideration as the current legal status. If surveys or further information reveal that a threatened and endangered and/or special concern species and resources exist in your project area, contact the appropriate jurisdictional agency/agencies immediately to identify and resolve any impacts.

For a list of species known to occur in the county where your project is located, please see the species lists by county found on the PA Natural Heritage Program (PNHP) home page (www.naturalheritage.state.pa.us). Also note that the PNDI Environmental Review Tool only contains information about species occurrences that have actually been reported to the PNHP.

6. AGENCY CONTACT INFORMATION

PA Department of Conservation and Natural Resources

Bureau of Forestry, Ecological Services Section
400 Market Street, PO Box 8552, Harrisburg, PA.
17105-8552
Fax: (717) 772-0271

U.S. Fish and Wildlife Service

Endangered Species Section
315 South Allen Street, Suite 322, State College, PA.
16801-4851
NO Faxes Please.

PA Fish and Boat Commission

Division of Environmental Services
450 Robinson Lane, Bellefonte, PA. 16823-7437
NO Faxes Please

PA Game Commission

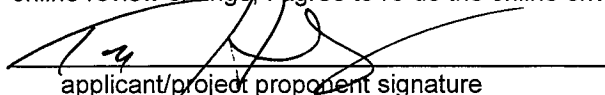
Bureau of Wildlife Habitat Management
Division of Environmental Planning and Habitat Protection
2001 Elmerton Avenue, Harrisburg, PA. 17110-9797
Fax: (717) 787-6957

7. PROJECT CONTACT INFORMATION

Name: TODD HUNTINGTON
Company/Business Name: GLAUS, PYLE, SCHOMER, BURNS + DEHAVEN, INC.
Address: 520 S. MAIN ST., STE. 2531
City, State, Zip: AKRON, OH 44311
Phone: (330) 572-2207 Fax: (330) 572-2101
Email: THUNTINGTON@GPCO.COM

8. CERTIFICATION

I certify that ALL of the project information contained in this receipt (including project location, project size/configuration, project type, answers to questions) is true, accurate and complete. In addition, if the project type, location, size or configuration changes, or if the answers to any questions that were asked during this online review change, I agree to re-do the online environmental review.


applicant/project proponent signature

08/25/11
date

Completeness Checklist

The individual completing the component should use the checklist below to assure that all items are included in the module package. The municipality should confirm that the required items have been included within 10 days of receipt, and if complete, sign and date the checklist.

Sewage Collection and Treatment Facilities

- ☒ Name and Address of land development project.
- ☒ U.S.G.S. 7.5 minute topographic map with development area plotted.
- ☒ Project Narrative.
- ☒ Letter from water company (if applicable).
- ☒ Alternative Analysis Narrative.
- ☐ Details of chosen financial assurance method.
- ☐ Proof of Public Notification (if applicable).
- ☒ Name of existing collection and conveyance facilities.
- ☒ Name and NPDES number of existing treatment facility to serve proposed development.
- ☒ Plot plan of project with required information.
- ☐ Total sewage flows to facilities table.
- ☐ Signature of existing collection and/or conveyance Chapter 94 report preparer.
- ☐ Signature of existing treatment facility Chapter 94 report preparer.
- ☐ Letter granting allocation to project (if applicable).
- ☒ Signature acknowledging False Swearing Statement.
- ☐ Completed Component 4 (Planning Agency Review) for each existing planning agency and health department.
- ☐ Information on selected treatment and disposal option.
- ☐ Permeability information (if applicable).
- ☐ Preliminary hydrogeology (if applicable).
- ☐ Detailed hydrogeology (if applicable).

Municipal Action

- ☐ Component 3 (Sewage Collection and Treatment Facilities).
- ☐ Component 4 (Planning Agency Comments and Responses).
- ☐ Proof of Public Notification.
- ☐ Long-term operation and maintenance option selection.
- ☐ Comments, and responses to comments generated by public notification.
- ☐ Transmittal Letter

Signature of Municipal Official

Date submittal determined complete

Taco Bell

Project Narrative

The Proposed Site Located at 705 Allegheny Avenue
on the Northwest Corner of the Allegheny Avenue
& Ridge Avenue intersection in Pittsburgh, PA.
DEP CODE #02001-11-031

Prepared For:
DEP

Prepared By:
Glaus, Pyle, Schomer,
Burns & DeHaven, Inc.
520 S. Main Street
Suite 2531
Akron, Ohio 44311
P: 330-572-2100
F:330-572-2101

Development: Taco Bell – 705 Allegheny Ave., Pittsburgh, PA

Applicant: GPD Group ~ Todd Huntington, P.E. (Project Engineer/Owner Rep.)

Project Narrative:

This project is a Commercial development of a Taco Bell building. The Taco Bell will be developed and operated by Aarsand Management, a franchisee of Taco Bell. Taco Bell, as lessee of the subject 0.4536 Acre Parcel located on the NW corner of the Allegheny Ave. and Ridge Ave. intersection, proposes to construct a single story, 2,593 SF Taco Bell Restaurant with drive-through. The site is currently owned by BPPD, LLC. This site was previously operated as a BP Gas Station, however, the building is now vacant. The site is currently leased to the local community college as overflow parking. The gas station islands and canopy have been demolished, but the building still remains, although is non-operational.

The Taco Bell restaurant with Drive-Thru, after construction completion and opening, will operate seven (7) days a week; Monday through Sunday, and will tentatively operate during the hours of 10AM to 3AM. The hours of operation will be established by the Taco Bell franchisee prior to opening.

Survey evidence shows that the site is serviced by PWSA water mains and combined sanitary and storm sewers, and this was verified by the Water and Sewer Availability form which was acknowledged by PWSA. The existing water service connection will be terminated with this proposal, as well as the existing sanitary

lateral. The intent is to install a new sanitary sewer lateral onto Allegheny Avenue, and discharge into an 8" main that was installed by Wendy's, and dedicated to the City (PWSA). The 8" main runs north and south within Allegheny Avenue, and then discharges to a 15" main that runs east and west within Ridge Avenue. The flow path is west along Ridge Avenue.

The following sanitary flow calculations were estimated using the PWSA Procedures Manual for Developers, chapter 1. provided below:

Calculated Flows:

Sanitary Flows (based on Public Fixture Method + HVAC condensate):

Note: Employees use the same restrooms as the public, so no additional flow is added for employee usage. HVAC condensate which drains to the mop sink from both RTU's has been added to the 2,000 gallons of water usage to reach the total sanitary flow from this building.

$$\emptyset \text{ Public Toilet} = 400 \text{ gpd} \times (3) \text{ toilets} = 1200 \text{ gpd}$$

$$\emptyset \text{ Sinks} = 200 \text{ gpd} \times (2) \text{ sinks} = 400 \text{ gpd}$$

$$\emptyset \text{ Urinals} = 200 \text{ gpd} \times (1) \text{ urinal} = 200 \text{ gpd}$$

$$\emptyset \text{ Mop Sink} = 200 \text{ gpd} \times (1) \text{ mop sink} = 200 \text{ gpd}$$

$$\emptyset \text{ Condensate from RTU's} = 50 \text{ gpd}$$

$$\emptyset \text{ Total Sanitary Flow} = \underline{2050 \text{ gpd}}$$

Total Sanitary Flow = 2050 gallons per day

(Condensate Calculations have been provided as a supplement to the 50 gpd shown above. Calculations include condensate between the months of March to October when the RTU's are in use. To be conservative, the largest condensate gpd figure of 50 gpd (49.56) has been utilized to contribute to the sanitary flow.)

Per DEP flow calculations, the EDU equivalent is $400 \text{ GPD} = 1 \text{ EDU}$. Therefore, the number of EDU's is equal to 5.

There are no adjacent properties under the same ownership, and also no previous ACT 537 planning completed for this site.

Taco Bell

Alternatives Analysis

The Proposed Site Located at 705 Allegheny Avenue
on the Northwest Corner of the Allegheny Avenue
& Ridge Avenue intersection in Pittsburgh, PA.
DEP CODE #02001-11-031

Prepared For:
DEP

Prepared By:
Glaus, Pyle, Schomer,
Burns & DeHaven, Inc.
520 S. Main Street
Suite 2531
Akron, Ohio 44311
P: 330-572-2100
F:330-572-2101

Development: Taco Bell – 705 Allegheny Ave., Pittsburgh, PA

Applicant: GPD Group ~ Todd Huntington, P.E. (Project Engineer/Owner Rep.)

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The chosen disposal method is a discharge by way of a sewer lateral to the PWSA collection system. The Taco Bell lateral will discharge to the PWSA 8" main within Allegheny Avenue, which runs north and south. The 8" main then discharges to an existing 15" within Ridge Avenue, that drains west. The proposed flow from the Taco Bell is 2050 GPD. This is an ultimate method which will serve the development in the long term, for more than 5 years. No increase in flows are anticipated or planned.

The adjacent properties to the Taco Bell are all discharging to the PWSA collection system by way of a sewer lateral. The properties to the north and east are Commercial in nature, the property to the west is residential, and the property to the south is a vacant parking lot with no sewer connections. All adjacent properties are zoned UNC. Taco Bell has no knowledge of any change to these uses.

There is no knowledge of a need for improvements to these systems due to noncompliance with effluent limitations.

Per conversations with PWSA, there is a plan in the future to separate the existing combined sewers within Ridge Avenue. This is the reason Taco Bell is discharging to the main in Allegheny Avenue which is only sanitary. No other plans for improvements are known to the municipal sewer system.

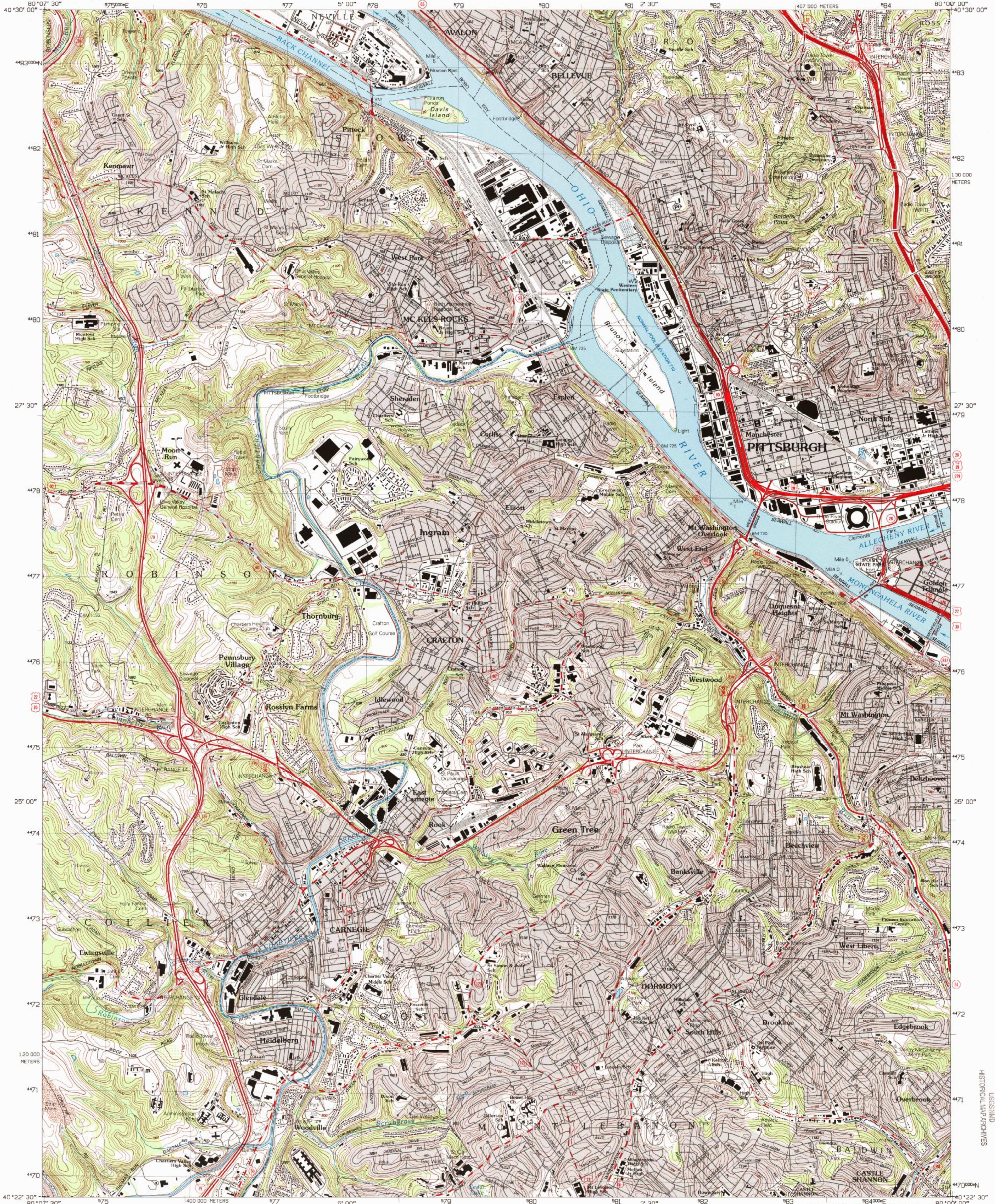
There are no alternative sewage methods available to this site. This site was a gas station that at one time discharged to the same sewer system. The Taco Bell will discharge to the same sewer system, under the jurisdiction of PWSA. Other than the increase in flow, the sewage method will remain unchanged. In addition to the above, this site is only 0.45 acres, and does not have sufficient space to implement an alternative method. The most cost effective and practical means of disposal is discharging to the collection sewer.



U.S. DEPARTMENT OF THE INTERIOR
U.S. GEOLOGICAL SURVEY

COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES
BUREAU OF TOPOGRAPHIC AND GEOLOGIC SURVEY

PITTSBURGH WEST QUADRANGLE
PENNSYLVANIA-ALLEGHENY CO.
7.5 MINUTE SERIES (TOPOGRAPHIC)



Produced by the United States Geological Survey
in cooperation with Pennsylvania Department of Conservation and
Natural Resources, Bureau of Topographic and Geologic Survey

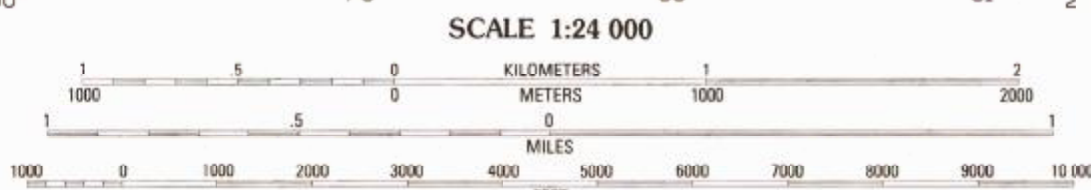
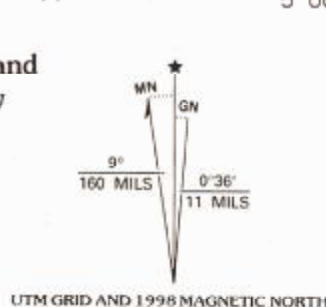
Derived from imagery taken 1991 and other sources. Photoinspected
using imagery taken 1997; no major culture or drainage changes
observed. Survey control current as of 1992.

Boundaries, other than corporate, revised 1998

North American Datum of 1983 (NAD 83). Projection and
1000-meter grid. Universal Transverse Mercator, zone 17
2 500-meter ticks: Pennsylvania Coordinate System of 1983, south zone

North American Datum of 1927 (NAD 27) is shown by dashed
corner ticks. The values of the shift between NAD 83 and NAD 27
for 7.5-minute intersections are obtainable from National Geodetic
Survey NADCON software

There may be private inholdings within the boundaries of
the National or State reservations shown on this map



SCALE 1:24 000
CONTOUR INTERVAL 20 FEET
NATIONAL GEODETIC VERTICAL DATUM OF 1929
TO CONVERT FROM FEET TO METERS, MULTIPLY BY 0.3048
THIS MAP COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS
FOR SALE BY U.S. GEOLOGICAL SURVEY, P.O. BOX 25286, DENVER, COLORADO 80225
A FOLDER DESCRIBING TOPOGRAPHIC MAPS AND SYMBOLS IS AVAILABLE ON REQUEST



1	2	3	4	5	6	7	8
1	2	3	4	5	6	7	8
Ambridge	Emmetsburg	Glenshaw	Oakdale	Pittsburgh East	Canonsburg	Bridgeville	Glassport

ROAD CLASSIFICATION
Primary highway, hard surface Light-duty road, hard or improved surface
Secondary highway, hard surface Unimproved road
Interstate Route U.S. Route State Route

PITTSBURGH WEST, PA.

1997

NIMA 4964 1 NE-SERIES V831

RECEIVED
JAN 31 1999
HISTORICAL MAP ARCHIVES
USGS/MAD
7-9156-09-0 N831
17619698-009876

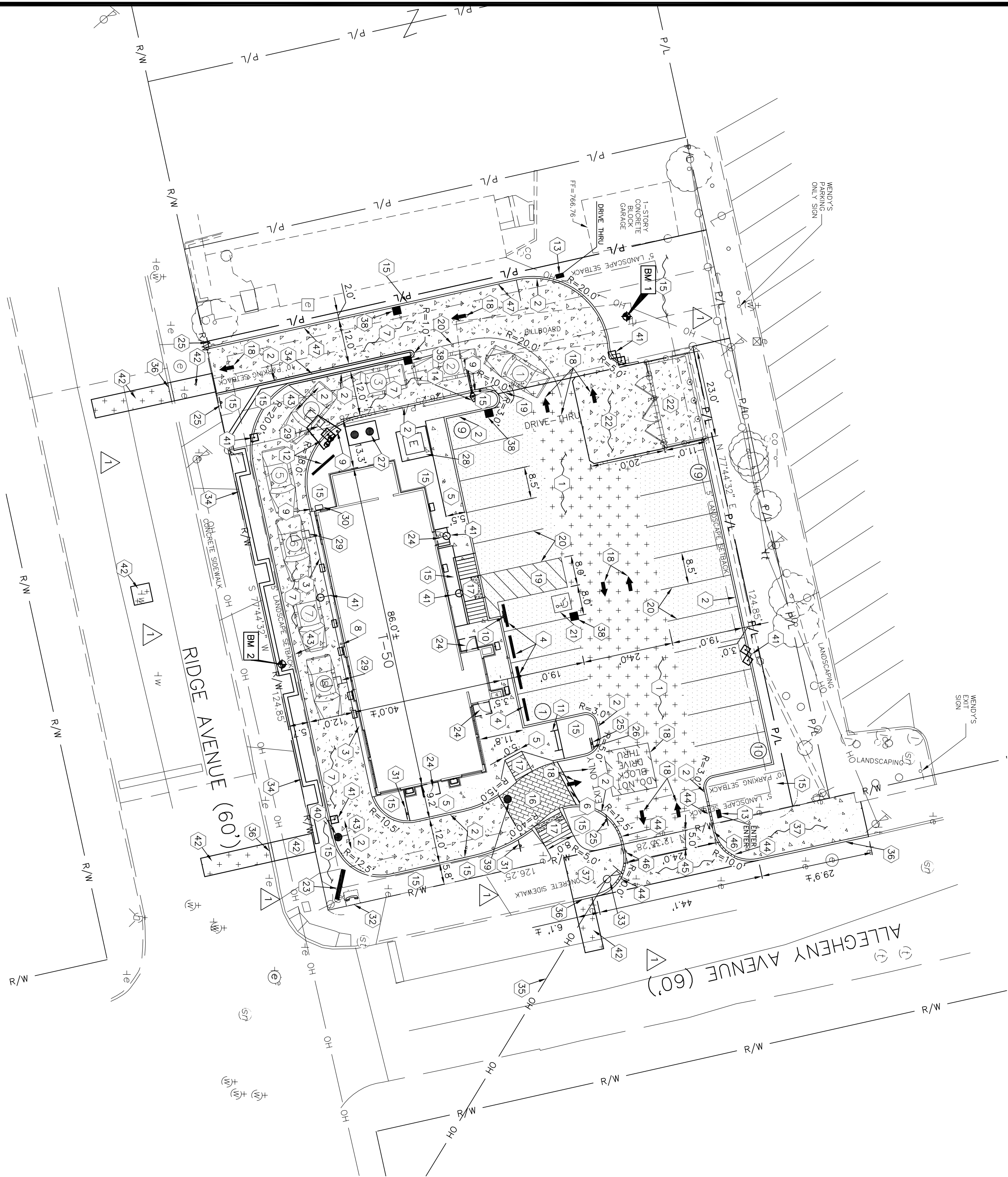
CONSTRUCTION NOTES

1) PROPOSED ASPHALT PAVEMENT AS SPECIFIED:

NOTE: SOILS REPORT GOVERNS IF ANY DISCREPANCIES OCCUR.

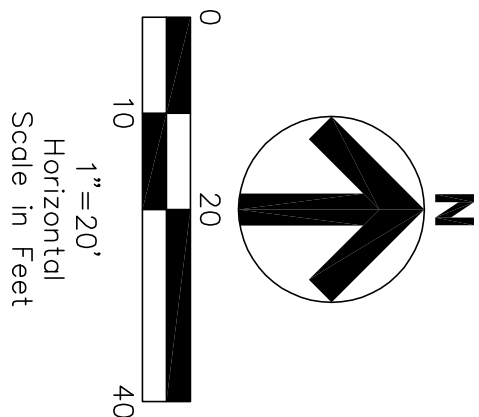
MATERIAL	DEPTH (HVV, DUTY)	DEPTH (STD, DUTY)	FENNODOT SPECIFICATIONS ITEM
A.C. SURFACE COURSE	1.5"	1.5"	PADOT ID-2
A.C. INTERMEDIATE COURSE	4.5"	2"	PADOT ID-2
AGG. BASE COURSE	6"	6"	PADOT 2A MODIFIED STONE
SUBGRADE COMPACTION	PER SOILS REPORT	PER SOILS REPORT	

- PROPOSED 1" CONCRETE PAVEMENT BAND AT INTERFACE WITH ASPHALT PAVEMENT AND STAMPED CONCRETE. CONCRETE SECTION SHALL MATCH KEYNOTE 7; THIS SHEET.
- PROPOSED 6" P.C.C. PAVEMENT W/ M.W.F. 6" x 6" W23 x W23 (CONTROL JTS. 12'-0" O.C.) OVER 6" CONCRETE. CONCRETE OR GRAVEL BASE. APPLY LIQUID ASPHALT AT ALL JOINTS BETWEEN CONCRETE AND ASPHALT.
- PROPOSED BOLLARD IN CURB PER DETAIL 8, SHEET C-501.
- PROPOSED BOLLARD PER DETAIL 9, SHEET C-501.
- PROPOSED ADA PARKING SIGN PER DETAIL 10, SHEET C-501.
- PROPOSED BIKE RACK, DERO CAMPUS RACK S3-D11-3 AS MANUFACTURED BY DERO BIKE RACKS, POWER COATED, COLOR BY OWNER, OR APPROVED EQUAL.
- PROPOSED MENU BOARD, AND ORDER CONFIRMATION BOARD PER SIGN SUPPLIER SPECIFICATIONS AND DETAILS. SHEET C-504. SIGN SUPPLIER TO PROVIDE A TEMPLATE FOR G.C. TO COORDINATE A PLACEMENT OF MENU BOARD AND ORDER CONFIRMATION BOARD PRIOR TO ANY CONSTRUCTION. SIGN SUPPLIER SHALL PROVIDE G.C. WITH FOUNDATION DETAILS. G.C. IS RESPONSIBLE FOR SIGN FOUNDATIONS AND ELECTRICAL.
- PROPOSED DIRECTIONAL SIGN PER SIGN SUPPLIER SPECIFICATIONS. G.C. SHALL LAYOUT FOUNDATION PER SIGN SUPPLIER DESIGN. SIGN FACES AS NOTED ON THIS SHEET. SEE DETAIL 16, SHEET C-504 FOR FOUNDATION.
- PROPOSED EVOLUTION PORTAL CLEARANCE BAR PER DETAIL 14, SHEET C-501, AND DETAILS 10 & 12 SHEET C-504.
- PROPOSED LANDSCAPING AREA. SOD ALL DISTURBED AREAS EXCEPT WHERE PLANTING BEDS ARE INDICATED. SEE DETAIL 11, SHEET C-501.
- PROPOSED STAMPED CONCRETE SHALL BE "NEW BRICK RUNNING BOND" PATTERN. COLOR HARDENER: BRICK RED A-26 APPLIED AT 60 LBS PER 100 SF. COLOR RELEASE: SLATE GRAY APPLIED AT 3-4 LBS PER 100 SF. AVAILABLE FROM THE L.M. SCOFIELD COMPANY. 1-800-800-9900. CONCRETE SECTION SHALL MATCH KEYNOTE 7; THIS SHEET.
- PROPOSED ADA ACCESSIBLE RAMP PER ADA SPECIFICATIONS AND DETAIL 2, SHEET C-502.
- PROPOSED DIRECTIONAL PAVEMENT MARKINGS - WHITE ON ASPHALT, YELLOW ON CONCRETE - PER DETAIL 4, SHEET C-502.
- PROPOSED PAINTED 4" WIDE SOLID STRIPE - WHITE ON ASPHALT, YELLOW ON CONCRETE.
- PROPOSED PAINTED INTERNATIONAL ADA SYMBOL PER ADA SPECIFICATIONS AND DETAIL 4, SHEET C-502. PER DETAIL 12, SHEET C-502. APPLY LIQUID ASPHALT AT ALL JOINTS BETWEEN CONCRETE AND ASPHALT.
- PROPOSED 26'-0" O.A.H., 93 S.F. POLE SIGN PER SIGN SUPPLIER SPECIFICATIONS.
- PROPOSED FROST SLAB AT DOOR. SEE STRUCTURAL DRAWINGS.
- PROPOSED "DO NOT ENTER" SIGN, PER DETAIL 11, SHEET C-501.
- PROPOSED "STOP" SIGN, PER DETAIL 11, SHEET C-501.
- PROPOSED 1,000 GALLON EXTERIOR GREASE INTERCEPTOR PER DETAIL 4, SHEET C-503.
- PROPOSED ELECTRICAL TRANSFORMER PER ELECTRICAL COMPANY SPECIFICATIONS. G.C. TO VERIFY EXACT LOCATION AND SIZE WITH UTILITY ENGINEER.
- PROPOSED SENSOR LOOP. SEE ELECTRICAL DRAWINGS FOR DETAILS.
- PROPOSED GAS METER PER GAS COMPANY SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATION.
- PROPOSED "YIELD TO PEDESTRIANS IN CROSSWALK" SIGN, PER DETAIL 11, SHEET C-501.
- RELOCATED UTILITY POLE. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY.
- RELOCATED RETAINING WALL. SEE DETAIL SHEET C-505.
- RELOCATED OVERHEAD ELECTRIC. COORDINATE RELOCATION WITH UTILITY PROVIDERS.
- PROPOSED CURB PER CITY OF PITTSBURGH STANDARDS.
- PROPOSED CATCH BASIN. SEE SHEET C-141.
- PROPOSED MANHOLE. SEE SHEET C-141.
- PROPOSED STORMSECTOR. SEE SHEET C-141.
- PROPOSED SITE LIGHTING. SEE DETAIL 16, SHEET C-501 AND PHOTOMETRIC PLAN.
- PROPOSED PAVEMENT REPLACEMENT PER CITY OF PITTSBURGH STANDARDS. SEE DETAIL 2, SHEET C-506.
- PROPOSED CURB AT WALL. SEE DETAIL 12, SHEET C-501.
- PROPOSED CURB TAPER PER DETAIL 8, SHEET C-502.
- PROPOSED CITY OF PITTSBURGH STANDARDS DRIVE APRON. SEE DETAIL SHEET C-506.
- 5 SECTION OF CURB FLUSH WITH WALK AND DRIVE APRON.
- PROPOSED FREESTANDING CURB. SEE DETAIL 12, SHEET C-503.



LEGEND
(SEE SHEET C-001 FOR GENERAL LEGEND)

- PROPOSED STANDARD DUTY ASPHALT
- PROPOSED HEAVY DUTY ASPHALT
- CONSTRUCTION NOTE
- PROPOSED PARKING SPACE NUMBER
- PROPOSED DRIVE THRU SIGN, CAR AND NUMBER



BUILDING SETBACKS

	REQUIRED	PROVIDED
FRONT: ALLEGHENY	0'	24.7'
REAR: WEST	20'	41.3'
SIDE: RIDGE	0'	18.9'
SIDE: NORTH	0'	68.5'

PARKING SETBACKS

	REQUIRED	PROVIDED
FRONT: ALLEGHENY	10'	12.1'
REAR: WEST	0'	2.5'
SIDE: RIDGE	0'	5.2'
SIDE: NORTH	0'	2.5'

LANDSCAPE SETBACKS

	REQUIRED	PROVIDED
FRONT: ALLEGHENY	5'	3.5'
REAR: WEST	5'	5'
SIDE: RIDGE	5'	5.2'
SIDE: NORTH	5'	2.5'

PARKING SPACES

	REQUIRED	PROVIDED
NUMBER OF SPACES	11	19
PARKING REQUIREMENTS		
1 SPACE PER 75 S.F. DINING/CUSTOMER SERVICE AREA, DINING/CUSTOMER SERVICE AREA = 786 S.F. = 50 786 / 75 = 11 SPACES REQUIRED.		

LAND USE DATA

	PERCENTAGE OF SITE AREA PROVIDED	AREA
BUILDING	13%	0.06 AC.
PAVEMENT/INTERIORS	67%	0.30 AC.
LANDSCAPING	20%	0.09 AC.
TOTAL	100%	0.45 AC.

CURRENT ZONING: UMC-URBAN NEIGHBORHOOD COMMERCIAL DISTRICT



1-800-242-1776

CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN STAGE - STOP CALL
Pennsylvania One Call System, Inc.

BENCHMARKS:
THE COORDINATES SHOWN ARE BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (3702), MD83 (CONRS96 ADJUSTMENT), NAD88, GZD0093.
BENCHMARK #1 - CHISELED SQUARE ON SOUTHWEST CORNER OF BILLBOARD FOUNDATION.
ELEVATION=768.01
BENCHMARK #2 - SOUTHWEST BOLT ON PRIVATE SIGN FOUNDATION.
ELEVATION=765.88



GPD GROUP
Glas, Pys, Schone, Burns & Delaney, Inc.
520 South Main Street, Suite 2531
Akron, Ohio 44311
330-572-2100 Fax 330-572-2101

CONTRACT DATE: 12.14.10
BUILDING TYPE: T-50
PLAN VERSION: Aug09-H
SITE NUMBER: 2011088.07

T-50

705 Allegheny Ave.
Pittsburgh, PA

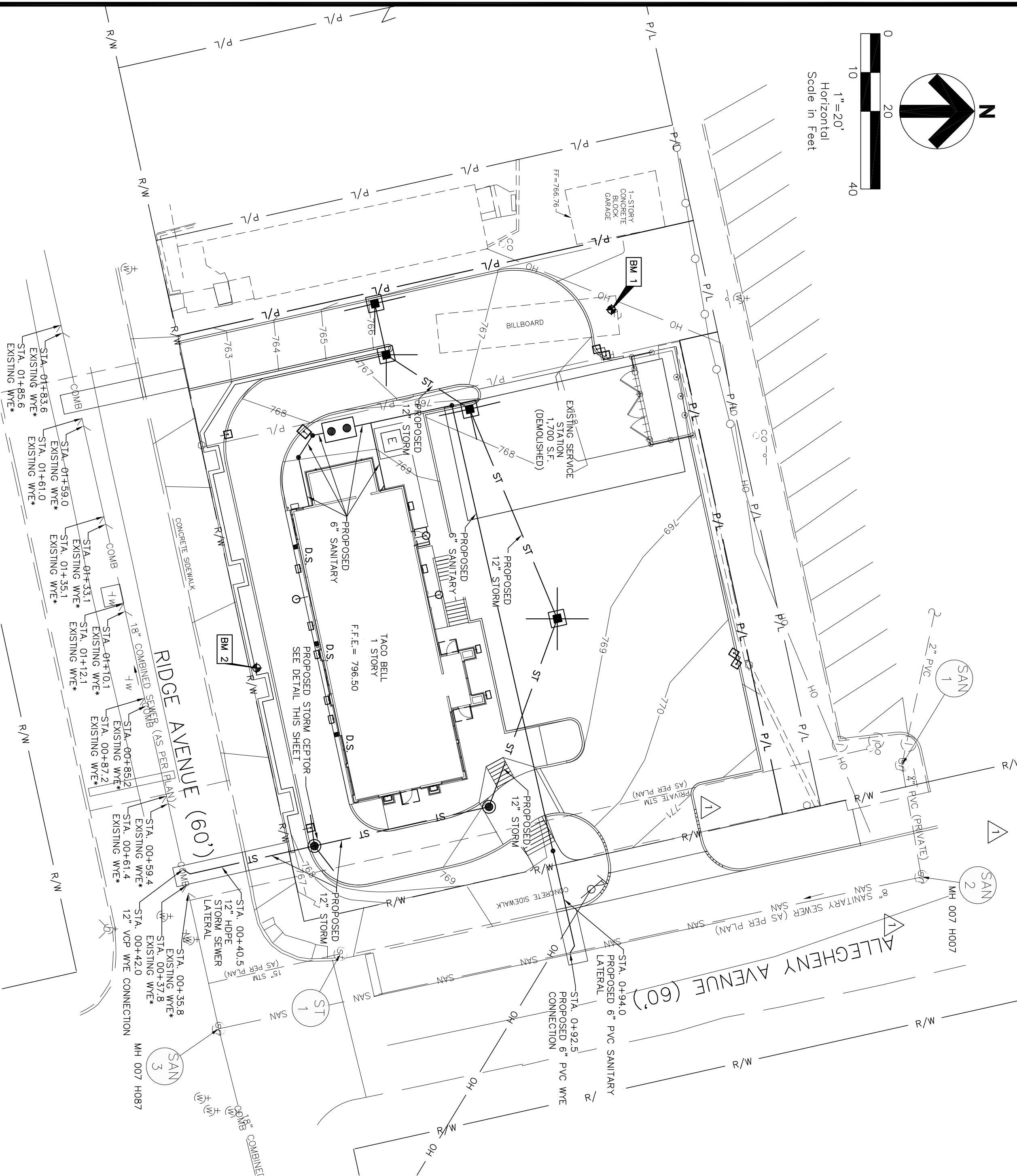
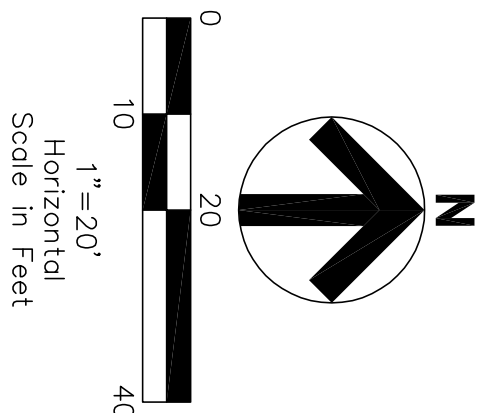


T-50

SITE PLAN

C-1111

PLOT DATE:



LEGEND
(SEE SHEET C-001 FOR GENERAL LEGEND)

- COMB— EXISTING COMBINED SEWER
- SAN— EXISTING SANITARY SEWER
- ST— PROPOSED STORM SEWER
- SAN— PROPOSED SANITARY SEWER

THIS SITE IS IN A ZONE X, AS INDICATED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S NATIONAL FLOOD INSURANCE PROGRAM PANEL NO. 42003C0334 F, EFFECTIVE DATE OF JULY 5, 2000.

*EXISTING WYE LOCATIONS ARE BASED ON PWMA PLAN DX314.

STATIONING

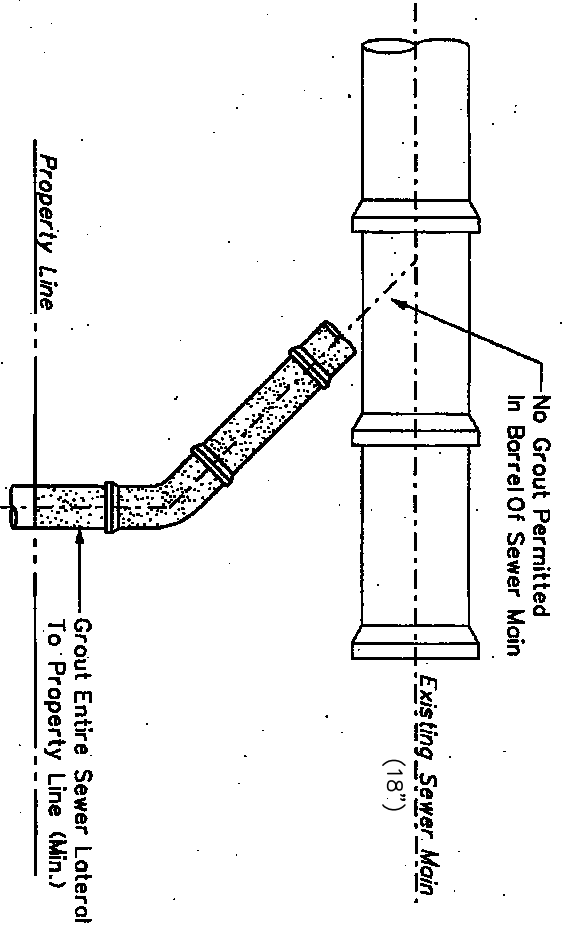
COMBINED SANITARY MANHOLE SAN3, AT THE INTERSECTION OF ALLEGHENY AVENUE AND RIDGE AVENUE USED AS DATUM FOR COMBINED SEWER STATIONING.

BENCHMARKS:

THE COORDINATES SHOWN ARE BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (3702), NAD83 (CORS96 ADJUSTMENT), NAD08, GSD009.

BENCHMARK #1 – CHISELED SQUARE ON SOUTHWEST CORNER OF BILLBOARD FOUNDATION.
ELEVATION=768.01

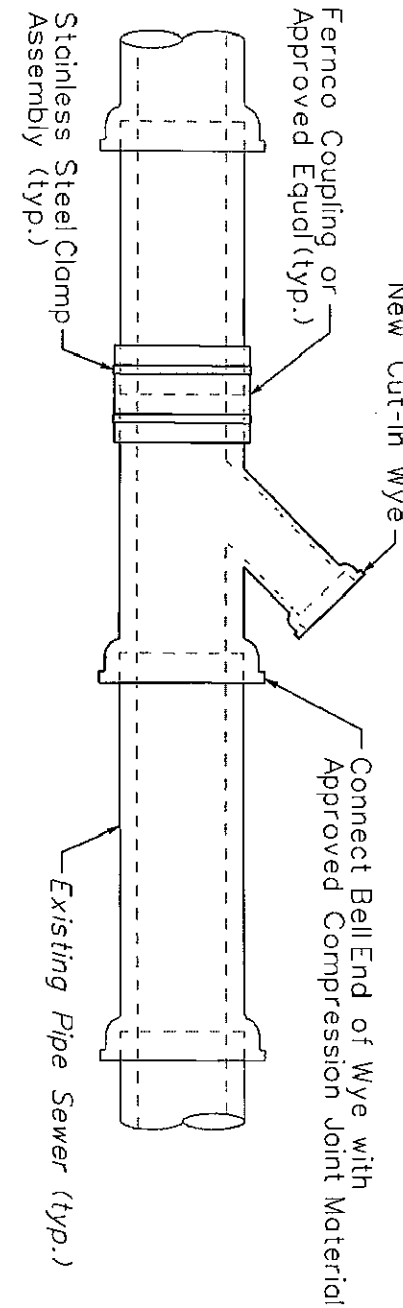
BENCHMARK #2 – SOUTHWEST BOLT ON PRIVATE SIGN FOUNDATION.
ELEVATION=765.88



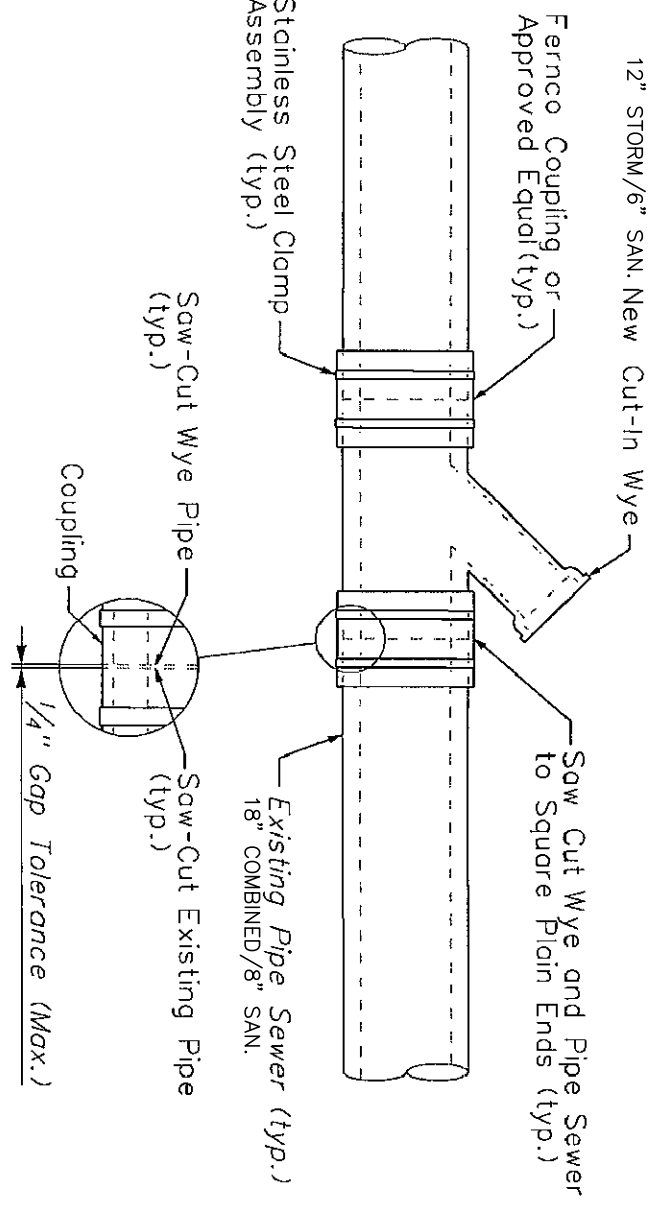
PWSA TERMINATION DETAIL SLT1
FOR EXISTING SANITARY SEWER
(NOT TO SCALE)

NOTE:
CONTRACTOR SHALL WIRE THE EXISTING SEWER LATERAL, STARTING AT THE EXISTING BUILDING AND CONTINUING TO THE SEWER MAIN. CONTRACTOR SHALL REPORT THE LOCATION OF WHERE THE LATERAL CONNECTS TO THE MAIN TO PWMA. OTHER LOCATIONS SHALL BE RANDOM THE LATERAL AT THE MAIN PER PWMA DETAIL SLT1.

ALT. No.2



ALT. No.1



NOTES:

1. SAW-CUT EXISTING PIPE SEWER NO BREAK-IN OR HAMMER CONNECTIONS PERMITTED. JOINTS MUST BE INSPECTED BY PWMA BEFORE AND AFTER FLEXIBUS COUPLINGS ARE INSTALLED.
2. WYE MATERIAL WILL MATCH SEWER MAIN MATERIAL.
3. PIPE MAIN I.D. OF NEW WYE SECTION WILL MATCH I.D. OF EXISTING PIPE SEWER MAIN.
4. WYE LOCATION WILL BE LOCATED AT 2 O'CLOCK OR 10 O'CLOCK ON BARREL OF PIPE SEWER.

REVISIONS

1.	JKL	8-14-06	
2.	PMC	7-25-06	

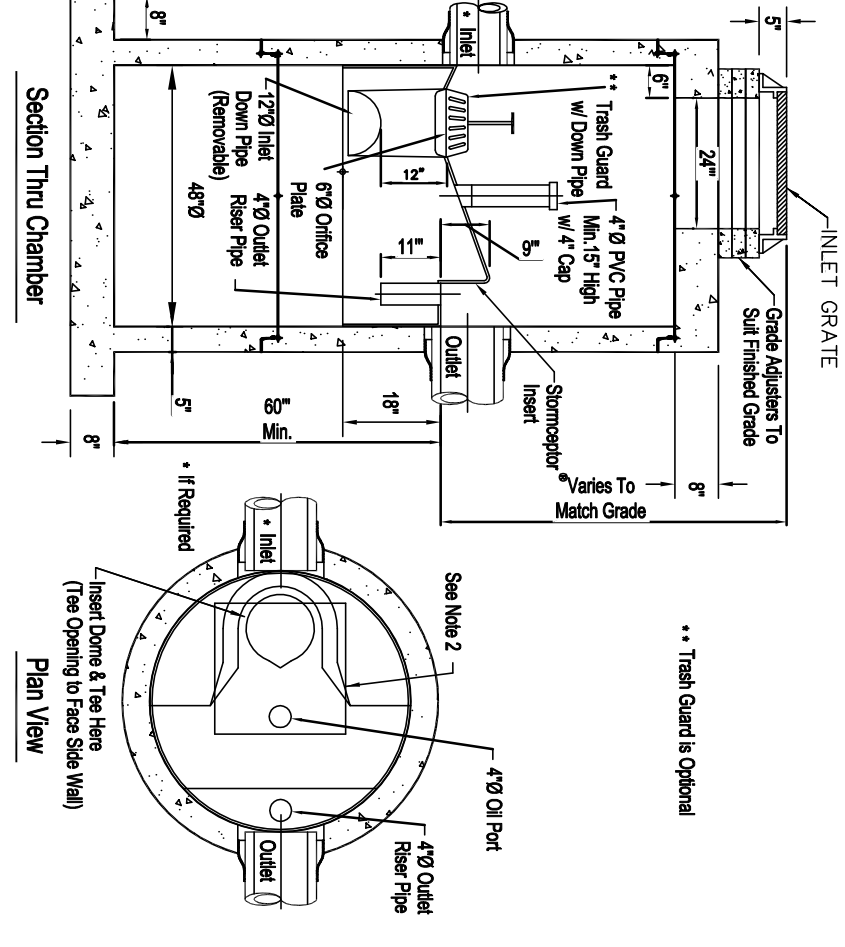
Approved by: _____

PWSA
Pittsburgh Water and Sewer Authority
Detail of Cut-In Wye Pipe Transition
Scale: N.T.S.
Sheet 7 of 7

Supplemental Detail Drawing: **ST-7**

PWSA DETAIL ST-7
(NOT TO SCALE)

STC 450 Precast Concrete Stormceptor*
(450 U.S. Gallon Capacity)



- Notes:
1. The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
 2. The Cover Should Be Installed Over The Inlet Drop Pipe and The Oil Port.
 3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4855146, #4863351, #6725700, #7535715, #5948781, #6088705, #6377180.
 4. Contact A Concrete Pipe Division Representative for Further details on based on this drawing.

STORM CEPTOR DETAIL(PRIVATE)
(NOT TO SCALE)

WATER AND SEWER FLOW DATA	
WATER CONSUMPTION	2000 GPD
SANITARY FLOW	2050 GPD
STORM FLOW	2.25 CFS
APPLICATION NUMBER (ASSIGNED BY PWMA)	
DEP APPROVAL DATE (ASSIGNED BY PWMA)	

PITTSBURGH WATER AND SEWER AUTHORITY

*APPROVAL FOR:

NEW WATER TAP, BACKFLOW PREVENTOR AND METER INSTALLATION	
NEW SANITARY AND/OR STORM SEWER TAP	X
INCREASE IN FLOW AT EXISTING SEWER AND/OR WATER CONNECTION	X
SEWER TAP TERMINATION	X
WATER TAP TERMINATION	

*DISCLAIMER

SIGNATURE(S) TO THE WATER AND/OR SEWER SYSTEM ONLY.

RESPONSIBILITY FOR THE DESIGN AND WORK DEPICTED BY THE DRAWINGS, INCLUDING THE FLOW DESIGN FOR THE FACILITIES, IS BY THE PROFESSIONAL ENGINEER SHOWN BY THE SEAL AND SIGNATURE AFFIXED TO THE DRAWING. THE PWMA DOES NOT REPRESENT OR WARRANT THAT THE WATER SUPPLY IS SUFFICIENT TO SUPPORT THE DESIGN.

PROJECT COORDINATOR/PROJECT MANAGEMENT ENGINEER

APPROVAL

DATE

SEWER/SERVICE MANAGER

DIRECTOR OF OPERATIONS

DIRECTOR OF ENGINEERING AND CONSTRUCTION

YUM! BRANDS, INC. TACO BELL

705 ALLEGHENY AVENUE

PITTSBURGH, PA 15212

SCALE: 1"=20'

DATE: 06/02/11

SHEET: _____

ACCESSION NO. C- _____

CASE NO. _____