

**PROJECT NARRATIVE
AUDITORIUM CONDOS
154 S 15TH STREET
17TH WARD, CITY OF PITTSBURGH
ALLEGHENY COUNTY, PENNSYLVANIA**

**Prepared for:
HHF 2 LLC
941 PENNY AVE, APT 601
PITTSBURGH, PA 15222**

***Prepared by:*
KU RESOURCES, INC.
22 SOUTH LINDEN STREET
DUQUESNE, PENNSYLVANIA 15110**

DECEMBER 2021

DESCRIPTION OF PROPOSED DEVELOPMENT

HHF LLC, is developing a lot at parcel number 3-M-136 located in the 17th Ward of the City of Pittsburgh, Allegheny County, Pennsylvania. The proposed development will include renovations of the existing building at 154 S 15th Street. The building is the former St. Adalbert Auditorium adjoining the church and will be renovated into 14 condominiums.

Site is the former St. Adalbert Auditorium, which was closed years ago but is sometimes used as a bingo hall. According to the Federal Emergency Management Agency, the site is not within a floodway. The existing utilities include an 8-inch water line along 15th Street and 18" combination line in 15th Street.

EXISTING SANITARY FLOWS

The site is the former St. Adalbert Auditorium, which was closed years ago but is sometimes used as a bingo hall for the church. Using previous water bills, credit flows are being proposed. Water bills (Attachment L) dating back to 2017 have been used to calculate a daily average.

Total gallons used = 109,000 gallons

Period = 45 months

Monthly Average = 109,000 gallons / 45 months = 2,422 gallons per month

Daily average = 2,422 / 30 = 80.75 gpd

Applying a peaking factor of 2.5; Daily Average = 80.75 gpd x 2.5 = **202 gpd**

PROPOSED SANITARY DESIGN

PA DEP Code Chapter 73.17 indicates that for single-family residential townhomes the effluent sanitary flows are 400 gallons per day per unit.

Effluent will ultimately be sent to the Allegheny County Sanitation Authority (ALCOSAN). See the attached Pittsburgh Water and Sewer Authority (PWSA) Sewer System map with the route to ALCOSAN highlighted.

PLANNING MODULE CALCULATIONS

Total Sanitary: 5,600 GPD

Condominiums:

14 units @ 400 GPD each = 5,600 GPD

TOTAL = 5,600 GPD

5,600 GPD / 400 GPD/EDU = 14 EDUs

Net flows = Proposed Flows – Existing flows = 5,600 gpd – 202 gpd = **5,398 gpd = 13.5 EDU's**

Total Water: 5,600 GPD

Condominiums:

14 units @ 400 GPD each = 5,600 GPD

TOTAL = 5,600 GPD

5,600 GPD / 400 GPD/EDU = 14 EDUs

Net flows = Proposed Flows – Existing flows = 5,600 gpd – 202 gpd = **5,398 gpd = 13.5 EDU's**

STORMWATER CONVEYANCE

Stormwater management is not needed at this site as 5,000 sf on new impervious surface nor 10,000 sf of land disturbance is proposed. Stormwater will be routed via roof leader connections and tied into the existing sanitary lateral within 5' of the existing combined sewer.

Pre-development Storm Flows:

$Q = CIA = 0.7(3.89)(0.37) = 1.01 \text{ cfs}$

Post-development Storm Flows:

$Q = CIA = 0.7(3.89)(0.37) = 1.01 \text{ cfs}$

ALTERNATIVE SEWAGE FACILITIES ANALYSIS

1. Describe the chosen disposal method, its location, the daily flow proposed and if the method is an interim method (to be replaced by the ultimate method in 5 years or less), or is an ultimate method (to serve the development in the long term, for 5 years or more). Provide a description of how the chosen method will provide compliance with effluent limitations. Also provide the number of lots or EDU's that will be served.

ALCOSAN Treatment Facility. Credit for previous flows have not been considered, therefore there are 14 new EDUs.

2. Describe the types of land uses adjacent to the project area (Agricultural, Residential, Commercial etc.) and the type of sewage disposal method serving each of those land uses. Properties adjacent to the project must be described by indicating present land uses and zoning designations. Describe the sewage disposal methods being used for each of those adjacent land uses (onlot, municipal treatment, etc.) and if those methods are intended for interim or ultimate use.

The adjacent land uses are of residential. Sanitary flows from the existing location ultimately flow into the same interceptor.

3. Indicate if the sewage facilities described in (2) are in need of improvement due to noncompliance with effluent limitations, high rates of on-lot malfunction or overloaded public sewers. Is there a potential for a combined public/private project?

Adjacent infrastructure is new. No potential for combined public/private project.

4. Determine and indicate what sewage disposal method is proposed for the development area in the municipality's Official Sewage Facilities Plan (such as: on-lot disposal systems, public sewers, etc.).

Public sewers (ALCOSAN).

5. Describe any existing sewage management program(s) in the area, and/or any sewage management program(s) that this project would be required to participate in, and that program's requirements.

ALCOSAN's Wet Weather Plan (WWP).

6. Describe any potential alternative sewage disposal methods that are available for the project. Consider all reasonable possibilities for sewage disposal, such as a stream discharge or an alternate method of land disposal. The municipality, delegated local agency or DEP may also require consideration of particular types of sewage disposal methods in the analysis. The chosen method must assure that applicable water quality standards are attained.

None.

7. Describe why the proposed method was chosen over any of the other methods described in the alternatives analysis. Environmental, administrative, and financial concerns may be addressed. Also indicate how the chosen method will guarantee adequate sewage disposal, including compliance with applicable water quality standards and effluent limitations, for the development in both the short-term (up to 5 years) and long-term (beyond 5 years) by describing the adequacy of the proposed facilities (organic and hydraulic loading) and the ability of the facility to accept additional flows or loads.

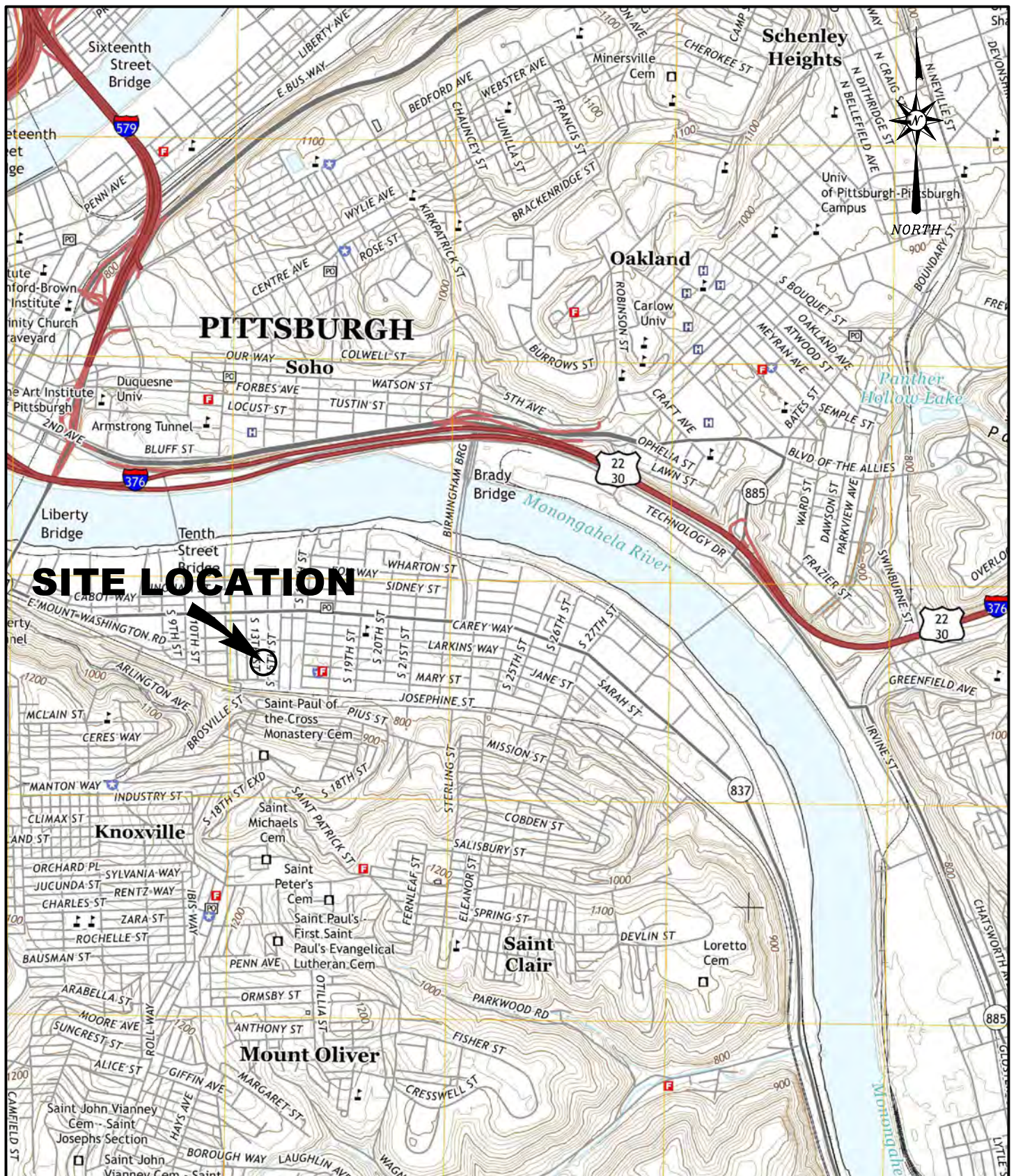
NA

8. Indicate who will be the owner of the facility, and who will be responsible for operation and maintenance of the facility and ultimately compliance with applicable water quality standards and effluent limitations.

Public sewers (ALCOSAN).

9. Finally, the applicant may use the narrative to describe any special considerations or provide any additional information that supports the choice of disposal method. The alternatives analysis must be attached to the planning module package for review by the municipality and approving agency.

NA



REFERENCE:
 USGS 7.5-MIN TOPOGRAPHIC
 QUADRANGLE PITTSBURGH - EAST,
 PENNSYLVANIA, DATED AUGUST 2019.

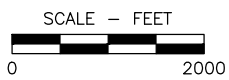


FIGURE 1
 SITE LOCATION MAP
 AUDITORIUM CONDOS

CITY OF PITTSBURGH - 17TH WARD
 ALLEGHENY COUNTY, PENNSYLVANIA

PREPARED FOR
 HHF 2, LLC
 PITTSBURGH, PENNSYLVANIA

APPROVED	APB 07/01/2021
CHECKED	APB 07/01/2021
DRAWN	APB 07/01/2021
CAD FILE NO.	21201A001
PROJECT NO.	HHF21201AUD



KU Resources, Inc.
 22 South Linden Street
 Duquesne, PA 15110
 412.469.9331
 412.469.9336 fax
www.kuresources.com

Network Trace

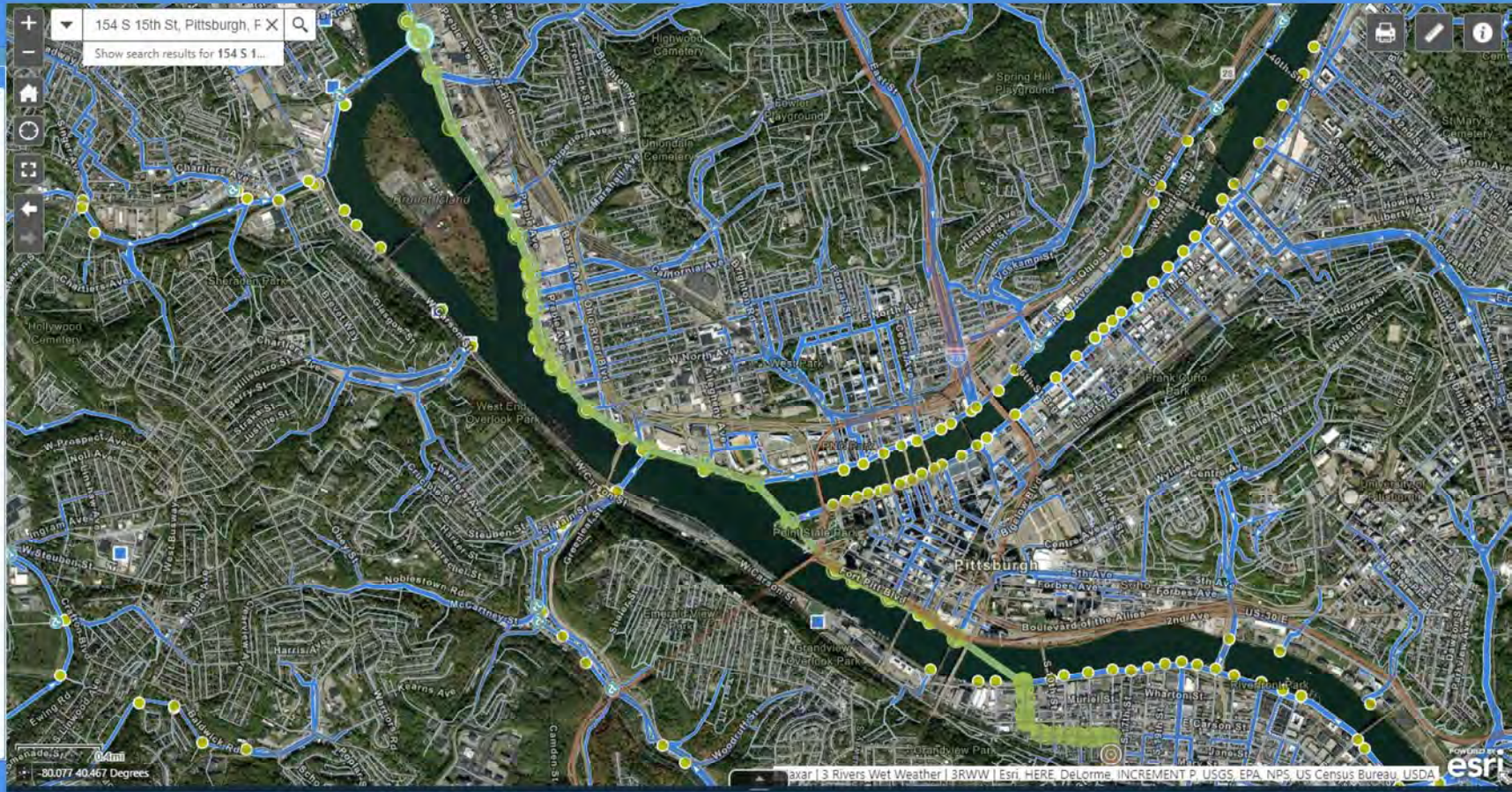
Input Output

Upstream
of Structures: 2
Total Length: 474.56 ft
Inch-Miles: 1.62

Downstream:
of Structures: 54
Total Length: 27562.59 ft
Inch-Miles: 533.32

- Upstream Pipes (2)
- Downstream Pipes (55)
- Downstream Structures (54)
- Upstream Structures (2)

Export To CSV



Network Trace

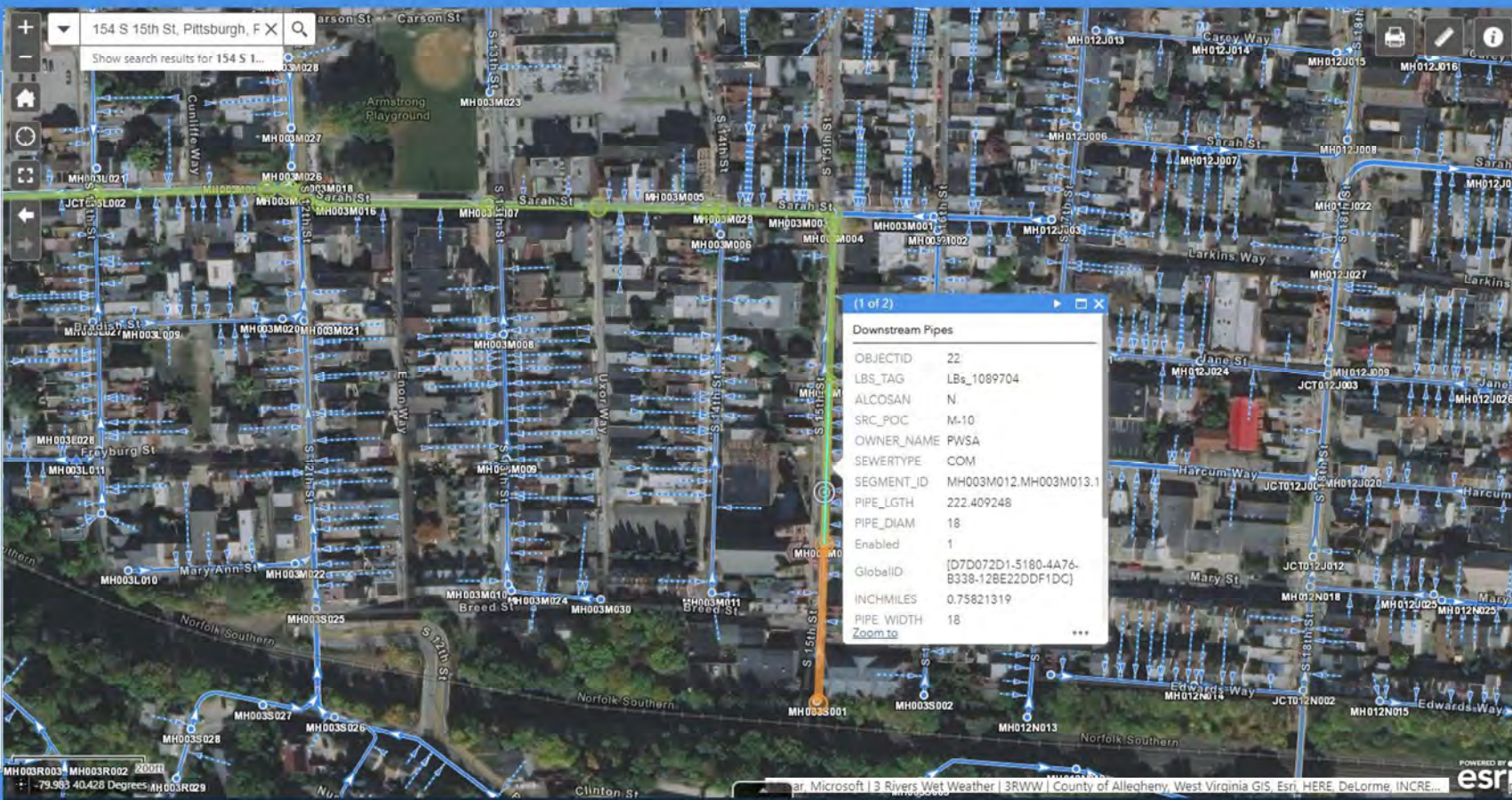
Input Output

Upstream
 # of Structures: 2
 Total Length: 474.56 ft
 Inch-Miles: 1.62

Downstream:
 # of Structures: 54
 Total Length: 27562.59 ft
 Inch-Miles: 533.32

- Upstream Pipes (2)
- Downstream Pipes (55)
- Downstream Structures (54)
- Upstream Structures (2)

Export To CSV





Network Trace

Input Output

Upstream
 # of Structures: 2
 Total Length: 474.56 ft
 Inch-Miles: 1.62

Downstream:
 # of Structures: 54
 Total Length: 27562.59 ft
 Inch-Miles: 533.32

Upstream Pipes (2) >

Downstream Pipes (55) >

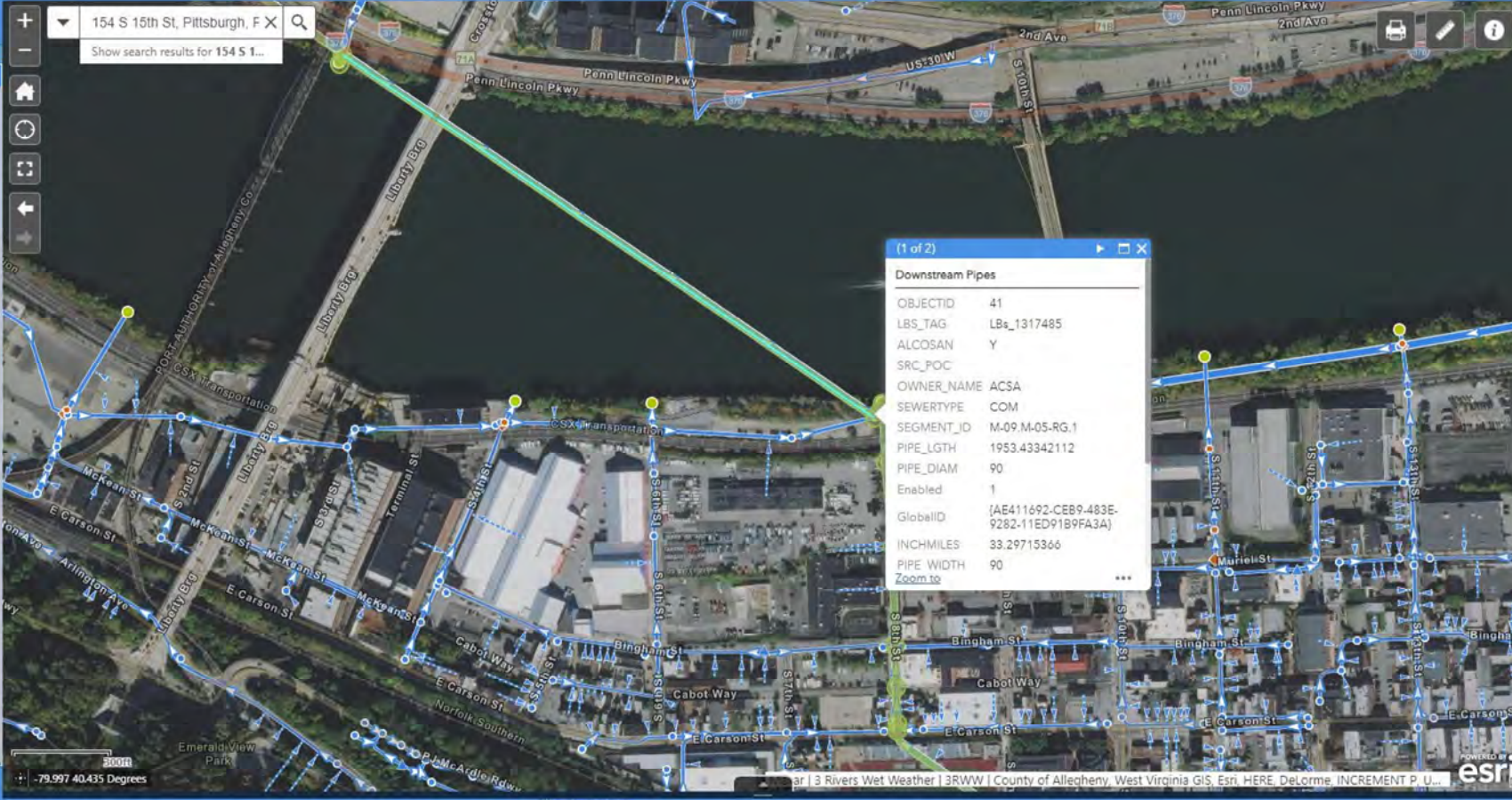
Downstream Structures (54) >

Upstream Structures (2) >

Export To CSV

154 S 15th St, Pittsburgh, F X

Show search results for 154 S 1...



(1 of 2)

Downstream Pipes

OBJECTID	41
LBS_TAG	LBs_1317485
ALCOSAN	Y
SRC_POC	
OWNER_NAME	ACSA
SEWERTYPE	COM
SEGMENT_ID	M-09.M-05-RG.1
PIPE_LGTH	1953.43342112
PIPE_DIAM	90
Enabled	1
GlobalID	{AE411692-CEB9-483E-9282-11ED9189FA3A}
INCHMILES	33.29715306
PIPE_WIDTH	90
Zoom to	***

-79.997 40.435 Degrees

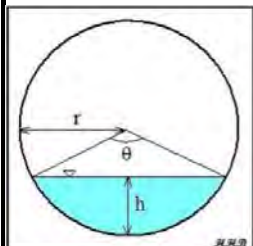


Sewage Facilities Planning Module
Chapter 94 Consistency Determination
Hydraulic Calculations Spreadsheet for Flow Monitoring Measurements

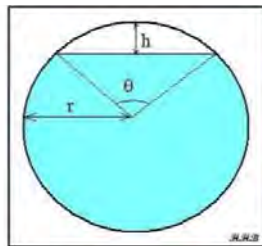
PROJECT NAME: Auditorium Condos
DATE: December 22, 2021

LEGEND: Input Data Output Data

Section A: Manning Equation for Partially Filled Pipes



Partially Full Pipe Flow Parameters (Less Than Half Full)



Partially Full Pipe Flow Parameters (More Than Half Full)

Variable	Units	Description
Q	ft ³	Volumetric flowrate
n	Unitless	Manning Roughness Coeff.
A	ft ²	Cross-Sectional Area of Flow
R	ft	Hydraulic Radius
S	ft/ft	Slope of Hydraulic Grade Line
P	ft	Wetted Perimeter of "A"
r	ft	Radius
h	ft	Depth of Flow or Headspace
θ	radians	Central Angle

$$Q = \left(\frac{1.49}{n}\right) \times A \times R^{2/3} \times S^{1/2} \qquad R = \frac{A}{P} \qquad \theta = 2 \times \cos^{-1} \left(\frac{r-h}{r}\right)$$

$$A_{<50\% Full} = \frac{r^2(\theta - \sin \theta)}{2} \qquad \text{OR} \qquad A_{>50\% Full} = \pi \times r^2 \times \frac{r^2(\theta - \sin \theta)}{2}$$

$$P_{<50\% Full} = r \times \theta \qquad P_{>50\% Full} = (2 \times \pi \times r) - (r \times \theta)$$

Section B: Data for Calculations

Peaking Factor, P.F.	
Sanitary Sewers	3
Combined Sewers	3.5

Proposed Project Flows		
Variable	Value	Units
Q _p	5,398	gpd

Variable	Value	Units
Material	VCP	
n	0.015	unitless
S	0.008	ft/ft
h	0.230	ft
D	1.50	ft
P.F.	3.5	unitless

Section C: Calculations for Design and/or Permitted Capacities

Variable	Description	Definition
Q _{d, avg}	Design Capacity, Average	= full pipe flow conditions / peaking factor
Q _{d, peak}	Design Capacity, Peak	full pipe flow conditions

Design Capacity, Average		
Variable	Value	Unit

Design Capacity, Peak		
Variable	Value	Unit

$Q_{d, avg}$	1,526,415	gpd
--------------	-----------	-----

D	1.500	ft
r	0.750	ft
A	1.767	ft ²
P	4.712	ft
R	0.375	ft
$Q_{d, peak}$	8	cfs
$Q_{d, peak}$	5,342,453	gpd

Section D: Calculations for Present Flows

Variable	Description	Definition
$Q_{ex, avg}$	Present Flows, Average	existing flow conditions per site investigations
$Q_{ex, peak}$	Present Flows, Peak	= existing flow conditions x peaking factor

Present Flows, Peak		
Variable	Value	Unit
D	1.500	ft
r	0.750	ft
θ	1.61	rad
h/D	0.153333333	ft/ft
A	0.17	ft ²
P	1.21	ft
R	0.142	ft
$Q_{ex, avg}$	0	cfs
$Q_{ex, avg}$	271,742	gpd

Present Flows, Average		
Variable	Value	Unit
$Q_{ex, peak}$	77,640	gpd

Section E: Calculations for Projected Flows in Five (5) Years

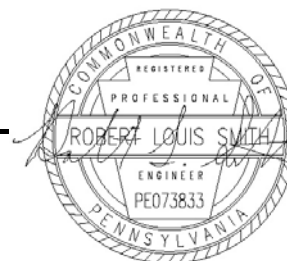
Variable	Description	Definition
$Q_{proj, avg}$	Projected Flows in Five (5) Years, Average	= $Q_{proj, peak} \div P.F.$
$Q_{proj, peak}$	Projected Flows in Five (5) Years, Peak	= $(Q_{ex, peak} + Q_p) \times 1.05$

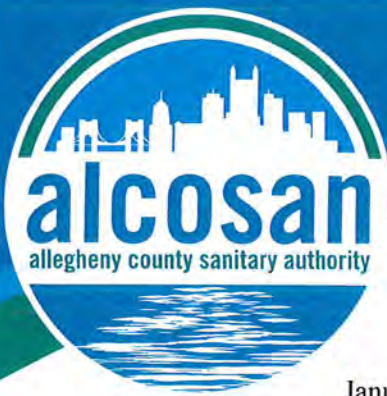
Projected Flow Calculations		
Variable	Value	Unit
$Q_{proj, peak}$	305,166	gpd
$Q_{proj, avg}$	87,190	gpd

Section F: Results

Variable	gpd
$Q_{d, avg}$	1,526,415
$Q_{d, peak}$	5,342,453
$Q_{ex, peak}$	271,742
$Q_{ex, avg}$	77,640
$Q_{proj, peak}$	305,166
$Q_{proj, avg}$	87,190

One Month flow monitoring was performed at MH003M004 from 11/6/21 through 12/6/21. Maximum flow depth observed during monitoring period was 2.76" which was the value used for design purposes. Slope of pipe was obtained from PWSA Water and Sewer Use Approval.





January 21, 2022

JAN 27 2022
BY:

Members of the Board

- Gregory O'Connor
Chair Person
- Barry Readshaw
- Alvia C. Wilson
- Kathleen Tharp-Gilliam, Ph.D.
- Patrick Shea
- John Weinstein

Letta Scott Williams
Executive Director

Douglas A. Jackson, P.E.
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Operations & Maintenance*

Michelle M. Buys, P.E.
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Environmental Compliance*

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Regional Conveyance*

Shirley K. Clark
*Director
Governmental Affairs*

Joseph Vallarian
*Director
Communications*

Heather Motley-Williams
*Director
Administration*

Adam Ballish.
KU Resources, INC
22 South Linden Street
Duquesne, PA 15110

**Re: The Auditorium
City of Pittsburgh– Allegheny County
PA DEP Sewage Facilities Planning Module
ALCOSAN Regulator Structure M-10-00**

Dear Mr. Ballish:

We have reviewed the Component 3 Planning Module for the referenced project to be located at 154 S 15th Street, Pittsburgh. The project will generate a peak flow of 5600 gpd in the ALCOSAN Monongahela River Interceptor and Woods Run Treatment Plant.

The capacity at the M-10-00 Regulator Structure is approximately 1.38 MGD. The estimated peak dry weather flow is approximately 0.01 MGD. Dry weather capacity exists for this connection. However, the Monongahela River Interceptor and the Woods Run Treatment Plant do not have the capacity for the flows generated during wet weather periods. This limitation will be addressed as ALCOSAN implements its Clean Water Plan.

ALCOSAN requests that this letter be made part of the planning module submission. The signed Component 3 Planning Module is attached. The sewers in this project are to be designed as separated sanitary and storm sewers. If you have any questions regarding this matter, please contact me at 412-734-8735.

Sincerely,

ALLEGHENY COUNTY SANITARY AUTHORITY

Joe Fedor
Joe Fedor

Attachment

- cc: C. Dean (w/o attachment)
- D. Thornton (w/o attachment)
- M. Lichte (w/o attachment)
- B. King/PWSA (w/o attachment)
- Thomas Flanagan/PADEP (w/o attachment)
- Fred Fields/ACHD (w/o attachment)



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF POINT AND NON-POINT SOURCE MANAGEMENT

Code No.

SEWAGE FACILITIES PLANNING MODULE

Component 3. Sewage Collection and Treatment Facilities

(Return completed module package to appropriate municipality)

DEP USE ONLY				
DEP CODE #	CLIENT ID #	SITE ID #	APS ID #	AUTH ID #

This planning module component is used to fulfill the planning requirements of Act 537 for the following types of projects: (1) a subdivision to be served by sewage collection, conveyance or treatment facilities, (2) a tap-in to an existing collection system with flows on a lot of 2 EDU's or more, or (3) the construction of, or modification to, wastewater collection, conveyance or treatment facilities that will require DEP to issue or modify a Clean Streams Law permit. Planning for any project that will require DEP to issue or modify a permit cannot be processed by a delegated agency. Delegated agencies must send their projects to DEP for final planning approval.

This component, along with any other documents specified in the cover letter, must be completed and submitted to the municipality with jurisdiction over the project site for review and approval. All required documentation must be attached for the Sewage Facilities Planning Module to be complete. Refer to the instructions for help in completing this component.

REVIEW FEES: Amendments to the Sewage Facilities Act established fees to be paid by the developer for review of planning modules for land development. These fees may vary depending on the approving agency for the project (DEP or delegated local agency). Please see section R and the instructions for more information on these fees.

NOTE: All projects must complete Sections A through I, and Sections O through R. Complete Sections J, K, L, M and/or N if applicable or marked .

A. PROJECT INFORMATION (See Section A of instructions)

1. Project Name Auditorium Condos
2. Brief Project Description Renovate existing building into condos.

B. CLIENT (MUNICIPALITY) INFORMATION (See Section B of instructions)

Municipality Name	County	City	Boro	Twp
City of Pittsburgh	Allegheny	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Municipality Contact Individual - Last Name	First Name	MI	Suffix	Title
Prendergast	Kyla			Senior Environmental Planner
Additional Individual Last Name	First Name	MI	Suffix	Title
Municipality Mailing Address Line 1	Mailing Address Line 2			
200 Ross Street	Suite 4			
Address Last Line -- City	State	ZIP+4		
Pittsburgh	PA	15219		
Area Code + Phone + Ext.	FAX (optional)	Email (optional)		
412-255-2516				

C. SITE INFORMATION (See Section C of instructions)

Site (Land Development or Project) Name

Auditorium Condos

Site Location Line 1
154 South 15th Street

Site Location Line 2

Site Location Last Line -- City
Pittsburgh

State
PA

ZIP+4

Latitude

Longitude

Detailed Written Directions to Site

Description of Site Former Church Auditorium being renovated into condos.

Site Contact (Developer/Owner)

Last Name	First Name	MI	Suffix	Phone	Ext.
Hill	Ivor			847-910-3927	

Site Contact Title	Site Contact Firm (if none, leave blank)
	HHF 2, LLC

FAX	Email
	ivorhill@icloud.com

Mailing Address Line 1	Mailing Address Line 2
941 Penny ave	Apt 601

Mailing Address Last Line -- City	State	ZIP+4
Pittsburgh	PA	15222

D. PROJECT CONSULTANT INFORMATION (See Section D of instructions)

Last Name	First Name	MI	Suffix
Smith	Robert		L

Title	Consulting Firm Name
Project Manager	KU Resources, Inc.

Mailing Address Line 1	Mailing Address Line 2
22 South Linden Street	

Address Last Line -- City	State	ZIP+4	Country
Duquesne	PA	15110	USA

Email	Area Code + Phone	Ext.	Area Code + FAX
bsmith@kuresources.com	412-469-9331		

E. AVAILABILITY OF DRINKING WATER SUPPLY

The project will be provided with drinking water from the following source: (Check appropriate box)

- Individual wells or cisterns.
- A proposed public water supply.
- An existing public water supply.

If existing public water supply is to be used, provide the name of the water company and attach documentation from the water company stating that it will serve the project.

Name of water company: Pittsburgh Water and Sewer Authority

F. PROJECT NARRATIVE (See Section F of instructions)

- A narrative has been prepared as described in Section F of the instructions and is attached.

The applicant may choose to include additional information beyond that required by Section F of the instructions.

G. PROPOSED WASTEWATER DISPOSAL FACILITIES (See Section G of instructions)

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter 93 (relating to wastewater treatment requirements).

1. COLLECTION SYSTEM

a. Check appropriate box concerning collection system

- New collection system Pump Station Force Main
 Grinder pump(s) Extension to existing collection system Expansion of existing facility

Clean Streams Law Permit Number _____

b. Answer questions below on collection system

Number of EDU's and proposed connections to be served by collection system. EDU's 14

Connections _____

Name of:

existing collection or conveyance system South 15th Street (18" VCP)

owner PWSA

existing interceptor Monongahela River Interceptor

owner ALCOSAN

2. WASTEWATER TREATMENT FACILITY

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter(s) 91 (relating to general provisions), 92 (relating to national Pollution Discharge Elimination System permitting, monitoring and compliance) and 93 (relating to water quality standards).

a. Check appropriate box and provide requested information concerning the treatment facility

- New facility Existing facility Upgrade of existing facility Expansion of existing facility

Name of existing facility ALCOSAN Woods Run WWTP

NPDES Permit Number for existing facility 2596854 PA0025984

Clean Streams Law Permit Number _____

Location of discharge point for a new facility. Latitude _____ Longitude _____

b. The following certification statement must be completed and signed by the wastewater treatment facility permittee or their representative.

As an authorized representative of the permittee, I confirm that the ALCOSAN Woods Run (Name from above) sewage treatment facilities can accept sewage flows from this project without adversely affecting the facility's ability to achieve all applicable technology and water quality based effluent limits (see Section I) and conditions contained in the NPDES permit identified above.

Name of Permittee Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent Joe Fedor

Agent Signature Joe Fedor Date 1-21-2022

(Also see Section I. 4.)

G. PROPOSED WASTEWATER DISPOSAL FACILITIES (Continued)

3. PLOT PLAN

The following information is to be submitted on a plot plan of the proposed subdivision.

- a. Existing and proposed buildings.
- b. Lot lines and lot sizes.
- c. Adjacent lots.
- d. Remainder of tract.
- e. Existing and proposed sewerage facilities. Plot location of discharge point, land application field, spray field, COLDS, or LVCOLDS if a new facility is proposed.
- f. Show tap-in or extension to the point of connection to existing collection system (if applicable).
- g. Existing and proposed water supplies and surface water (wells, springs, ponds, streams, etc.)
- h. Existing and proposed rights-of-way.
- i. Existing and proposed buildings, streets, roadways, access roads, etc.
- j. Any designated recreational or open space area.
- k. Wetlands - from National Wetland Inventory Mapping and USGS Hydric Soils Mapping.
- l. Flood plains or Flood prone areas, floodways, (Federal Flood Insurance Mapping)
- m. Prime Agricultural Land.
- n. Any other facilities (pipelines, power lines, etc.)
- o. Orientation to north.
- p. Locations of all site testing activities (soil profile test pits, slope measurements, permeability test sites, background sampling, etc. (if applicable).
- q. Soils types and boundaries when a land based system is proposed.
- r. Topographic lines with elevations when a land based system is proposed

4. WETLAND PROTECTION

YES NO

- a. Are there wetlands in the project area? If yes, ensure these areas appear on the plot plan as shown in the mapping or through on-site delineation.
- b. Are there any construction activities (encroachments, or obstructions) proposed in, along, or through the wetlands? If yes, identify any proposed encroachments on wetlands and identify whether a General Permit or a full encroachment permit will be required. If a full permit is required, address time and cost impacts on the project. Note that wetland encroachments should be avoided where feasible. Also note that a feasible alternative **MUST BE SELECTED** to an identified encroachment on an exceptional value wetland as defined in Chapter 105. Identify any project impacts on streams classified as HQ or EV and address impacts of the permitting requirements of said encroachments on the project.

5. PRIME AGRICULTURAL LAND PROTECTION

YES NO

- Will the project involve the disturbance of prime agricultural lands?
If yes, coordinate with local officials to resolve any conflicts with the local prime agricultural land protection program. The project must be consistent with such municipal programs before the sewage facilities planning module package may be submitted to DEP.
If no, prime agricultural land protection is not a factor to this project.
- Have prime agricultural land protection issues been settled?

6. HISTORIC PRESERVATION ACT

YES NO

- Sufficient documentation is attached to confirm that this project is consistent with DEP Technical Guidance 012-0700-001 *Implementation of the PA State History Code* (available online at the DEP website at www.dep.state.pa.us, select "subject" then select "technical guidance"). As-a minimum this includes copies of the completed Cultural Resources Notice

(CRN), a return receipt for its submission to the PHMC and the PHMC review letter.

7. PROTECTION OF RARE, ENDANGERED OR THREATENED SPECIES

Check one:

- The "Pennsylvania Natural Diversity Inventory (PNDI) Project Environmental Review Receipt" resulting from my search of the PNDI database and all supporting documentation from jurisdictional agencies (when necessary) is/are attached.
- A completed "Pennsylvania Natural Diversity Inventory (PNDI) Project Planning & Environmental Review Form," (PNDI Form) available at www.naturalheritage.state.pa.us, and all required supporting documentation is attached. I request DEP staff to complete the required PNDI search for my project. I realize that my planning module will be considered incomplete upon submission to the Department and that the DEP review will not begin, and that processing of my planning module will be delayed, until a "PNDI Project Environmental Review Receipt" and all supporting documentation from jurisdictional agencies (when necessary) is/are received by DEP.

Applicant or Consultant Initials APB

H. ALTERNATIVE SEWAGE FACILITIES ANALYSIS (See Section H of instructions)

- An alternative sewage facilities analysis has been prepared as described in Section H of the attached instructions and is attached to this component.
The applicant may choose to include additional information beyond that required by Section H of the attached instructions.

I. COMPLIANCE WITH WATER QUALITY STANDARDS AND EFFLUENT LIMITATIONS (See Section I of instructions) (Check and complete all that apply.)

1. Waters designated for Special Protection

- The proposed project will result in a new or increased discharge into special protection waters as identified in Title 25, Pennsylvania Code, Chapter 93. The Social or Economic Justification (SEJ) required by Section 93.4c. is attached.

2. Pennsylvania Waters Designated As Impaired

- The proposed project will result in a new or increased discharge of a pollutant into waters that DEP has identified as being impaired by that pollutant. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss water quality based discharge limitations.

3. Interstate and International Waters

- The proposed project will result in a new or increased discharge into interstate or international waters. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss effluent limitations necessary to meet the requirements of the interstate or international compact.

4. Tributaries To The Chesapeake Bay

- The proposed project result in a new or increased discharge of sewage into a tributary to the Chesapeake Bay. This proposal for a new sewage treatment facility or new flows to an existing facility includes total nitrogen and total phosphorus in the following amounts: _____ pounds of TN per year, and _____ pounds of TP per year. Based on the process design and effluent limits, the total nitrogen treatment capacity of the wastewater treatment facility is _____ pounds per year and the total phosphorus capacity is _____ pounds per year as determined by the wastewater treatment facility permittee. The permittee has determined that the additional TN and TP to be contributed by this project (as modified by credits and/or offsets to be provided) will not cause the discharge to exceed the annual total mass limits for these parameters. Documentation of compliance with nutrient allocations is attached.

Name of Permittee Agency, Authority, Municipality _____

Initials of Responsible Agent (See Section G 2.b) _____

See *Special Instructions* (Form 3800-FM-BPNPSM0353-1) for additional information on Chesapeake Bay watershed requirements.

J. CHAPTER 94 CONSISTENCY DETERMINATION (See Section J of instructions)

Projects that propose the use of existing municipal collection, conveyance or wastewater treatment facilities, or the construction of collection and conveyance facilities to be served by existing municipal wastewater treatment facilities must be consistent with the requirements of Title 25, Chapter 94 (relating to Municipal Wasteload Management). If not previously included in Section F, include a general map showing the path of the sewage to the treatment facility. If more than one municipality or authority will be affected by the project, please obtain the information required in this section for each. Additional sheets may be attached for this purpose.

1. Project Flows 5398 gpd
2. Total Sewage Flows to Facilities (pathway from point of origin through treatment plant)

When providing "treatment facilities" sewage flows, use Annual Average Daily Flow for "average" and Maximum Monthly Average Daily Flow for "peak" in all cases. For "peak flows" in "collection" and "conveyance" facilities, indicate whether these flows are "peak hourly flow" or "peak instantaneous flow" and how this figure was derived (i.e., metered, measured, estimated, etc.).

- a. Enter average and peak sewage flows for each proposed or existing facility as designed or permitted.
- b. Enter the average and peak sewage flows for the most restrictive sections of the existing sewage facilities.
- c. Enter the average and peak sewage flows, projected for 5 years (2 years for pump stations) through the most restrictive sections of the existing sewage facilities. Include existing, proposed (this project) and future project (other approved projects) flows.

To complete the table, refer to the instructions, Section J.

	a. Design and/or Permitted Capacity (gpd)		b. Present Flows (gpd)		c. Projected Flows in 5 years (gpd) (2 years for P.S.)	
	Average	Peak	Average	Peak	Average	Peak
Collection	1526415	5342453	77640	271742	87190	305166
Conveyance		1,380,000	105,000	139,000	117,000	152,000
Treatment	250,000,000	250,000,000	190,200,000	250,000,000	219,021,000	295,000,000

3. Collection and Conveyance Facilities

The questions below are to be answered by the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities. These questions should be answered in coordination with the latest Chapter 94 annual report and the above table. The individual(s) signing below must be legally authorized to make representation for the organization.

YES NO

- a. YES NO This project proposes sewer extensions or tap-ins. Will these actions create a hydraulic overload within five years on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until all inconsistencies with Chapter 94 are resolved or unless there is an approved Corrective Action Plan (CAP) granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the module package.

If no, a representative of the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not affect that status.

- b. Collection System

Name of Agency, Authority, Municipality Pittsburgh Water and Sewer Authority

Name of Responsible Agent Robert Herring, PE, PMP

Agent Signature Robert Herring Date 1/12/2022

Robert Herring
2022.01.12
13:04:26 -05'00'

J. CHAPTER 94 CONSISTENCY DETERMINATION (See Section J of instructions)

c. Conveyance System

Name of Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent Joe Fedor

Agent Signature Joe Fedor

Date 1-21-22

4. Treatment Facility

The questions below are to be answered by a representative of the facility permittee in coordination with the information in the table and the latest Chapter 94 report. The individual signing below must be legally authorized to make representation for the organization.

YES NO

- a. YES NO This project proposes the use of an existing wastewater treatment plant for the disposal of sewage. Will this action create a hydraulic or organic overload within 5 years at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this inconsistency with Chapter 94 is resolved or unless there is an approved CAP granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the planning module.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not impact that status.

- b. Name of Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent Joe Fedor

Agent Signature Joe Fedor

Date 1-21-22

K. TREATMENT AND DISPOSAL OPTIONS (See Section K of instructions)

This section is for land development projects that propose construction of wastewater treatment facilities. Please note that, since these projects require permits issued by DEP, these projects may **NOT** receive final planning approval from a delegated local agency. Delegated local agencies must send these projects to DEP for final planning approval.

Check the appropriate box indicating the selected treatment and disposal option.

- 1. Spray irrigation (other than individual residential spray systems (IRSIS)) or other land application is proposed, and the information requested in Section K.1. of the planning module instructions are attached.
- 2. Recycle and reuse is proposed and the information requested in Section K-2 of the planning module instructions is attached.
- 3. A discharge to a dry stream channel is proposed, and the information requested in Section K.3. of the planning module instructions are attached.
- 4. A discharge to a perennial surface water body is proposed, and the information requested in Section K.4. of the planning module instructions are attached.

L. PERMEABILITY TESTING (See Section L of instructions)

- The information required in Section L of the instructions is attached.

M. PRELIMINARY HYDROGEOLOGIC STUDY (See Section M of instructions)

- The information required in Section M of the instructions is attached.

N. DETAILED HYDROGEOLOGIC STUDY (See Section N of instructions)

The detailed hydrogeologic information required in Section N. of the instructions is attached.

O. SEWAGE MANAGEMENT (See Section O of instructions)

(1-3 for completion by the developer(project sponser), 4-5 for completion by the non-municipal facility agent and 6 for completion by the municipality)

Yes No

1. Is connection to, or construction of, a DEP permitted, non-municipal sewage facility or a local agency permitted, community onlot sewage facility proposed.

If Yes, respond to the following questions, attach the supporting analysis, and an evaluation of the options available to assure long-term proper operation and maintenance of the proposed non-municipal facilities. If No, skip the remainder of Section O.

2. Project Flows _____ gpd

Yes No

3. Is the use of nutrient credits or offsets a part of this project?

If yes, attach a letter of intent to purchase the necessary credits and describe the assurance that these credits and offsets will be available for the remaining design life of the non-municipal sewage facility;

(For completion by non-municipal facility agent)

4. Collection and Conveyance Facilities

The questions below are to be answered by the organization/individual responsible for the non-municipal collection and conveyance facilities. The individual(s) signing below must be legally authorized to make representation for the organization.

Yes No

- a. If this project proposes sewer extensions or tap-ins, will these actions create a hydraulic overload on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, a representative of the organization responsible for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with Chapter 71 §71.53(d)(3) and that this proposal will not affect that status.

- b. Collection System

Name of Responsible Organization _____

Name of Responsible Agent _____

Agent Signature _____

Date _____

- c. Conveyance System

Name of Responsible Organization _____

Name of Responsible Agent _____

Agent Signature _____

Date _____

5. Treatment Facility

The questions below are to be answered by a representative of the facility permittee. The individual signing below must be legally authorized to make representation for the organization.

Yes No

- a. If this project proposes the use of an existing non-municipal wastewater treatment plant for the disposal of sewage, will this action create a hydraulic or organic overload at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with §71.53(d)(3) and that this proposal will not impact that status.

- b. Name of Facility _____
Name of Responsible Agent _____
Agent Signature _____
Date _____

(For completion by the municipality)

6. The **SELECTED OPTION** necessary to assure long-term proper operation and maintenance of the proposed non-municipal facilities is clearly identified with documentation attached in the planning module package.

P. PUBLIC NOTIFICATION REQUIREMENT (See Section P of instructions)

This section must be completed to determine if the applicant will be required to publish facts about the project in a newspaper of general circulation to provide a chance for the general public to comment on proposed new land development projects. This notice may be provided by the applicant or the applicant's agent, the municipality or the local agency by publication in a newspaper of general circulation within the municipality affected. Where an applicant or an applicant's agent provides the required notice for publication, the applicant or applicant's agent shall notify the municipality or local agency and the municipality and local agency will be relieved of the obligation to publish. The required content of the publication notice is found in Section P of the instructions.

To complete this section, each of the following questions must be answered with a "yes" or "no". Newspaper publication is required if any of the following are answered "yes".

Yes No


1. Does the project propose the construction of a sewage treatment facility ?
2. Will the project change the flow at an existing sewage treatment facility by more than 50,000 gallons per day?
3. Will the project result in a public expenditure for the sewage facilities portion of the project in excess of \$100,000?
4. Will the project lead to a major modification of the existing municipal administrative organizations within the municipal government?
5. Will the project require the establishment of *new* municipal administrative organizations within the municipal government?
6. Will the project result in a subdivision of 50 lots or more? (onlot sewage disposal only)
7. Does the project involve a major change in established growth projections?
8. Does the project involve a different land use pattern than that established in the municipality's Official Sewage Plan?

P. PUBLIC NOTIFICATION REQUIREMENT cont'd. (See Section P of instructions)

- 9. Does the project involve the use of large volume onlot sewage disposal systems (Flow > 10,000 gpd)?
- 10. Does the project require resolution of a conflict between the proposed alternative and consistency requirements contained in §71.21(a)(5)(i), (ii), (iii)?
- 11. Will sewage facilities discharge into high quality or exceptional value waters?
- Attached is a copy of:
 - the public notice,
 - all comments received as a result of the notice,
 - the municipal response to these comments.
- No comments were received. A copy of the public notice is attached.

Q. FALSE SWEARING STATEMENT (See Section Q of instructions)

I verify that the statements made in this component are true and correct to the best of my knowledge, information and belief. I understand that false statements in this component are made subject to the penalties of 18 PA C.S.A. §4904 relating to unsworn falsification to authorities.

Adam Ballish	
Name (Print)	Signature
Engineer	12/7/21
Title	Date
22 South Linden Street, Duquesne PA 15110	412-469-9331
Address	Telephone Number

R. REVIEW FEE (See Section R of instructions)

The Sewage Facilities Act establishes a fee for the DEP planning module review. DEP will calculate the review fee for the project and invoice the project sponsor **OR** the project sponsor may attach a self-calculated fee payment to the planning module prior to submission of the planning package to DEP. (Since the fee and fee collection procedures may vary if a "delegated local agency" is conducting the review, the project sponsor should contact the "delegated local agency" to determine these details.) Check the appropriate box.

- I request DEP calculate the review fee for my project and send me an invoice for the correct amount. I understand DEP's review of my project will not begin until DEP receives the correct review fee from me for the project.
- I have calculated the review fee for my project using the formula found below and the review fee guidance in the instructions. I have attached a check or money order in the amount of \$_____ payable to "Commonwealth of PA, DEP". Include DEP code number on check. I understand DEP will not begin review of my project unless it receives the fee and determines the fee is correct. If the fee is incorrect, DEP will return my check or money order, send me an invoice for the correct amount. I understand DEP review will NOT begin until I have submitted the correct fee.
- I request to be exempt from the DEP planning module review fee because this planning module creates **only** one new lot and is the **only** lot subdivided from a parcel of land as that land existed on December 14, 1995. I realize that subdivision of a second lot from this parcel of land shall disqualify me from this review fee exemption. I am furnishing the following deed reference information in support of my fee exemption.

County Recorder of Deeds for _____ County, Pennsylvania

Deed Volume _____ Book Number _____

Page Number _____ Date Recorded _____

R. REVIEW FEE (continued)

Formula:

1. For a new collection system (with or without a Clean Streams Law Permit), a collection system extension, or individual tap-ins to an existing collection system use this formula.

$$\#14 \quad \text{Lots (or EDUs)} \times \$50.00 = \$700$$

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
 - For community sewer system projects, one EDU is equal to a sewage flow of 400 gallons per day.
2. For a surface or subsurface discharge system, use the appropriate one of these formulae.

- A. A new surface discharge greater than 2000 gpd will use a flat fee:

\$ 1,500 per submittal (non-municipal)
\$ 500 per submittal (municipal)

- B. An increase in an existing surface discharge will use:

$$\# \quad \text{Lots (or EDUs)} \times \$35.00 = \$$$

to a maximum of \$ 1,500 per submittal (non-municipal) or \$ 500 per submittal (municipal)

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
 - For community sewage system projects one EDU is equal to a sewage flow of 400 gallons per day.
 - For non-single family residential projects, EDUs are calculated using projected population figures
- C. A sub-surface discharge system that requires a permit under The Clean Streams Law will use a flat fee:

\$ 1,500 per submittal (non-municipal)
\$ 500 per submittal (municipal)



INSTRUCTIONS FOR COMPLETING COMPONENT 4A MUNICIPAL PLANNING AGENCY REVIEW

Remove and recycle these instructions prior to mailing component to the approving agency.

Background

This component, Component 4, is used to obtain the comments of planning agencies and/or health departments having jurisdiction over the project area. It is used in conjunction with other planning module components appropriate to the characteristics of the project proposed.

Who Should Complete the Component?

The component should be completed by any existing municipal planning agency, county planning agency, planning agency with areawide jurisdiction, and/or health department having jurisdiction over the project site. It is divided into sections to allow for convenient use by the appropriate agencies.

The project sponsor must forward copies of this component, along with supporting components and data, to the appropriate planning agency(ies) and health department(s) (if any) having jurisdiction over the development site. These agencies are responsible for responding to the questions in their respective sections of Component 4, as well as providing whatever additional comments they may wish to provide on the project plan. After the agencies have completed their review, the component will be returned to the applicant. The agencies have 60 days in which to provide comments to the applicant. If the agencies fail to comment within this 60 day period, the applicant may proceed to the next stage of the review without the comments. The use of registered mail or certified mail (return receipt requested) by the applicant when forwarding the module package to the agencies will document a date of receipt.

After receipt of the completed Component 4 from the planning agencies, or following expiration of the 60 day period without comments, the applicant must submit the entire component package to the municipality having jurisdiction over the project area for review and action. If approved by the municipality, the proposed plan, along with the municipal action, will be forwarded to the approving agency (Department of Environmental Protection or delegated local agency). The approving agency, in turn, will either approve the proposed plan, return it as incomplete, or disapprove the plan, based upon the information provided.

Instructions for Completing Planning Agency and/or Health Department Review Component

Section A. Project Name

Enter the project name as it appears on the accompanying sewage facilities planning module component (Component 2, 2m, 3, 3s or 3m).

Section B. Review Schedule

Enter the date the package was received by the reviewing agency, and the date that the review was completed.

Section C. Agency Review

1. Answer the yes/no questions and provide any descriptive information necessary on the lines provided. Attach additional sheets, if necessary.
2. Complete the name, title, and signature block.

Section D. Additional Comments

The Agency may provide whatever additional comment(s) it deems necessary, as described in the form. Attach additional sheets, if necessary.

SEWAGE FACILITIES PLANNING MODULE

COMPONENT 4A - MUNICIPAL PLANNING AGENCY REVIEW

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning module package and one copy of this *Planning Agency Review Component* should be sent to the local municipal planning agency for their comments.

SECTION A. PROJECT NAME (See Section A of instructions)

Project Name

Auditorium Condos

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by municipal planning agency 12/7/20212. Date review completed by agency 12/10/2021

SECTION C. AGENCY REVIEW (See Section C of instructions)

Yes	No	
-----	----	--

<input type="checkbox"/>	<input checked="" type="checkbox"/>	1. Is there a municipal comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101, <i>et seq.</i>)?
--------------------------	-------------------------------------	---

<input type="checkbox"/>	N/A <input type="checkbox"/>	2. Is this proposal consistent with the comprehensive plan for land use?
--------------------------	------------------------------	--

If no, describe the inconsistencies N/A

<input checked="" type="checkbox"/>	<input type="checkbox"/>	3. Is this proposal consistent with the use, development, and protection of water resources?
-------------------------------------	--------------------------	--

If no, describe the inconsistencies _____

<input checked="" type="checkbox"/>	<input type="checkbox"/>	4. Is this proposal consistent with municipal land use planning relative to Prime Agricultural Land Preservation?
-------------------------------------	--------------------------	---

<input type="checkbox"/>	<input checked="" type="checkbox"/>	5. Does this project propose encroachments, obstructions, or dams that will affect wetlands?
--------------------------	-------------------------------------	--

If yes, describe impacts _____

<input type="checkbox"/>	<input checked="" type="checkbox"/>	6. Will any known historical or archaeological resources be impacted by this project?
--------------------------	-------------------------------------	---

If yes, describe impacts _____

<input type="checkbox"/>	<input checked="" type="checkbox"/>	7. Will any known endangered or threatened species of plant or animal be impacted by this project?
--------------------------	-------------------------------------	--

If yes, describe impacts _____

<input checked="" type="checkbox"/>	<input type="checkbox"/>	8. Is there a municipal zoning ordinance?
-------------------------------------	--------------------------	---

<input type="checkbox"/>	<input checked="" type="checkbox"/>	9. Is this proposal consistent with the ordinance?
--------------------------	-------------------------------------	--

If no, describe the inconsistencies Under Review

<input type="checkbox"/>	<input checked="" type="checkbox"/>	10. Does the proposal require a change or variance to an existing comprehensive plan or zoning ordinance?
--------------------------	-------------------------------------	---

<input checked="" type="checkbox"/>	<input type="checkbox"/>	11. Have all applicable zoning approvals been obtained?
-------------------------------------	--------------------------	---

<input checked="" type="checkbox"/>	<input type="checkbox"/>	12. Is there a municipal subdivision and land development ordinance?
-------------------------------------	--------------------------	--

SECTION C. AGENCY REVIEW (continued)

- | Yes | No | |
|-------------------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 13. Is this proposal consistent with the ordinance?
If no, describe the inconsistencies <u>Under Review</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 14. Is this plan consistent with the municipal Official Sewage Facilities Plan?
If no, describe the inconsistencies _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 15. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality?
If yes, describe _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16. Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision? |
| <input type="checkbox"/> | <input type="checkbox"/> | If yes, is the proposed waiver consistent with applicable ordinances?
If no, describe the inconsistencies
_____ |

17. Name, title and signature of planning agency staff member completing this section:
 Name: Kyla Prendergast
 Title: Senior Environmental Planner
 Signature: *Kyla Prendergast*
 Date: 12/10/2021
 Name of Municipal Planning Agency: City of Pittsburgh Department of City Planning
 Address 200 Ross Street 4th Floor Pittsburgh, PA 15219
 Telephone Number: (412) 255-2516

SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)

This component does not limit municipal planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The planning agency must complete this component within 60 days.

This component and any additional comments are to be returned to the applicant.

COUNTY OF



ALLEGHENY

RICH FITZGERALD
COUNTY EXECUTIVE

January 28, 2022

Bob Smith, P.E.
KU Resources, Inc.
22 South Linden Street
Duquesne, PA 15110

**RE: SEWAGE FACILITIES PLANNING MODULE; ALLEGHENY COUNTY
The Auditorium, City of Pittsburgh**

Dear Mr. Smith:

Enclosed is a signed copy of Component 4C, County or Joint County Health Department Review, for the above-referenced development. This Planning Module Component was received on January 28, 2022. The project proposes the following:

Project Description:	The Auditorium. Proposing the development of Parcel Number 3-M-136 that will include the renovation of the existing building (formerly St. Adalbert Auditorium) into 14 condominiums located at 154 South 15th Street in the City of Pittsburgh, Allegheny County.
Sewage Flow:	5,398 GPD
Conveyance:	The flow from this site will be conveyed to the Pittsburgh Water and Sewer Authority (PWSA) collection system to the ALCOSAN POC M-10 to the Monongahela River interceptor and then to the ALOSAN Treatment Plant at Woods Run.
Sewer's Owner:	PWSA (collection) and ALCOSAN (interceptor)
Name of Sewage Treatment Plant:	ALCOSAN

Please be advised that a permit must be obtained from the Allegheny County Health Department's (ACHD) Plumbing Section prior to commencing any plumbing work for the proposed project. Plumbing work for which an ACHD Plumbing Permit must be obtained includes any plumbing work done on the site and any sewers, which will not be owned and operated by a municipality or a sewer authority.



KAREN HACKER, MD, MPH, DIRECTOR
ALLEGHENY COUNTY HEALTH DEPARTMENT

WATER POLLUTION CONTROL & SOLID WASTE MANAGEMENT
3901 PENN AVENUE • BUILDING 5 • PITTSBURGH, PA 15224-1318
PHONE: 412.578.8040 • FAX: 412.578.8053 • WWW.ACHD.NET



Mr. Bob Smith, P.E.
January 28, 2022
Page 2

In addition, it should be noted that the approval of this sewage facilities planning module does not include approval of pipe size and/or type. Approval for pipe size and/or type must be obtained by filing a specific plumbing plan with the ACHD's Plumbing Section. If you should have any questions relative to ACHD's plumbing requirements, Drew Grese, Acting Plumbing Chief at 412-578-8055.

The ACHD has no objection to the approval of this project. If you have any questions, please call me at 412-578-8046.

Sincerely,



Freddie Fields, M.B.A.
Environmental Health Engineer III
Water Pollution Control & Solid Waste Management

FF/cb
Enclosure

cc: Thomas Flanagan, PA Department of Environmental Protection w/attachment (electronically)
Drew Grese, ACHD w/attachment (electronically)



INSTRUCTIONS FOR COMPLETING COMPONENT 4C COUNTY OR JOINT HEALTH DEPARTMENT REVIEW

Remove and recycle these instructions prior to mailing component to the approving agency.

Background

This component, Component 4, is used to obtain the comments of planning agencies and/or health departments having jurisdiction over the project area. It is used in conjunction with other planning module components appropriate to the characteristics of the project proposed.

Who Should Complete the Component?

The component should be completed by any existing municipal planning agency, county planning agency, planning agency with areawide jurisdiction, and/or health department having jurisdiction over the project site. It is divided into sections to allow for convenient use by the appropriate agencies.

The project sponsor must forward copies of this component, along with supporting components and data, to the appropriate planning agency(ies) and health department(s) (if any) having jurisdiction over the development site. These agencies are responsible for responding to the questions in their respective sections of Component 4, as well as providing whatever additional comments they may wish to provide on the project plan. After the agencies have completed their review, the component will be returned to the applicant. The agencies have 60 days in which to provide comments to the applicant. If the agencies fail to comment within this 60 day period, the applicant may proceed to the next stage of the review without the comments. The use of registered mail or certified mail (return receipt requested) by the applicant when forwarding the module package to the agencies will document a date of receipt.

After receipt of the completed Component 4 from the planning agencies, or following expiration of the 60 day period without comments, the applicant must submit the entire component package to the municipality having jurisdiction over the project area for review and action. If approved by the municipality, the proposed plan, along with the municipal action, will be forwarded to the approving agency (Department of Environmental Protection or delegated local agency). The approving agency, in turn, will either approve the proposed plan, return it as incomplete, or disapprove the plan, based upon the information provided.

Instructions for Completing Planning Agency and/or Health Department Review Component

Section A. Project Name

Enter the project name as it appears on the accompanying sewage facilities planning module component (Component 2, 2m, 3, 3s or 3m).

Section B. Review Schedule

Enter the date the package was received by the reviewing agency, and the date that the review was completed.

Section C. Agency Review

1. Answer the yes/no questions and provide any descriptive information necessary on the lines provided. Attach additional sheets, if necessary.
 2. Complete the name, title, and signature block.
-

Section D. Additional Comments

The Agency may provide whatever additional comment(s) it deems necessary, as described in the form. Attach additional sheets, if necessary.

**SEWAGE FACILITIES PLANNING MODULE
 COMPONENT 4C - COUNTY OR JOINT HEALTH DEPARTMENT REVIEW**

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning module package and one copy of this *Planning Agency Review Component* should be sent to the county or joint county health department for their comments.

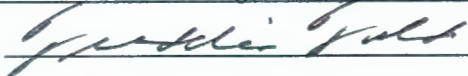
SECTION A. PROJECT NAME (See Section A of instructions)

Project Name
 The Auditorium

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by county or joint county health department January 28, 2022
 Agency name Allegheny County Health Department (ACHD)
2. Date review completed by agency January 28, 2022

SECTION C. AGENCY REVIEW (See Section C of instructions)

Yes	No	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. Is the proposed plan consistent with the municipality's Official Sewage Facilities Plan? If no, what are the inconsistencies? _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	2. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality? If yes, describe _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	3. Is there any known groundwater degradation in the area of this proposal? If yes, describe _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	4. The county or joint county health department recommendation concerning this proposed plan is as follows: <u>ACHD recommends approval. See attached letter.</u>
		5. Name, title and signature of person completing this section: Name: <u>Freddie Fields</u> Title: <u>Environmental Health Engineer III</u> Signature: <u></u> Date: <u>January 28, 2022</u> Name of County Health Department: <u>ACHD</u> Address: <u>3901 Penn Avenue, Building #5, Pittsburgh, PA 15224-1318</u> Telephone Number: <u>412-578-8046</u>

SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)

This component does not limit county planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The county planning agency must complete this component within 60 days.
 This component and any additional comments are to be returned to the applicant.

1. PROJECT INFORMATION

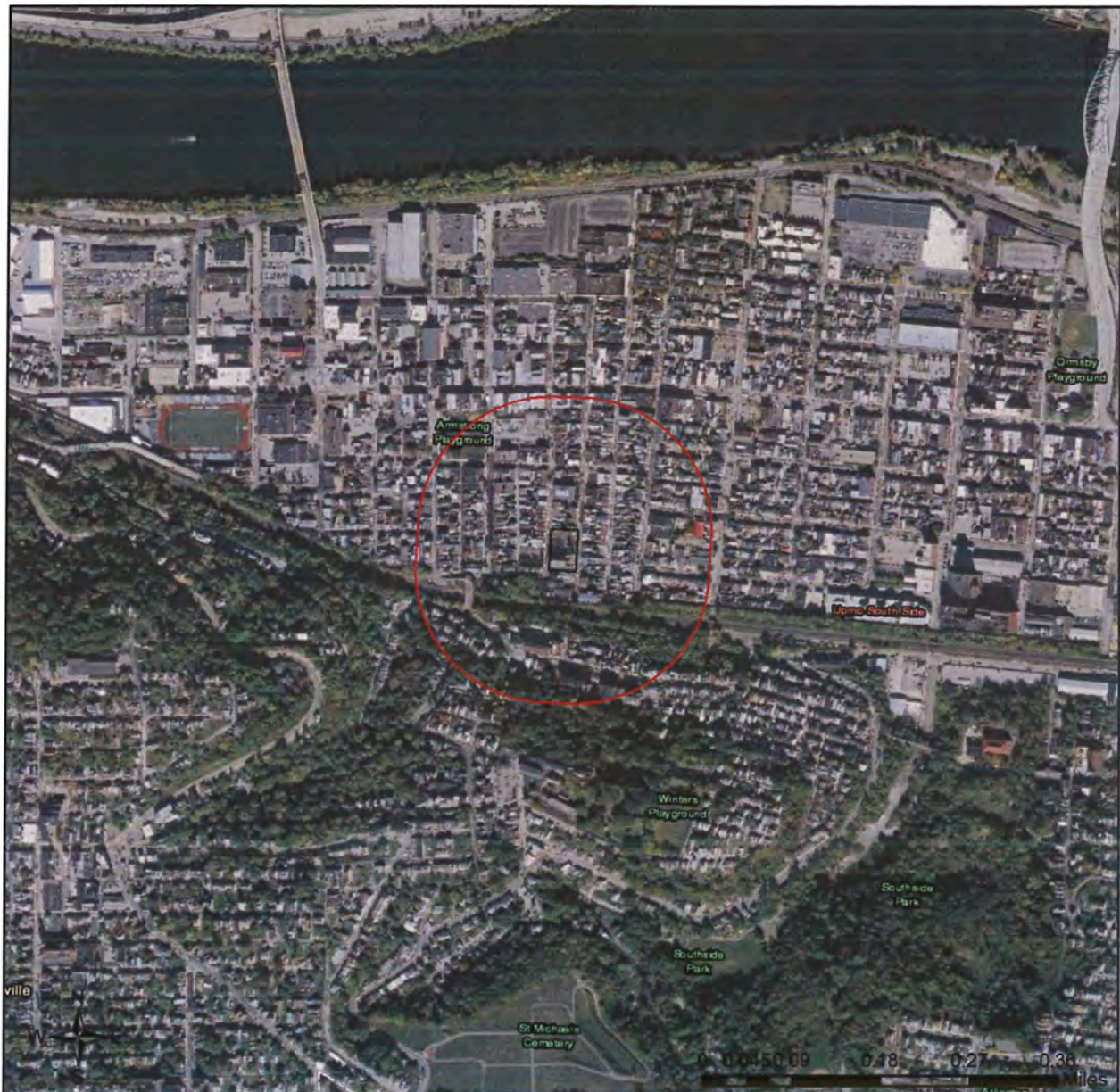
Project Name: **The Auditorium Condos**
Date of Review: **12/7/2021 04:46:36 PM**
Project Category: **Development, Other**
Project Area: **0.74 acres**
County(s): **Allegheny**
Township/Municipality(s): **PITTSBURGH**
ZIP Code:
Quadrangle Name(s): **PITTSBURGH EAST**
Watersheds HUC 8: **Lower Monongahela**
Watersheds HUC 12: **Streets Run-Monongahela River**
Decimal Degrees: **40.426412, -79.983820**
Degrees Minutes Seconds: **40° 25' 35.815" N, 79° 59' 1.7505" W**

2. SEARCH RESULTS

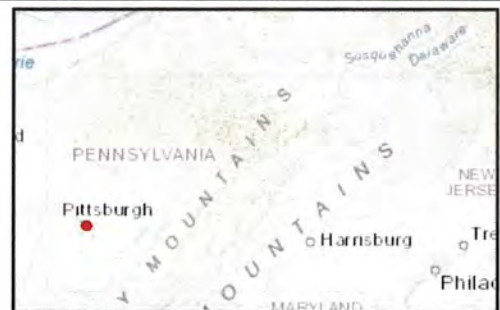
Agency	Results	Response
PA Game Commission	No Known Impact	No Further Review Required
PA Department of Conservation and Natural Resources	No Known Impact	No Further Review Required
PA Fish and Boat Commission	No Known Impact	No Further Review Required
U.S. Fish and Wildlife Service	No Known Impact	No Further Review Required

As summarized above, Pennsylvania Natural Diversity Inventory (PNDI) records indicate no known impacts to threatened and endangered species and/or special concern species and resources within the project area. Therefore, based on the information you provided, no further coordination is required with the jurisdictional agencies. This response does not reflect potential agency concerns regarding impacts to other ecological resources, such as wetlands.

The Auditorium Condos

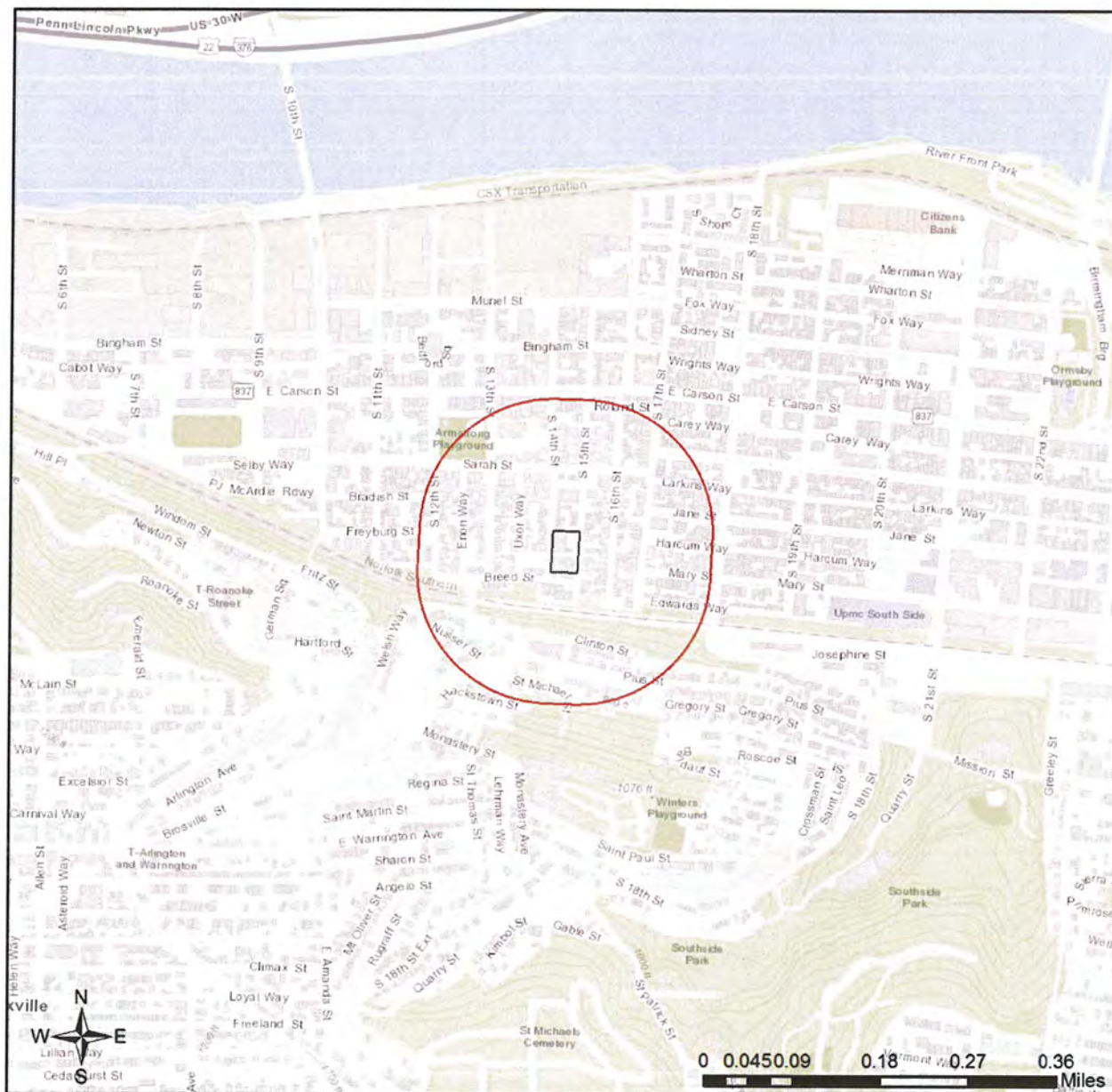


- Project Boundary
- Buffered Project Boundary



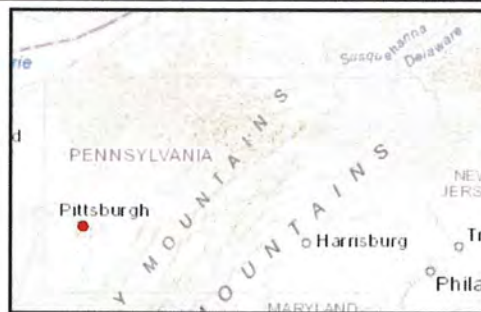
Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community
Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community
Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China

The Auditorium Condos



- Project Boundary
- Buffered Project Boundary

Service Layer Credits: Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community



RESPONSE TO QUESTION(S) ASKED

Q1: The proposed project is in the range of the Indiana bat. Describe how the project will affect bat habitat (forests, woodlots and trees) and indicate what measures will be taken in consideration of this. Round acreages up to the nearest acre (e.g., 0.2 acres = 1 acre).

Your answer is: No forests, woodlots or trees will be affected by the project.

Q2: Is tree removal, tree cutting or forest clearing of 40 acres or more necessary to implement all aspects of this project?

Your answer is: No

3. AGENCY COMMENTS

Regardless of whether a DEP permit is necessary for this proposed project, any potential impacts to threatened and endangered species and/or special concern species and resources must be resolved with the appropriate jurisdictional agency. In some cases, a permit or authorization from the jurisdictional agency may be needed if adverse impacts to these species and habitats cannot be avoided.

These agency determinations and responses are **valid for two years** (from the date of the review), and are based on the project information that was provided, including the exact project location; the project type, description, and features; and any responses to questions that were generated during this search. If any of the following change: 1) project location, 2) project size or configuration, 3) project type, or 4) responses to the questions that were asked during the online review, the results of this review are not valid, and the review must be searched again via the PNDI Environmental Review Tool and resubmitted to the jurisdictional agencies. The PNDI tool is a primary screening tool, and a desktop review may reveal more or fewer impacts than what is listed on this PNDI receipt. The jurisdictional agencies **strongly advise against** conducting surveys for the species listed on the receipt prior to consultation with the agencies.

PA Game Commission

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

PA Department of Conservation and Natural Resources

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

PA Fish and Boat Commission

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

U.S. Fish and Wildlife Service

RESPONSE:

No impacts to **federally** listed or proposed species are anticipated. Therefore, no further consultation/coordination under the Endangered Species Act (87 Stat. 884, as amended; 16 U.S.C. 1531 et seq. is required. Because no take of federally listed species is anticipated, none is authorized. This response does not reflect potential Fish and Wildlife Service concerns under the Fish and Wildlife Coordination Act or other authorities.

4. DEP INFORMATION

The Pa Department of Environmental Protection (DEP) requires that a signed copy of this receipt, along with any required documentation from jurisdictional agencies concerning resolution of potential impacts, be submitted with applications for permits requiring PNDI review. Two review options are available to permit applicants for handling PNDI coordination in conjunction with DEP's permit review process involving either T&E Species or species of special concern. Under sequential review, the permit applicant performs a PNDI screening and completes all coordination with the appropriate jurisdictional agencies prior to submitting the permit application. The applicant will include with its application, both a PNDI receipt and/or a clearance letter from the jurisdictional agency if the PNDI Receipt shows a Potential Impact to a species or the applicant chooses to obtain letters directly from the jurisdictional agencies. Under concurrent review, DEP, where feasible, will allow technical review of the permit to occur concurrently with the T&E species consultation with the jurisdictional agency. The applicant must still supply a copy of the PNDI Receipt with its permit application. The PNDI Receipt should also be submitted to the appropriate agency according to directions on the PNDI Receipt. The applicant and the jurisdictional agency will work together to resolve the potential impact(s). See the DEP PNDI policy at <https://conservationexplorer.dcnr.pa.gov/content/resources>.

5. ADDITIONAL INFORMATION

The PNDI environmental review website is a preliminary screening tool. There are often delays in updating species status classifications. Because the proposed status represents the best available information regarding the conservation status of the species, state jurisdictional agency staff give the proposed statuses at least the same consideration as the current legal status. If surveys or further information reveal that a threatened and endangered and/or special concern species and resources exist in your project area, contact the appropriate jurisdictional agency/agencies immediately to identify and resolve any impacts.

For a list of species known to occur in the county where your project is located, please see the species lists by county found on the PA Natural Heritage Program (PNHP) home page (www.naturalheritage.state.pa.us). Also note that the PNDI Environmental Review Tool only contains information about species occurrences that have actually been reported to the PNHP.

6. AGENCY CONTACT INFORMATION

PA Department of Conservation and Natural Resources

Bureau of Forestry, Ecological Services Section
400 Market Street, PO Box 8552
Harrisburg, PA 17105-8552
Email: RA-HeritageReview@pa.gov

PA Fish and Boat Commission

Division of Environmental Services
595 E. Rolling Ridge Dr., Bellefonte, PA 16823
Email: RA-FBPACENOTIFY@pa.gov

U.S. Fish and Wildlife Service

Pennsylvania Field Office
Endangered Species Section
110 Radnor Rd; Suite 101
State College, PA 16801
Email: IR1_ESPenn@fws.gov
NO Faxes Please

PA Game Commission

Bureau of Wildlife Habitat Management
Division of Environmental Planning and Habitat Protection
2001 Elmerton Avenue, Harrisburg, PA 17110-9797
Email: RA-PGC_PNDI@pa.gov
NO Faxes Please

7. PROJECT CONTACT INFORMATION

Name: Adam Ballish
Company/Business Name: KV Resources, Inc.
Address: 22 South Linden Street
City, State, Zip: Duquesne, PA 15110
Phone: (412) 4696-9331 Fax: ()
Email: aballish@kvresources.com

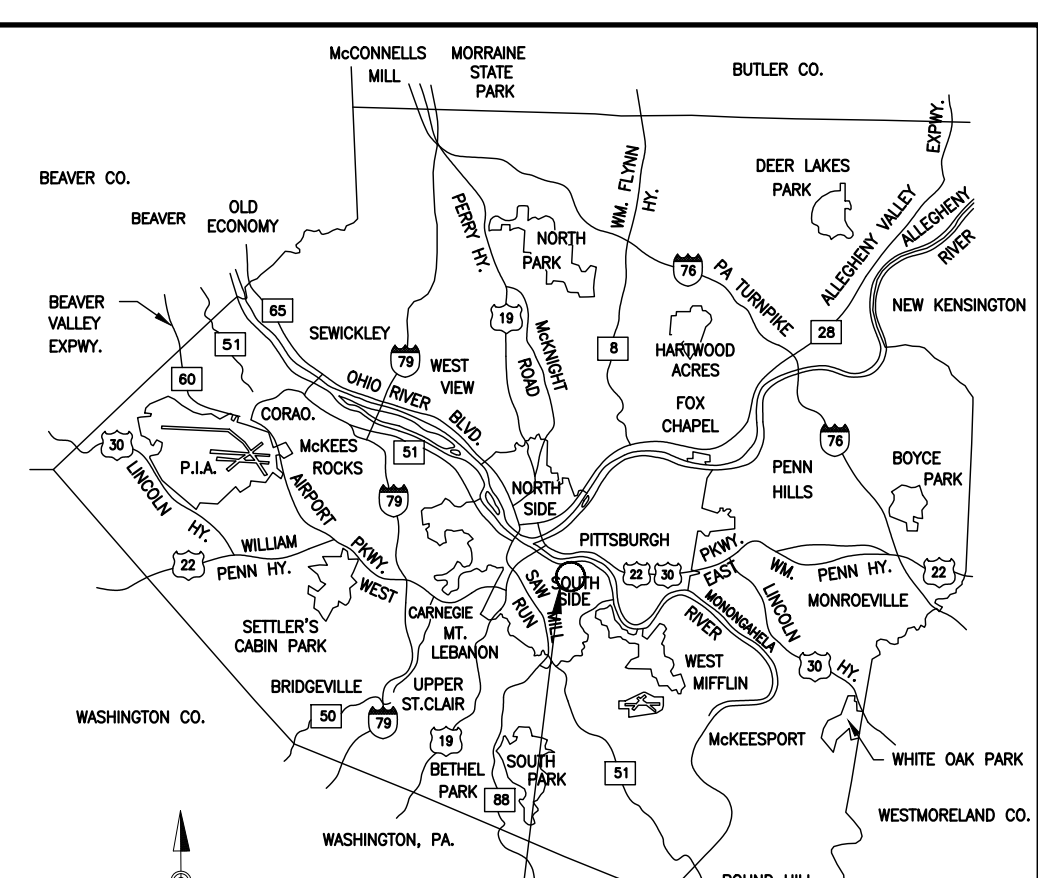
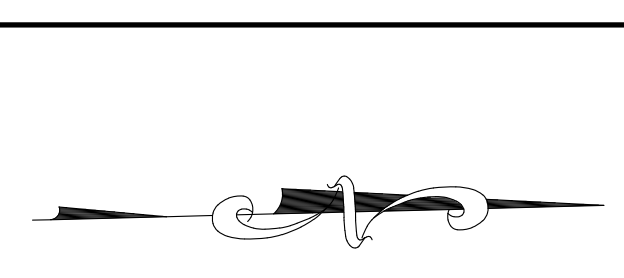
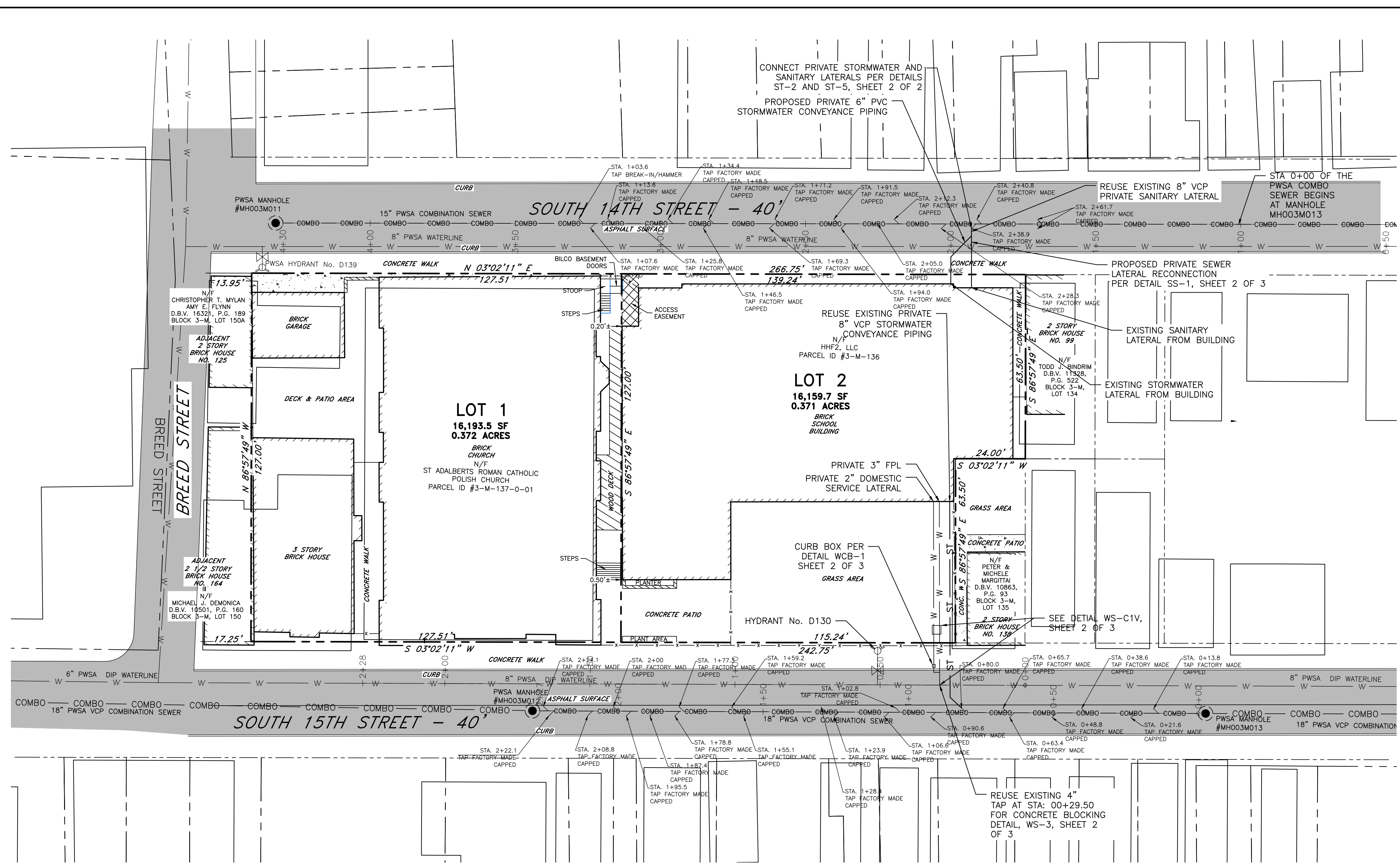
8. CERTIFICATION

I certify that ALL of the project information contained in this receipt (including project location, project size/configuration, project type, answers to questions) is true, accurate and complete. In addition, if the project type, location, size or configuration changes, or if the answers to any questions that were asked during this online review change, I agree to re-do the online environmental review.

Adam Ballish
applicant/project proponent signature

12/7/21
date

DRAWN BY: KGA 4/26/2021 CAD FILE NUMBER: 2101-TAP-PROJECT NUMBER: K:\CLIENTS\2101-AUD - THE AUDITORIUM\ADD\PRODUCTION\2101-TAP-IN-PLAN.DWG-TAP-IN-PLAN



WORK SITE LOCATION
LOCATION MAP
N.T.S.

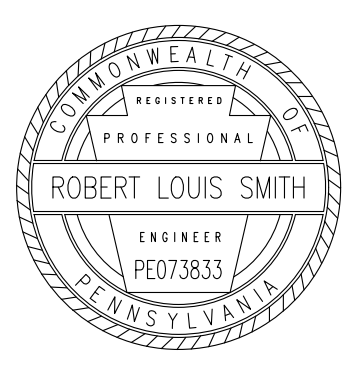
- THE PITTSBURGH WATER & SEWER AUTHORITY APPROVAL BLOCK
To be completed by the Applicant:
(Check all that apply)
- NEW WATER CONNECTION(S)
 - NEW SEWER CONNECTION(S)
 - REUSE EXISTING WATER CONNECTION(S)
 - REUSE EXISTING SEWER CONNECTION(S)
 - TERMINATE EXISTING WATER CONNECTION(S)
 - TERMINATE EXISTING SEWER CONNECTION(S)
 - PRIVATE CONSTRUCTION OF PUBLIC FACILITIES

To be completed by the PWSA:
(Required for ALL approvals)

REVIEWER _____
CHIEF OF OPERATIONS _____
(Required for "Private Construction of Public Facilities" ONLY)

DIRECTOR OF ENGINEERING AND CONSTRUCTION _____
PWSA PROJECT NUMBER 20014.64
TAP C RECORD NUMBER _____

Signatures / Approval by PWSA are for the physical connection(s) to the water and/or sewer system only. Responsibility for the design and work depicted by the drawings, including the flow design for the facilities, is by the Professional Engineer shown by the seal and signature affixed to the drawing. The PWSA does not represent or warrant that the water supply to the facilities is sufficient to support the design.



PGH₂O
Pittsburgh
Water & Sewer
Authority

PREPARED BY: **KU Resources, Inc.**
22 South Linden Street
Duquesne, PA 15110
412.469.9331
412.469.9336 fax
www.kuresources.com

HHF 2, LLC
941 PENNY AVE, APT 601
PITTSBURGH, PA 15222
WATER & SEWER SERVICE TAP-IN

THE AUDITORIUM
154 S. 15TH STREET,
PITTSBURGH, PA 15203

EXISTING PWSA
ACCOUNT NUMBER:
1213288-5053397

EXISTING PWSA
METER NUMBER:
1176050566

PEAK OPERATING WATER DEMANDS
To be completed by the Applicant:

METER INFORMATION				DOMESTIC SYSTEM		FIRE SYSTEM		
I.D.	QUANTITY	SIZE	TYPE	USE	FLOW, GPM	PRESSURE, PSI	FLOW, GPM	PRESSURE, PSI
A	1	5/8x3/4"	POSITIVE DISPLACEMENT	FIRE			636.1	79
B	1	1.5"	POSITIVE DISPLACEMENT	DOMESTIC	51	80		
C								
D								
E								

METER SIZE: 1/2", 3/4", 1", 1.5", 2", 3", 4", 6", 8", 10", 12", 16"
METER TYPE: POSITIVE DISPLACEMENT, COMPOUND, ELECTROMAGNETIC, ULTRASONIC, TURBINE
METER USE: DOMESTIC, FIRE, COMBINATION

HYDRANT FLOW TEST RESULTS
To be completed by the Applicant:

DATE OF TEST 04/27/2021
HYDRANT PERMIT NUMBER 21-0101
PERFORMED BY ADVANCED SPRINKLER COMPANY

FLOW HYDRANT
HYDRANT NUMBER D-130
LOCATION SOUTH 15TH STREET
FLOW OBSERVED, GPM 1190

PRESSURE HYDRANT
HYDRANT NUMBER Q2262
LOCATION SOUTH 16 STREET
STATIC PRESSURE, PSI 90
RESIDUAL PRESSURE, PSI 87

CALCULATIONS
PROJECTED FLOW AT 20 PSI, GPM 6,520

SPRINKLER SYSTEM DESIGN INFORMATION
To be completed by the Applicant:
LOCATION(S): 154 S 15TH ST., PITTSBURGH PA 15203

TYPE OF SYSTEM (Check one)
 13D
 13R
 13
OTHER: _____

SYSTEM CONFIGURATION (Check one)
 STAND-ALONE SPRINKLER SYSTEM
 MULTI-PURPOSE SPRINKLER SYSTEM

HOSE DEMANDS (N/A for 13D systems)
INSIDE HOSE DEMAND, GPM 0
OUTSIDE HOSE DEMAND, GPM 250

PEAK DAILY FLOW DEMANDS
To be completed by the Applicant:

TYPE OF FLOW	SANITARY, GPD	WATER, GPD	STORM, CFS
PROJECT FLOW	5,600	5,600	1.01
EXISTING FLOW	202	202	1.01
NET FLOW	5,398	5,398	NOT REQUIRED

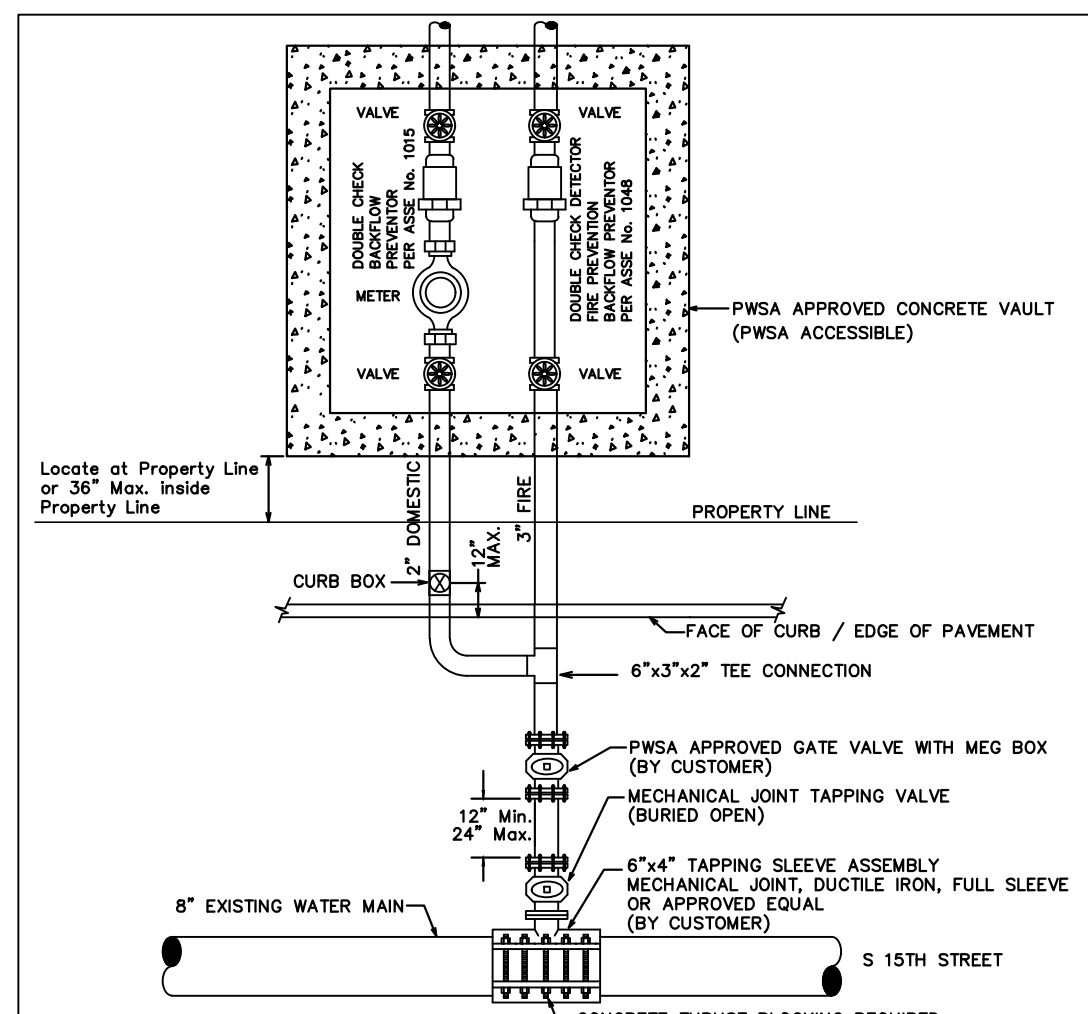
PWSA W&S USE APPROVAL DATE (if required) _____
DEP SFPM APPROVAL DATE (if required) _____



CALL BEFORE YOU DIG!
 PENNSYLVANIA LAW REQUIRES 3 WORKING NOTICE CONSTRUCTION PHASE AND 10 WORKING DAYS DESIGN STAGE. STOP CALL PENNSYLVANIA CALL SYSTEM, INC.
ONECALL # 20212282670
PENNSYLVANIA ACT 187 (1996) NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON INTENDING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH, CALL PENNSYLVANIA ONE CALL SYSTEM, INC. AT 1-800-645-1176 BEFORE ANY DISTURBANCE.

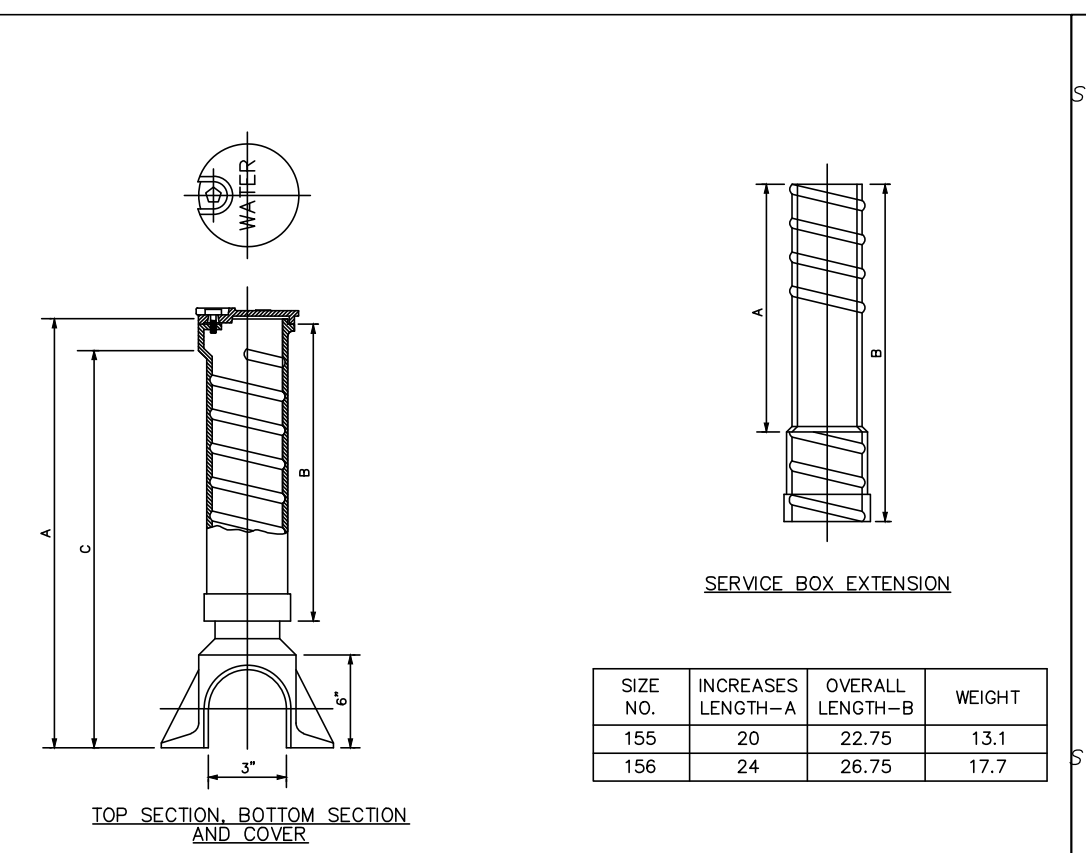
PLAN SCALE: 1" = 20'
DATE: AUGUST 2, 2021 SHEET _____
REV 1: SEPTEMBER 15, 2021 1 OF 3
REV 2: OCTOBER 15, 2021 CASE NO. _____
REV 3: NOVEMBER 4, 2021

DRAWN BY: RRA 4/26/2021 CAD FILE NUMBER: 21201-TAP-PROJECT NUMBER: 21201-TAP-IN-DETAILS-DWG-SHEET 2



- NOTES:**
- PWSA PERFORMS ACTUAL TAP TO MAIN ONLY AND MAINTAINS METER; ALL OTHER WORK BY CUSTOMER.
 - TAPPING TEE SHALL BE FULL SLEEVE; SADDLE STYLE NOT PERMITTED.
 - CUSTOMER IS REQUIRED TO ENTER VALUES FOR ALL DIMENSION FIELDS ABOVE.
 - CUT-IN TEE CONNECTION ALSO ACCEPTABLE AND IS REQUIRED FOR SIZE ON SIZE (e.g. 8" TAP ON 8" MAIN).
 - CENTRING OF TAPPING TEE CONNECTION SHALL BE 18" MINIMUM FROM EXISTING WATER MAIN BELL/HUB OR OTHER EXISTING SERVICE CONNECTIONS.
 - CUSTOMER IS RESPONSIBLE FOR VAULT AND CONDUIT MAINTENANCE, AND OWNS, INCLUDING THE TAPPING TEE ASSEMBLY, FROM THE MAIN TO THE BUILDING.
 - ADDITIONAL BACKFLOW PREVENTION (RP2 TYPE) REQUIRED INTERNALLY ON COMMERCIAL OR HIGH HAZARD PROPERTIES.
 - ALL VALVES MUST BE "RIGHT TURN TO OPEN".
 - PRIVATE SERVICE LINE MATERIAL AND EQUIPMENT SHALL CONFORM TO ALLEGHENY COUNTY PLUMBING CODE, ARTICLE XV.

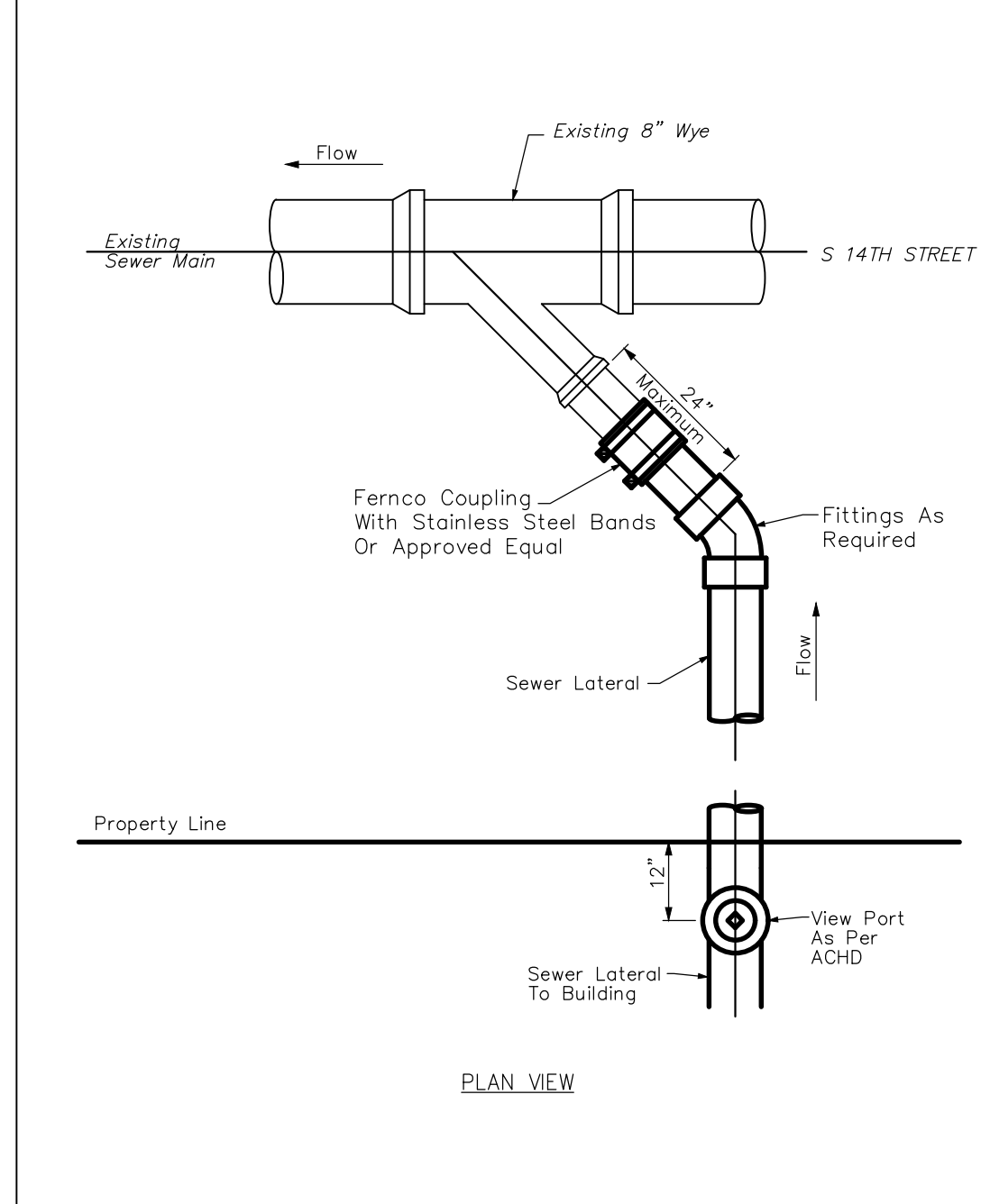
REVISIONS	PGH&O	The Pittsburgh Water and Sewer Authority	Commercial And Multi-Family Water Service Connection For Fire And Domestic Tap-In Vault
Approved by:	Pittsburgh Water & Sewer Authority	Scale: N.T.S.	Supplemental Detail Drawing: WS-C1V



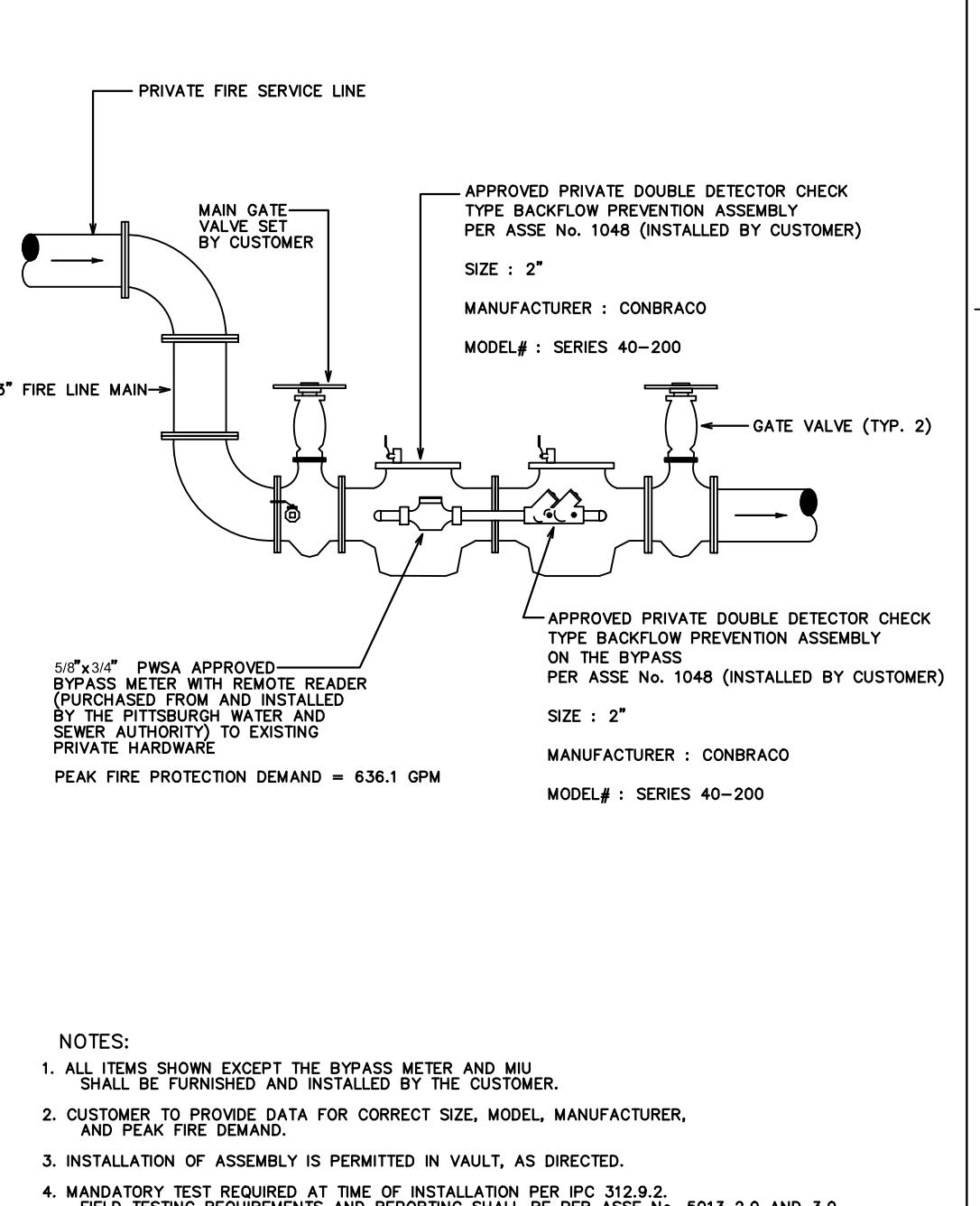
SIZE	EXTENSION RANGE - A	TOP SECTION & COVER NO.	TOP SECTION & COVER WEIGHT	BOTTOM SECTION DIM. B	BOTTOM SECTION NO.	BOTTOM SECTION WEIGHT	TOTAL DIM. C	TOTAL WEIGHT
155	20	2	19.6	18	2	14.1	23.0	32.7
156	24	9	19.6	18	2	14.1	23.0	32.7

- NOTES:**
- SERVICE BOX SHALL BE BINGHAM & TAYLOR BUFFALO STYLE (3" OLD STYLE), No. 4930 OR APPROVED EQUAL.
 - DIMENSIONS IN INCHES. WEIGHT IN POUNDS.
 - LABELLED "WATER" ON THE COVER.

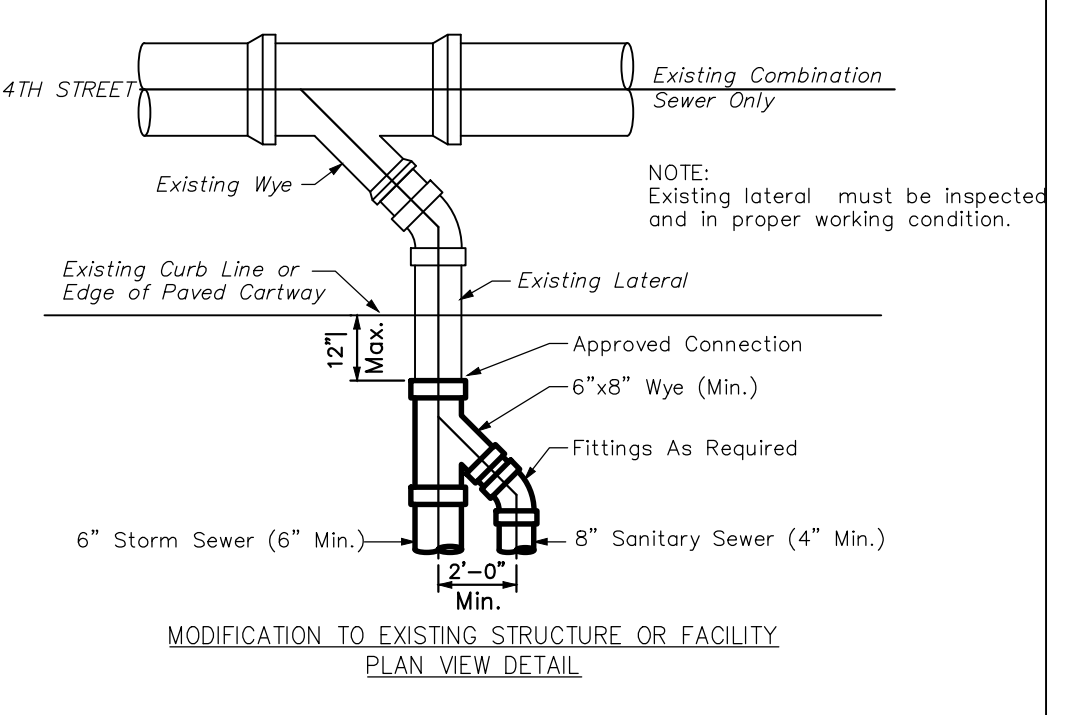
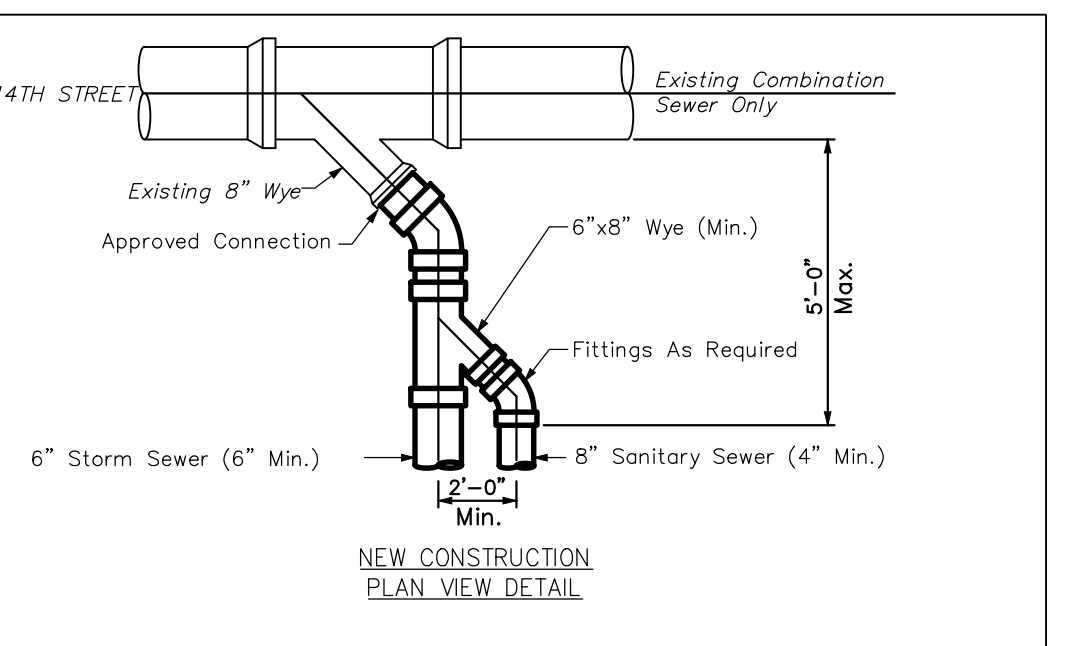
REVISIONS	PGH&O	The Pittsburgh Water and Sewer Authority	3" Curb Service Box
Approved by:	Pittsburgh Water & Sewer Authority	Scale: N.T.S.	Supplemental Detail Drawing: WCB-1



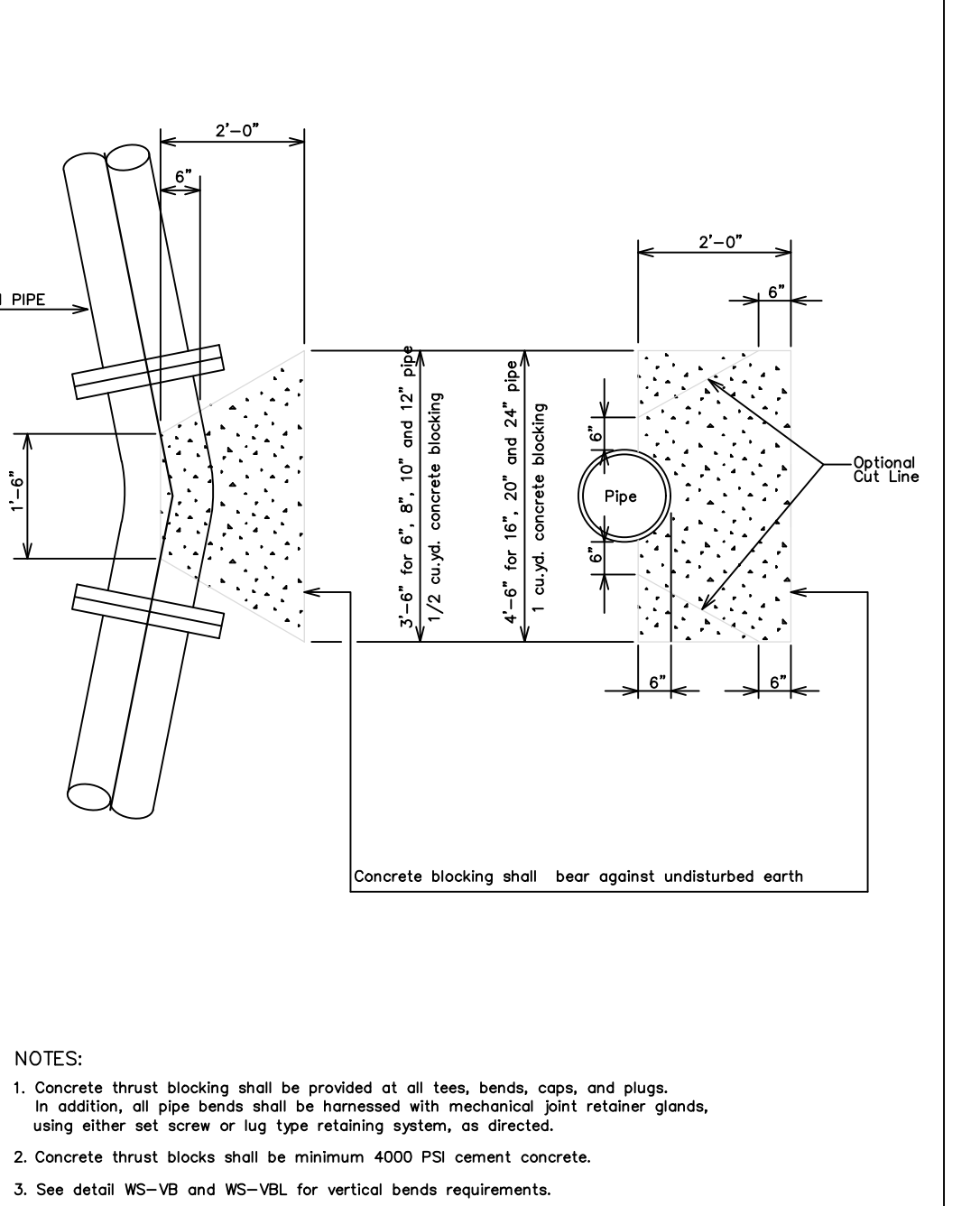
REVISIONS	PGH&O	The Pittsburgh Water and Sewer Authority	Sewer Tap To Existing Sewer Wye
Approved by:	Pittsburgh Water & Sewer Authority	Scale: N.T.S.	Supplemental Detail Drawing: ST-2



REVISIONS	PGH&O	The Pittsburgh Water and Sewer Authority	Typical Plumbing Schematic Low Hazard Fire Protection Service
Approved by:	Pittsburgh Water & Sewer Authority	Scale: N.T.S.	Supplemental Detail Drawing: WS-5FPLH



REVISIONS	PGH&O	The Pittsburgh Water and Sewer Authority	Separated House Lateral One Connection To Main
Approved by:	Pittsburgh Water & Sewer Authority	Scale: N.T.S.	Supplemental Detail Drawing: ST-5



REVISIONS	PGH&O	The Pittsburgh Water and Sewer Authority	Concrete Blocking For Pressure Pipe
Approved by:	Pittsburgh Water & Sewer Authority	Scale: N.T.S.	Supplemental Detail Drawing: WS-3

THE PITTSBURGH WATER & SEWER AUTHORITY APPROVAL BLOCK

To be completed by the Applicant:
(Check all that apply)

NEW WATER CONNECTION(S)
 NEW SEWER CONNECTION(S)
 REUSE EXISTING WATER CONNECTION(S)
 REUSE EXISTING SEWER CONNECTION(S)
 TERMINATE EXISTING WATER CONNECTION(S)
 TERMINATE EXISTING SEWER CONNECTION(S)
 PRIVATE CONSTRUCTION OF PUBLIC FACILITIES

To be completed by the PWSA:
(Required for ALL approvals)

REVIEWER _____

CHIEF OF OPERATIONS _____

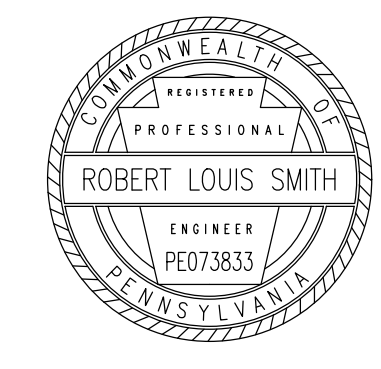
(Required for "Private Construction of Public Facilities" ONLY)

DIRECTOR OF ENGINEERING AND CONSTRUCTION _____

PWSA PROJECT NUMBER _____

TAP C RECORD NUMBER _____

Signatures / Approval by PWSA are for the physical connection(s) to the water and/or sewer system only. Responsibility for the design and work depicted by the drawings, including the flow design for the facilities, is by the Professional Engineer shown by the seal and signature affixed to the drawing. The PWSA does not represent or warrant that the water supply to the facilities is sufficient to support the design.



PREPARED BY: **KU Resources, Inc.**
 22 South Linden Street
 Duquesne, PA 15110
 412.469.9331
 412.469.9336 fax
www.kuresources.com

EXISTING PWSA ACCOUNT NUMBER: 1213288-5053397
 EXISTING PWSA METER NUMBER: 1176050566

CALL BEFORE YOU DIG!
 PENNSYLVANIA LAW REQUIRES A WORKING NOTICE CONSTRUCTION PHASE AND 10 WORKING DAYS IN ADVANCE. STOP CALL PENNSYLVANIA ONE CALL SYSTEM, INC.
ONECALL # 20212282670
 PENNSYLVANIA ACT 187 (1986) NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH SHALL PENNSYLVANIA ONE CALL SYSTEM, INC. AT 1-800-484-7479 BEFORE ANY DISTURBANCE.

HHF 2, LLC
 941 PENNY AVE, APT 601
 PITTSBURGH, PA 15222
 WATER & SEWER SERVICE TAP-IN

THE AUDITORIUM
 154 S. 15TH STREET,
 PITTSBURGH, PA 15203

PLAN SCALE: N.T.S.

DATE: AUGUST 2, 2021 SHEET _____ ACCESSION NO. _____
 REV 1: SEPTEMBER 15, 2021 2 OF 3
 REV 3: NOVEMBER 4, 2021 CASE NO. _____

THE PITTSBURGH WATER & SEWER AUTHORITY APPROVAL BLOCK

To be completed by the Applicant:
(Check all that apply)
 NEW WATER CONNECTION(S)
 NEW SEWER CONNECTION(S)
 REUSE EXISTING WATER CONNECTION(S)
 REUSE EXISTING SEWER CONNECTION(S)
 TERMINATE EXISTING WATER CONNECTION(S)
 TERMINATE EXISTING SEWER CONNECTION(S)
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To be completed by the PWSA:
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REVIEWER _____

CHIEF OF OPERATIONS _____

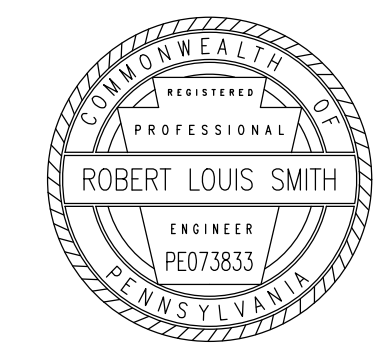
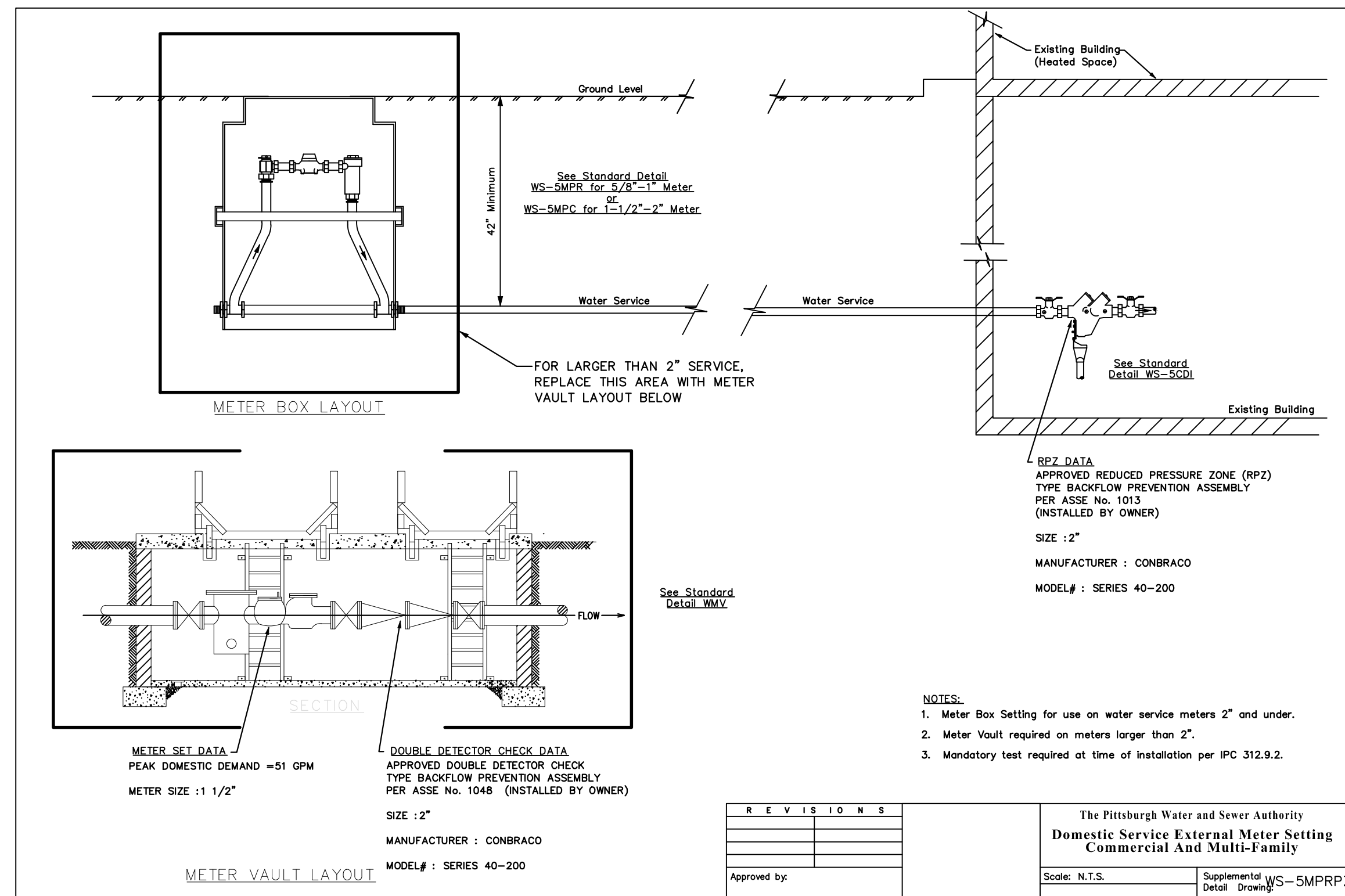
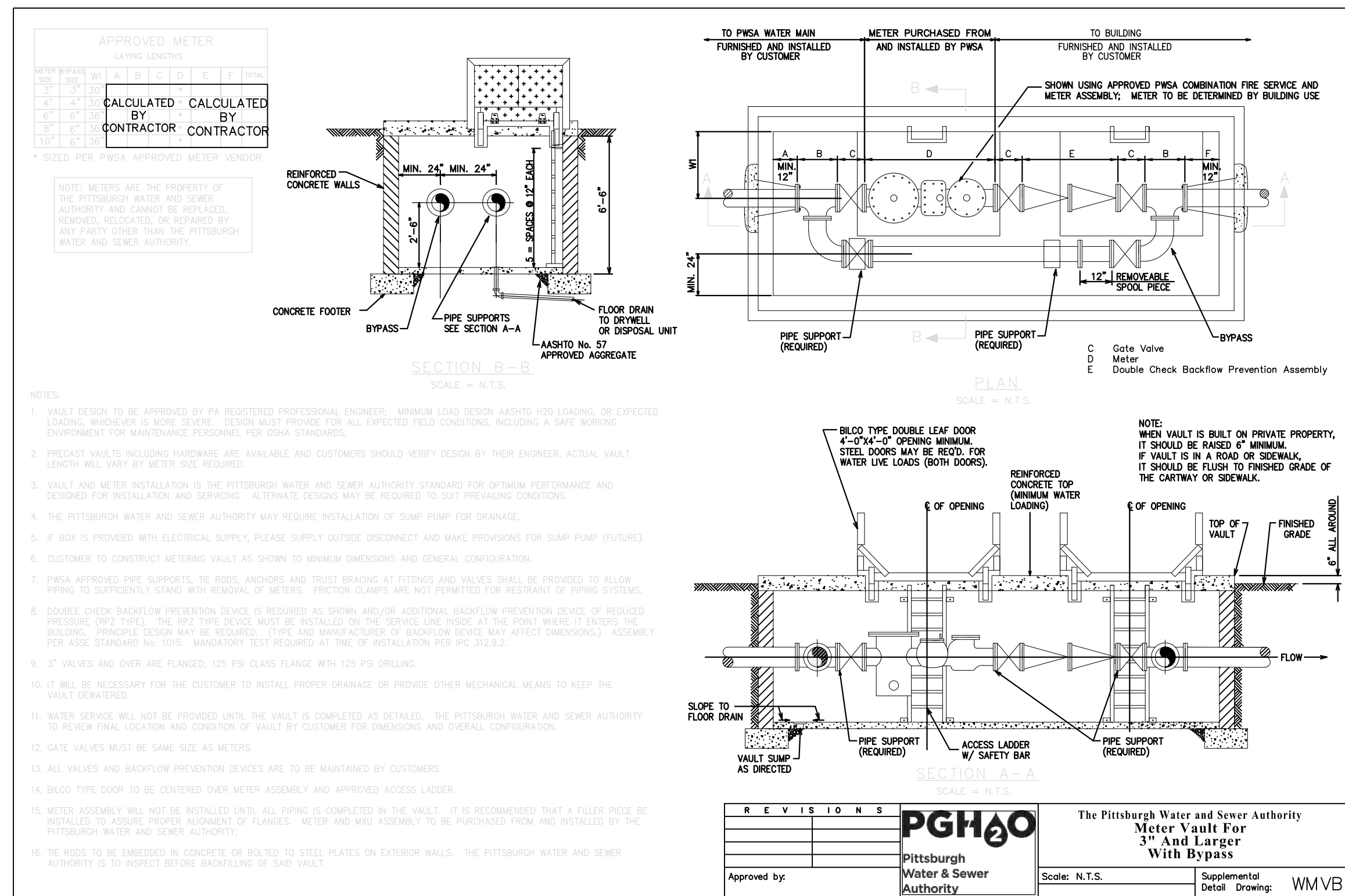
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DIRECTOR OF ENGINEERING AND CONSTRUCTION _____

PWSA PROJECT NUMBER _____

TAP C RECORD NUMBER _____

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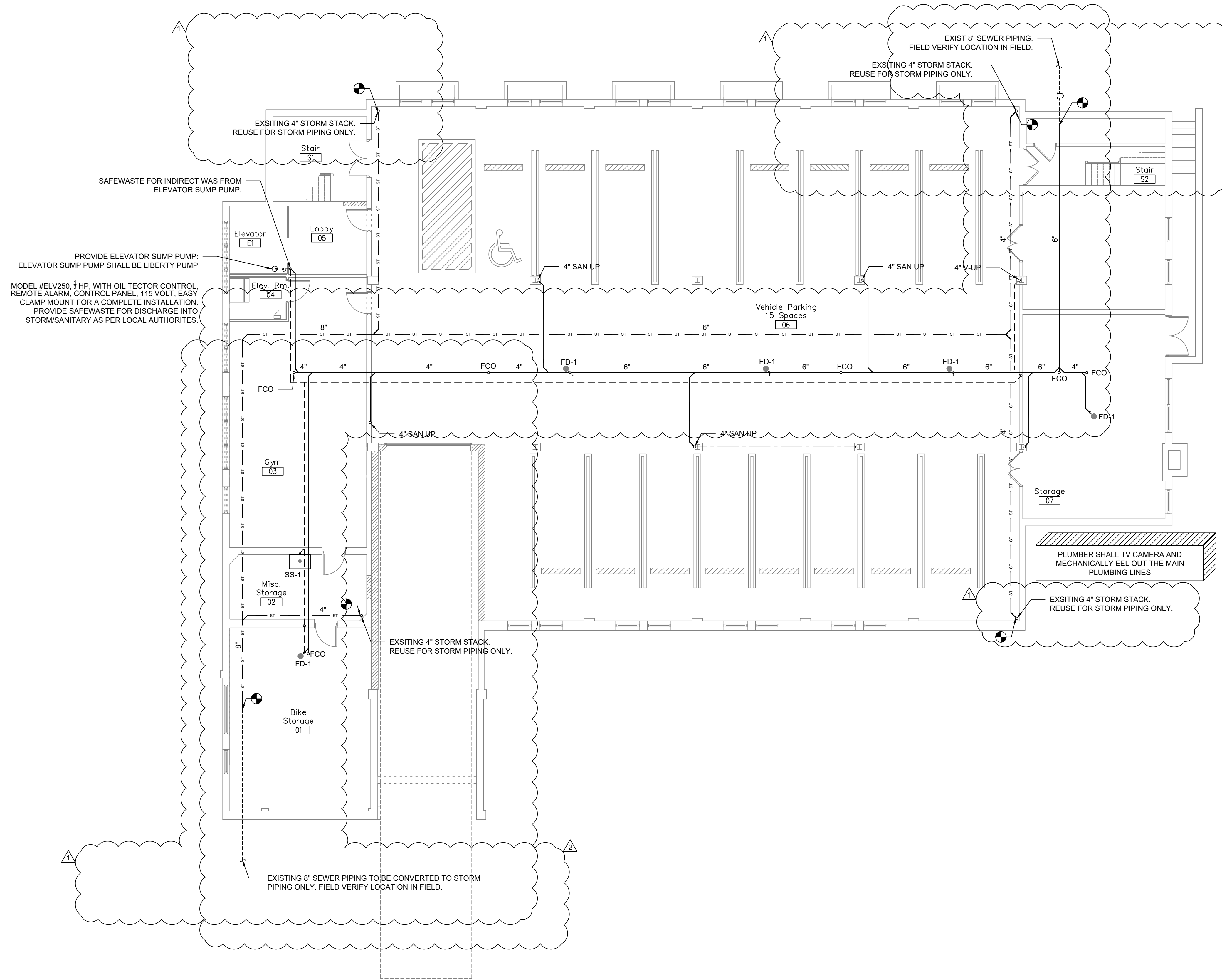
HHF 2, LLC
 941 PENNY AVE, APT 601
 PITTSBURGH, PA 15222
 WATER & SEWER SERVICE TAP-IN

THE AUDITORIUM
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 PITTSBURGH, PA 15203

EXISTING PWSA ACCOUNT NUMBER: 1213288-5053397
 EXISTING PWSA METER NUMBER: 1176050566

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 ONECALL # 20212282670
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PLAN SCALE: N.T.S.
 DATE: AUGUST 2, 2021 SHEET _____ ACCESSION NO. _____
 REV 1: SEPTEMBER 15, 2021 3 OF 3
 REV 2: OCTOBER 15, 2021 CASE NO. _____
 REV 3: NOVEMBER 4, 2021



SAFEWASTE FOR INDIRECT WAS FROM ELEVATOR SUMP PUMP.

PROVIDE ELEVATOR SUMP PUMP: ELEVATOR SUMP PUMP SHALL BE LIBERTY PUMP

MODEL #ELV250 1/4 HP WITH OIL TECTOR CONTROL REMOTE ALARM CONTROL PANEL, 115 VOLT, EASY CLAMP MOUNT FOR A COMPLETE INSTALLATION. PROVIDE SAFEWASTE FOR DISCHARGE INTO STORM/SANITARY AS PER LOCAL AUTHORITIES.

1
P1.0 **PLUMBING BASEMENT FLOOR SANITARY & VENT PLAN**
1/8"=1'-0"

NORTH

OWNERSHIP OF INSTRUMENTS OF SERVICE
ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND OTHER DOCUMENTS AND INSTRUMENTS PREPARED BY THE DESIGN PROFESSIONAL AS INSTRUMENTS OF SERVICES, SHALL REMAIN THE PROPERTY OF THE DESIGN PROFESSIONAL. THE DESIGN PROFESSIONAL SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT THEREON.



CLIENT/AGENT
Ivor Hill

PROJECT
15th Street Residences
154 S. 15th Street, Pittsburgh, PA 15203
PLUMBING BASEMENT FLOOR PLAN



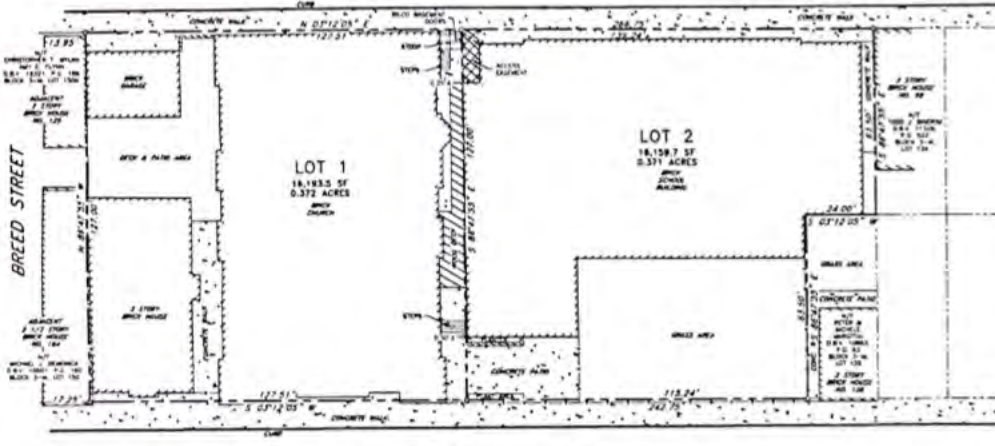
NO.	DATE	DESCRIPTION
2	4/8/2021	LPM STP
1	4/12/2021	LPM STP

Drawn: EPB
Checked: STP
Date: 02/19/21
Scale: NOTED
Job No: 203169

P1.0
OF 8



SOUTH FOURTEENTH STREET - 40'



SOUTH FIFTEENTH STREET - 40'

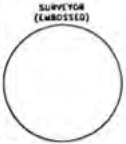
PROPERTY INFORMATION	
SITE ADDRESS	182 SOUTH 15TH ST 1700 MANLY CTR W PITTSBURGH
COUNTY	ALLEGHENY
USE MAP NO.	BLOCK 2-W, LOT 137-01 BLOCK 2-W, LOT 137-02
GRID REFERENCE	D.B.V. 228, PG. 425 D.B.V. 448, PG. 144 D.B.V. 370, PG. 80
ZONING DISTRICT	R-1-00
MIN. LOT SIZE	1,200 S.F.
MIN. FRONT SETBACK	5
MIN. REAR SETBACK	5
MIN. L.T. SIDEWALK SETBACK	5
MIN. INT. SIDEWALK SETBACK	5
MAX. BUILDING HEIGHT	40 FT. NOT TO EXCEED 3 STORIES
MAX. LOT SIZE PER UNIT	600 SQ.

LEGEND	
	PROPERTY LINE
	BOUNDARY LINE
	PROPERTY CORNER
	FENCE

TABULATION OF AREAS		
PARCEL	SQ. FT.	ACRES
LOT 1	18,183.5	0.372
LOT 2	18,159.7	0.371
TOTAL	32,343.2	0.743

NOTE

1. THIS PLAN IS A SUBDIVISION OF BLOCK 2-W, LOT 137-0-1 AND 2-W, LOT 137-0-2



ALL SIGNATURES MUST BE MADE IN BLUE INK.

I, THE MOST REVEREND DAVID A. ZUBIK, BISHOP OF THE ROMAN CATHOLIC DIOCESE OF PITTSBURGH, TRUSTEE FOR PARISH OF PEACE PARISH - CHARITABLE TRUST, OWNER OF THE LAND SHOWN ON THE ST. ADALBERT SUBDIVISION, HEREBY ADOPT THIS PLAN AS MY PLAN OF LOTS AND IRREVOCABLY DEDICATE ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION TO THE PLAN TO THE CITY OF PITTSBURGH. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON MY HEIRS, EXECUTORS, AND ASSIGNS.

IN WITNESS OF WHICH, TO THIS I SET MY HAND AND SEAL THIS _____ DAY OF _____

ATTEST:

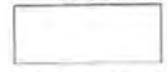
NOTARY PUBLIC

THE VERY REVEREND LAWRENCE A. DINARDO
ATTORNEY IN FACT FOR THE MOST
REVEREND DAVID A. ZUBIK
AS RECORDED IN POWER OF ATTORNEY
BOOK VOLUME 831, PG. 202

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF ALLEGHENY, PERSONALLY APPEARED THE VERY REVEREND LAWRENCE A. DINARDO, ATTORNEY IN FACT FOR THE MOST REVEREND DAVID A. ZUBIK, TRUSTEE, AND ACKNOWLEDGED THE FOREGOING ADOPTION AND DEDICATION TO BE HIS ACT.

WITNESS MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____
MY COMMISSION EXPIRES THE _____ DAY OF _____

NOTARIAL SEAL:



NOTARY PUBLIC

I, THE MOST REVEREND DAVID A. ZUBIK, BISHOP OF THE ROMAN CATHOLIC DIOCESE OF PITTSBURGH, TRUSTEE, HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE ST. ADALBERT SUBDIVISION IS IN THE NAME OF THE MOST REVEREND DAVID A. ZUBIK AS RECORDED IN D.B.V. 753, PG. 77, IN THE NAME OF THE MOST ST. REVEREND RICHARD PHILLAN AS RECORDED IN D.B.V. 875, PG. 137 AND D.B.V. 710, PG. 78 & 81, IN THE NAME OF ST. REVEREND REGIS CANOVIN AS RECORDED IN D.B.V. 1485, PG. 81 AND D.B.V. 1729, PG. 28. I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LEASE OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY.

WITNESS

THE VERY REVEREND LAWRENCE A. DINARDO
ATTORNEY IN FACT FOR THE MOST
REVEREND DAVID A. ZUBIK AS RECORDED IN
POWER OF ATTORNEY
BOOK VOLUME 831, PG. 202

I CERTIFY THAT, TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF THE SURVEY AND PLAN SHOWN HEREON ARE CORRECT AND ACCURATE TO THE STANDARDS REQUIRED.

D48832-E

DATE: _____ SCOTT R. PILSTON, PLS. REGISTRATION NUMBER: _____

COMMONWEALTH OF PENNSYLVANIA) SE
COUNTY OF ALLEGHENY)

RECORDED IN THE OFFICE OF THE DEPARTMENT OF REAL ESTATE OF THE COUNTY OF ALLEGHENY, COMMONWEALTH OF

PENNSYLVANIA, IN PLAN BOOK VOLUME _____, PAGE _____

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, 20____

MANAGER

ST. ADALBERT SUBDIVISION

PREPARED FOR
PRINCE OF PEACE PARISH
CHARITABLE TRUST

SITUATED IN
CITY OF PITTSBURGH - 17TH WARD
ALLEGHENY COUNTY - PENNSYLVANIA



DRAWN BY	PLS	PROJECT NO.	20813
CHECKED BY	JSD	SCALE	1"=20'
APPROVED BY	SWP	DATE	6-14-17
BLOCK	174		
PLAT	1000-1000		
NO.			1 OF 1

September 29, 2021

Bob Smith
KU Resources
22 South Linden Street
Duquesne, PA 15110

Subject: Water and Sewer (W&S) Use Approval
Project Name: 154 South 15th Street (Project)
PWSA Project No.: 20014.64

Dear Bob:

The W&S Use Application for the Project has been approved, as summarized below:

Type of Flow	Sanitary, gpd	Water, gpd
<i>Project Flow</i>	5600	5600
<i>Existing Flow</i>	202	202
<i>Net Flow</i>	5398	5398

The PWSA shall request the Department of Environmental Protection (DEP) to issue a Final Determination on the Need for Sewage Planning. If sewage planning is required, we have enclosed for your use the location of the most limited capacity sewer (MLCS). The hydraulic capacity of the MLCS shall be determined via the following method:

- Peak Flow Depth Measurements (Sanitary Net Flow \leq 4,000 gpd)
- Flow Monitoring (Sanitary Net Flow $>$ 4,000 gpd)

Our review was based on information provided by others under the assumption that this information was accurate and complete. Should you have any questions, please do not hesitate to contact me directly at 412-255-8800 x6875 or awynn@pgh2o.com.

Sincerely,

Ari Wynn
Co-op Intern

Enclosure(s)

cc: Barry King, PE, PMP – PWSA (via email)
Kate Mechler, PE – PWSA (via email)
Robert Herring, PE, PMP – PWSA (via email)
eBuilder – Filing System (via email)



Water and Sewer Use Application Form

Instructions The complete W/S Use Application shall be uploaded via e-builder. To obtain an e-builder project folder, please make a request on our website at www.pgh2o.com/permits. In addition, please refer to the Developer’s Manual for detailed information on application requirements.

Requirements Application Fee W/S Use Application Site Plans
 Floor Plans Narrative Flow Calculations

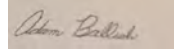
Project Info Project Name: Auditorium Condos
Address: 154 S 15th Street, Pittsburgh PA 15203
Is the Project located on a lot created prior to May 15, 1972? YES NO
Has the lot previously received DEP sewage planning approval? YES NO

Owner/Developer Firm Name: HHF LLC
Address: 941 Penny Ave, Apt 601
Contact Name: Pittsburgh PA 15222
Email: ivorhill@icloud.com
Phone Number: 1-847-910-3927

Consultant Firm Name: KU Resources, Inc.
Address: 22 South Linden Street
Contact Name: Robert Smith, PE
Email: bsmith@kuresources.com
Phone Number: 412-469-9331

Flow Data

Type of Flow	Sanitary, gpd	Water, gpd
Project Flow	5,600	5,600
Existing Flow	202	202
Net Flow	5,398	5,398

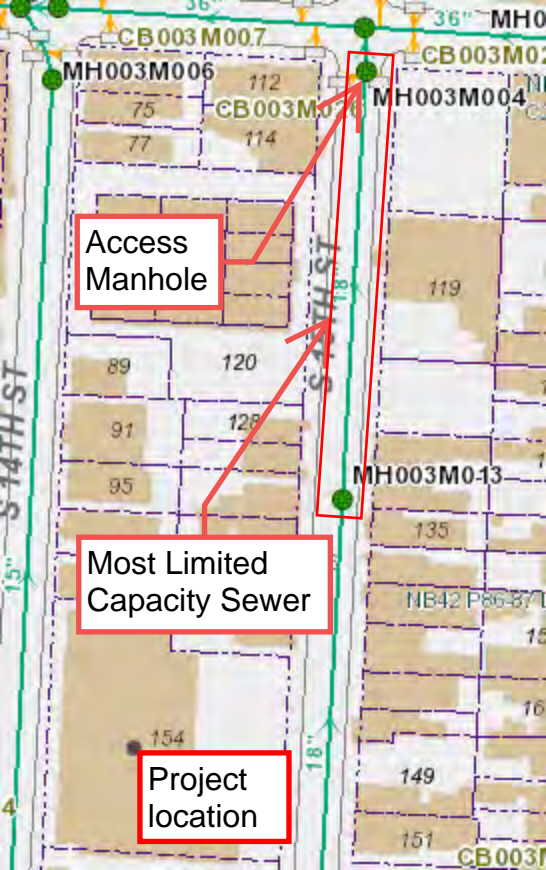
Signature By signing below, I hereby certify, to the best of my knowledge, that the information provided within the Water and Sewer Use Application is true, complete and accurate.
Name, printed: Adam Ballish
Signature: 
Date: 10/05/2021

Most Limited Capacity Sewer (MLCS) Spreadsheet

PROJECT NAME:	154 South 15th Street
PWSA PROJECT NUMBER:	20014.64
PWSA REVIEWER:	Ari Wynn
DATE:	September 17, 2021

LEGEND:	Output Data
	Input Data
	Questionable Data
	Hydraulically Limited Sewer

Upstream MH	Downstream MH	Upstream Invert	Downstream Invert	Length, ft	Diam., in.	Material	n	Area, sf	Wetted P, ft	Slope	Flow, gpd
MH003M012	MH003M013	754.30	750.30	222.41	18	VCP	0.015	1.77	4.712	1.80%	7,912,006
MH003M013	MH003M004	750.30	748.40	233.07	18	VCP	0.015	1.77	4.712	0.82%	5,326,812
MH003M004	MH003M003	748.40	746.00	24.40	18	VCP	0.015	1.77	4.712	9.84%	18,503,099
MH003M003	MH003M029	746.00	745.40	167.25	36	Concrete	0.013	7.07	9.425	0.36%	25,889,334
MH003M029	MH003M005	745.40	745.00	20.57	36	Concrete	0.013	7.07	9.425	1.94%	60,275,548
MH003M005	JCT003M003	745.00	744.10	169.33	36	Concrete	0.013	7.07	9.425	0.53%	31,512,482
JCT003M003	MH003M007	744.10	741.70	165.29	36	Concrete	0.013	7.07	9.425	1.45%	52,084,758
MH003M007	MH003M016	741.70	741.20	256.94	42	Concrete	0.013	9.62	10.996	0.19%	28,762,209
MH003M016	MH003M017	741.20	741.00	35.48	42	Concrete	0.013	9.62	10.996	0.56%	48,952,658
MH003M017	MH003M018	741.00	740.80	16.92	42	Concrete	0.013	9.62	10.996	1.18%	70,887,214
MH003M018	MH003M019	740.80	739.80	31.96	42	Concrete	0.013	9.62	10.996	3.13%	115,331,968
MH003M019	JCT003L002	739.80	739.70	261.54	48	Brick	0.016	12.57	12.566	0.04%	14,789,469
JCT003L002	MH003L003	739.70	731.80	304.18	48	Brick	0.016	12.57	12.566	2.60%	121,890,503
MH003L003	MH003L001	731.80	728.20	341.06	72	Brick	0.016	28.27	18.850	1.06%	229,104,805
MH003L001	JCT003L001	728.20	726.20	58.02	78	Brick	0.016	33.18	20.420	3.45%	512,534,881
JCT003L001	JCT003G012	726.20	726.00	451.89	72	Brick	0.016	28.27	18.850	0.04%	46,913,407
JCT003G012	JCT003G011	726.00	725.50	4.57	72	Brick	0.016	28.27	18.850	10.94%	737,607,363
JCT003G011	MH003G025	725.50	724.60	20.92	72	Brick	0.016	28.27	18.850	4.30%	462,528,774
MH003G025	MH003G028	724.60	722.90	107.09	60	Brick	0.016	19.63	15.708	1.59%	172,781,943
MH003G028	JCT003G005	722.90	721.20	124.58	60	Brick	0.016	19.63	15.708	1.36%	160,194,887
JCT003G005	MH003G024	721.20	718.30	301.99	60	Brick	0.016	19.63	15.708	0.96%	134,385,085
MH003G024	MH003G026	718.30	707.20	251.41	66	Brick	0.016	23.76	17.279	4.42%	371,534,426
MH003G026	ADC003CM10	707.20	700.00	155.32	72	Concrete	0.013	28.27	18.850	4.64%	590,918,421



Access
Manhole

Most Limited
Capacity Sewer

Project
location

September 29, 2021

Mr. Thomas Flanagan
PA Department of Environmental Protection
Clean Water Program
400 Waterfront Drive
Pittsburgh, PA 15222

Subject: Preliminary Determination on the Need for Sewage Planning
Project Name: 154 South 15th Street
PWSA Project No.: 20014.64

Dear Mr. Flanagan:

Please be advised that the Pittsburgh Water and Sewer Authority has approved the Water and Sewer (W/S) Use Application for the aforementioned Project. We have enclosed the W/S Use Approval Letter and the supporting documentation. The approved sanitary flows are summarized below:

Type of Sanitary Flow	Definition	Flow, gpd
Project Flow	Peak daily flow associated with the Project	5600
Existing Flow	Peak daily flow within the past five years	202
Net Flow	= Project Flow – Existing Flow	5398

Please see below for our Preliminary Determination on the Need for Sewage Planning:

- Yes, we believe the Project requires sewage planning
 No, we believe the Project does not require sewage planning

Based on the foregoing, please provide a Final Determination on the Need for Sewage Planning.

Our review was based on information provided by others under the assumption that this information was accurate and complete. Should you have any questions, please do not hesitate to contact me directly at 412-255-8800 x6875 or awynn@pgh2o.com.

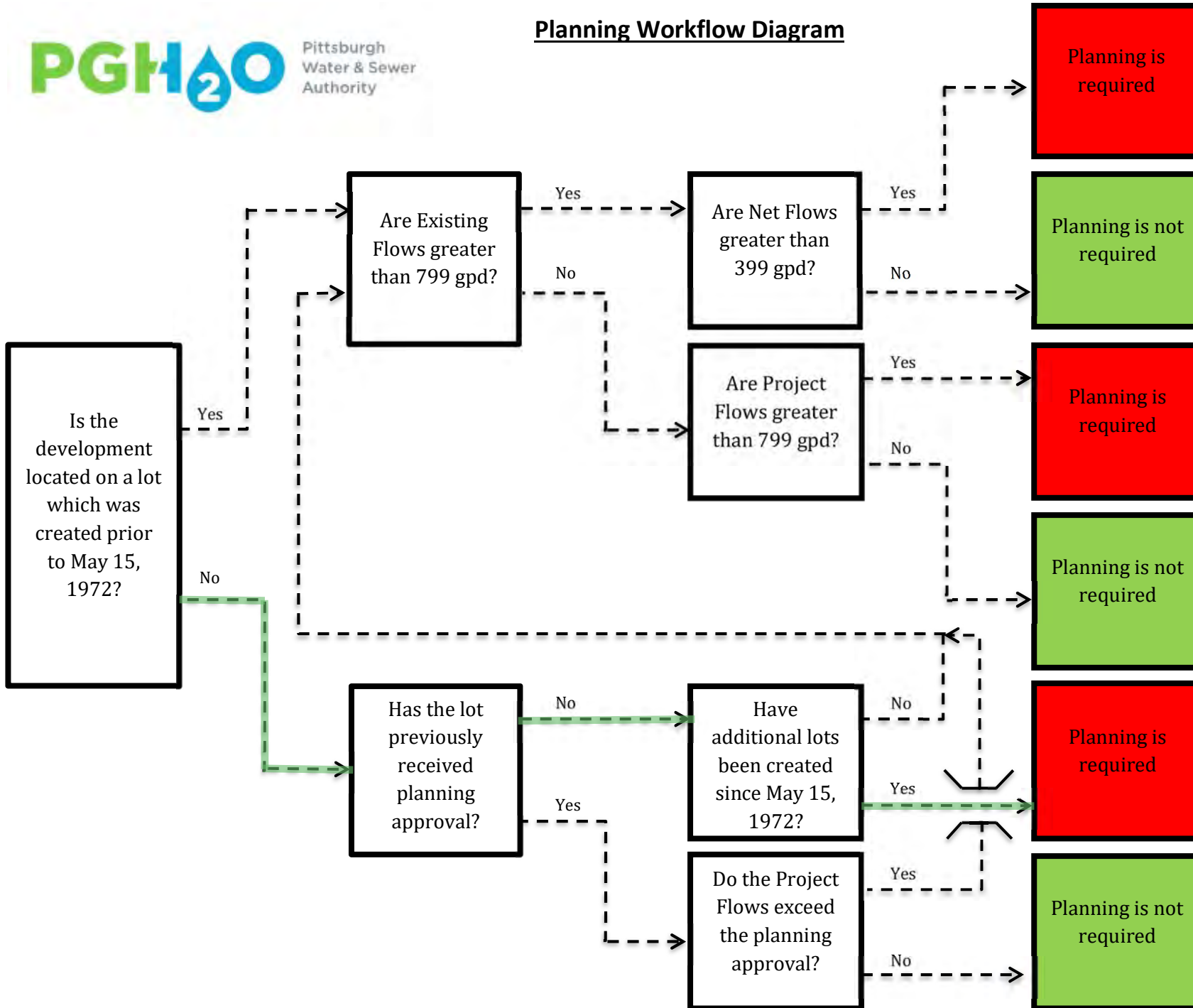
Sincerely,

Ari Wynn
Co-op Intern

Enclosure(s)

cc: Barry King, PE, PMP – PWSA (via email)
Kate Mechler, PE – PWSA (via email)
Robert Herring, PE, PMP – PWSA (via email)
Bob Smith – Applicant (via email)
eBuilder – Filing System (via email)

Planning Workflow Diagram





Water and Sewer Use Application Form

Instructions The complete W/S Use Application shall be uploaded via e-builder. To obtain an e-builder project folder, please make a request on our website at www.pgh2o.com/permits. In addition, please refer to the Developer’s Manual for detailed information on application requirements.

Requirements Application Fee W/S Use Application Site Plans
 Floor Plans Narrative Flow Calculations

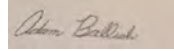
Project Info Project Name: Auditorium Condos
Address: 154 S 15th Street, Pittsburgh PA 15203
Is the Project located on a lot created prior to May 15, 1972? YES NO
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Phone Number: 1-847-910-3927

Consultant Firm Name: KU Resources, Inc.
Address: 22 South Linden Street
Contact Name: Robert Smith, PE
Email: bsmith@kuresources.com
Phone Number: 412-469-9331

Flow Data

Type of Flow	Sanitary, gpd	Water, gpd
Project Flow	5,600	5,600
Existing Flow	202	202
Net Flow	5,398	5,398

Signature By signing below, I hereby certify, to the best of my knowledge, that the information provided within the Water and Sewer Use Application is true, complete and accurate.
Name, printed: Adam Ballish
Signature: 
Date: 10/05/2021

DESCRIPTION OF PROPOSED DEVELOPMENT

HHF LLC, is developing a lot at parcel number 3-M-136 located in the 17th Ward of the City of Pittsburgh, Allegheny County, Pennsylvania. The proposed development will include renovations of the existing building at 154 S 15th Street. The building is the former St. Adalbert Auditorium adjoining the church and will be renovated into 14 condominiums.

Site is the former St. Adalbert Auditorium, which was closed years ago but is sometimes used as a bingo hall. According to the Federal Emergency Management Agency, the site is not within a floodway. The existing utilities include an 8-inch water line along 15th Street and 18" combination line in 15th Street.

EXISTING SANITARY FLOWS

The site is the former St. Adalbert Auditorium, which was closed years ago but is sometimes used as a bingo hall for the church. Using previous water bills, credit flows are being proposed. Water bills (Attachment L) dating back to 2017 have been used to calculate a daily average.

Total gallons used = 109,000 gallons

Period = 45 months

Monthly Average = 109,000 gallons / 45 months = 2,422 gallons per month

Daily average = 2,422 / 30 = 80.75 gpd

Applying a peaking factor of 2.5; Daily Average = 80.75 gpd x 2.5 = **202 gpd**

PROPOSED SANITARY DESIGN

PA DEP Code Chapter 73.17 indicates that for single-family residential townhomes the effluent sanitary flows are 400 gallons per day per unit.

Effluent will ultimately be sent to the Allegheny County Sanitation Authority (ALCOSAN). See the attached Pittsburgh Water and Sewer Authority (PWSA) Sewer System map with the route to ALCOSAN highlighted.

PLANNING MODULE CALCULATIONS

Total Sanitary: 5,600 GPD

Condominiums:

14 units @ 400 GPD each = 5,600 GPD

TOTAL = 5,600 GPD

5,600 GPD / 400 GPD/EDU = 14 EDUs

Net flows = Proposed Flows – Existing flows = 5,600 gpd – 202 gpd = **5,398 gpd = 13.5 EDU's**

Total Water: 5,600 GPD

Condominiums:

14 units @ 400 GPD each = 5,600 GPD

TOTAL = 5,600 GPD

5,600 GPD / 400 GPD/EDU = 14 EDUs

Net flows = Proposed Flows – Existing flows = 5,600 gpd – 202 gpd = **5,398 gpd = 13.5 EDU's**

STORMWATER CONVEYANCE

Stormwater management is not needed at this site as 5,000 sf on new impervious surface nor 10,000 sf of land disturbance is proposed. Stormwater will be routed via roof leader connections and tied into the existing sanitary lateral within 5' of the existing combined sewer.

Pre-development Storm Flows:

$Q = CIA = 0.7(3.89)(0.37) = 1.01 \text{ cfs}$

Post-development Storm Flows:

$Q = CIA = 0.7(3.89)(0.37) = 1.01 \text{ cfs}$

ALTERNATIVE SEWAGE FACILITIES ANALYSIS

1. Describe the chosen disposal method, its location, the daily flow proposed and if the method is an interim method (to be replaced by the ultimate method in 5 years or less), or is an ultimate method (to serve the development in the long term, for 5 years or more). Provide a description of how the chosen method will provide compliance with effluent limitations. Also provide the number of lots or EDU's that will be served.

ALCOSAN Treatment Facility. Credit for previous flows have not been considered, therefore there are 14 new EDUs.

2. Describe the types of land uses adjacent to the project area (Agricultural, Residential, Commercial etc.) and the type of sewage disposal method serving each of those land uses. Properties adjacent to the project must be described by indicating present land uses and zoning designations. Describe the sewage disposal methods being used for each of those adjacent land uses (onlot, municipal treatment, etc.) and if those methods are intended for interim or ultimate use.

The adjacent land uses are of residential. Sanitary flows from the existing location ultimately flow into the same interceptor.

3. Indicate if the sewage facilities described in (2) are in need of improvement due to noncompliance with effluent limitations, high rates of on-lot malfunction or overloaded public sewers. Is there a potential for a combined public/private project?

Adjacent infrastructure is new. No potential for combined public/private project.

4. Determine and indicate what sewage disposal method is proposed for the development area in the municipality's Official Sewage Facilities Plan (such as: on-lot disposal systems, public sewers, etc.).

Public sewers (ALCOSAN).

5. Describe any existing sewage management program(s) in the area, and/or any sewage management program(s) that this project would be required to participate in, and that program's requirements.

ALCOSAN's Wet Weather Plan (WWP).

6. Describe any potential alternative sewage disposal methods that are available for the project. Consider all reasonable possibilities for sewage disposal, such as a stream discharge or an alternate method of land disposal. The municipality, delegated local agency or DEP may also require consideration of particular types of sewage disposal methods in the analysis. The chosen method must assure that applicable water quality standards are attained.

None.

7. Describe why the proposed method was chosen over any of the other methods described in the alternatives analysis. Environmental, administrative, and financial concerns may be addressed. Also indicate how the chosen method will guarantee adequate sewage disposal, including compliance with applicable water quality standards and effluent limitations, for the development in both the short-term (up to 5 years) and long-term (beyond 5 years) by describing the adequacy of the proposed facilities (organic and hydraulic loading) and the ability of the facility to accept additional flows or loads.

NA

8. Indicate who will be the owner of the facility, and who will be responsible for operation and maintenance of the facility and ultimately compliance with applicable water quality standards and effluent limitations.

Public sewers (ALCOSAN).

9. Finally, the applicant may use the narrative to describe any special considerations or provide any additional information that supports the choice of disposal method. The alternatives analysis must be attached to the planning module package for review by the municipality and approving agency.

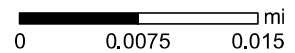
NA

154 S. 15th Street - Water



Legend

WATER		SEWER	
Meter	Rising Main	Manhole	Manhole
Curb Box	Supply Main	Junction	Junction
Water System Pump	Transmission Main	Inlet	Inlet
Hydrant	Distribution Main	Private Inlet	Private Inlet
System Valve	Hydrant Branch	Outfall	Outfall
Dividing Pressure Valve	Private Main	End Cap	End Cap
Coupling	Water Service Line	Sewer Pump Station	Sewer Pump Station
Tee		Combined Sewer	Combined Sewer
Cross		Sanitary Sewer	Sanitary Sewer
Reducer		Storm Sewer	Storm Sewer
End Cap		Regulated Combined Sewer	Regulated Combined Sewer
Wash Out		Overflow Sewer	Overflow Sewer
		Interceptor	Interceptor
		Sewer Force Main	Sewer Force Main
		Private Sewer	Private Sewer
		Undefined Sewer	Undefined Sewer
		Green Infrastructure Underground Facilities	Green Infrastructure Underground Facilities



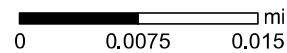
Neither the City of Pittsburgh nor the PWSA guarantees the accuracy of any of the information hereby made available, including but not limited to information concerning the location and condition of underground structures, and neither assumes any responsibility for any conclusions or interpretations made on the basis of such information. COP and PWSA assume no responsibility for any understanding or representations made by their agents or employees unless such understanding or representations are expressly set forth in a duly authorized written document, and such document expressly provides that responsibility therefore is assumed by the City or the PWSA.

154 S. 15th Street - Sewer

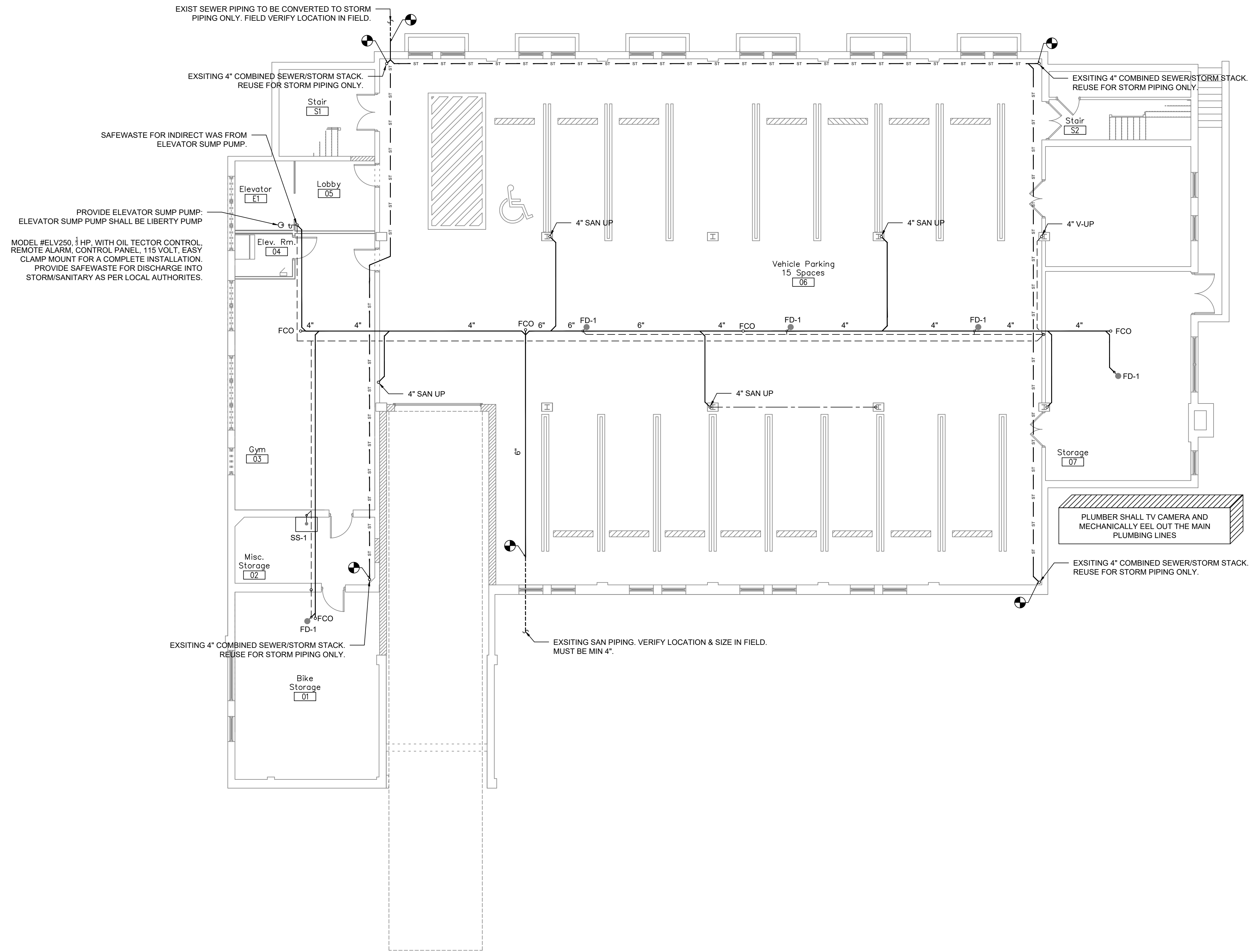


Legend

- | | | |
|-------------------------|-----------------------------|---|
| WATER | Pressure Monitoring Station | Private Inlet |
| Meter | Water Manhole | Outfall |
| Curb Box | Rising Main | End Cap |
| Water System Pump | Supply Main | Sewer Pump Station |
| Hydrant | Transmission Main | Combined Sewer |
| System Valve | Distribution Main | Sanitary Sewer |
| Dividing Pressure Valve | Hydrant Branch | Storm Sewer |
| Coupling | Private Main | Regulated Combined Sewer |
| Tee | Water Service Line | Overflow Sewer |
| Cross | SEWER | Interceptor |
| Reducer | Manhole | Sewer Force Main |
| End Cap | Junction | Private Sewer |
| Wash Out | Inlet | Undefined Sewer |
| | | Green Infrastructure Underground Facilities |



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EXISTING 4" COMBINED SEWER/STORM STACK. REUSE FOR STORM PIPING ONLY.

SAFEWASTE FOR INDIRECT WAS FROM ELEVATOR SUMP PUMP.

PROVIDE ELEVATOR SUMP PUMP. ELEVATOR SUMP PUMP SHALL BE LIBERTY PUMP. MODEL #ELV250 1/2 HP WITH OIL TECTOR CONTROL. REMOTE ALARM. CONTROL PANEL. 115 VOLT. EASY CLAMP MOUNT FOR A COMPLETE INSTALLATION. PROVIDE SAFEWASTE FOR DISCHARGE INTO STORM/SANITARY AS PER LOCAL AUTHORITIES.

1
P1.0 **PLUMBING BASEMENT FLOOR SANITARY & VENT PLAN**
1/8"=1'-0"

NORTH

OWNERSHIP OF INSTRUMENTS OF SERVICE
ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND OTHER DOCUMENTS AND INSTRUMENTS PREPARED BY THE DESIGN PROFESSIONAL AS INSTRUMENTS OF SERVICES, SHALL REMAIN THE PROPERTY OF THE DESIGN PROFESSIONAL. THE DESIGN PROFESSIONAL SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT THEREON.



CLIENT/AGENT
Ivor Hill

PROJECT
15th Street Residences
154 S. 15th Street, Pittsburgh, PA 15203
PLUMBING BASEMENT FLOOR PLAN



NO.	DATE	DESCRIPTION

Drawn: EPB
Checked: STP
Date: 02/19/21
Scale: NOTED
JOB NO: 203169

P1.0
OF 8



1
PLUMBING ROOF PLAN
 1/8"=1'-0"

OWNERSHIP OF INSTRUMENTS OF SERVICE
 ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND OTHER DOCUMENTS AND INSTRUMENTS PREPARED BY THE DESIGN PROFESSIONAL AS INSTRUMENTS OF SERVICES, SHALL REMAIN THE PROPERTY OF THE DESIGN PROFESSIONAL. THE DESIGN PROFESSIONAL SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT THERETO.



CLIENT/AGENT
Ivor Hill

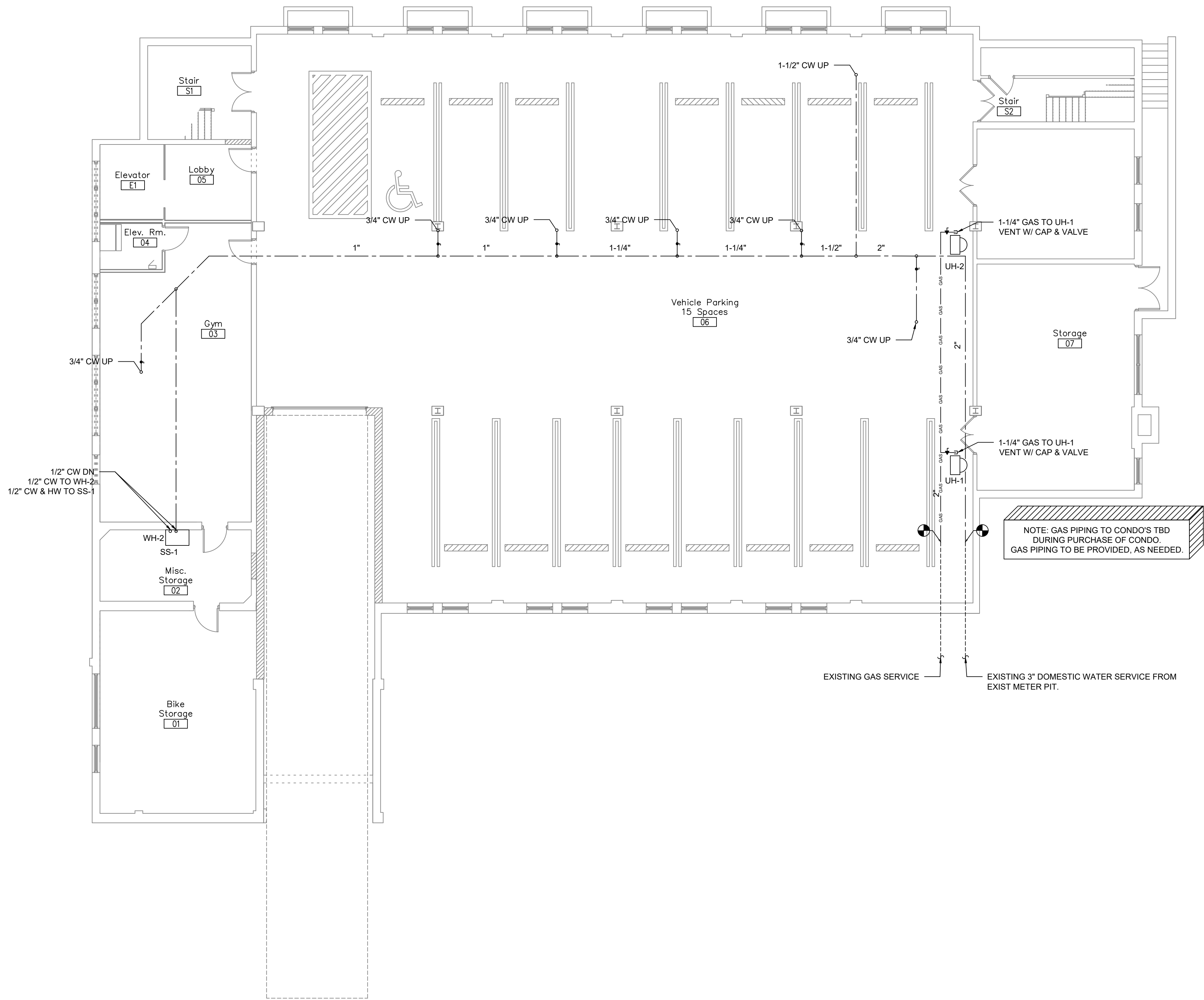
PROJECT
15th Street Residences
 154 S. 15th Street, Pittsburgh, PA 15203
 PLUMBING ROOF PLAN



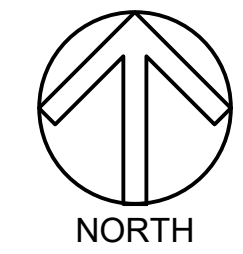
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Drawn
EPB
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STP
 Date
 02/19/21
 Scale
NOTED
 Job No.
 203169

P1.3
 OF 8



1
P21 **PLUMBING BASEMENT FLOOR DOMESTIC WATER PLAN**
1/8"=1'-0"



OWNERSHIP OF INSTRUMENTS OF SERVICE
 ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES AND OTHER DOCUMENTS AND INSTRUMENTS PREPARED BY THE DESIGN PROFESSIONAL AS INSTRUMENTS OF SERVICES, SHALL REMAIN THE PROPERTY OF THE DESIGN PROFESSIONAL. THE DESIGN PROFESSIONAL SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT THEREON.



NO.	DATE	DESCRIPTION

Drawn	EPB
Checked	STP
Date	02/19/21
Scale	NOTED
Job No.	203169



WATER AND SEWER AVAILABILITY LETTER REQUEST

All persons planning to perform construction, demolition, or renovation work that will involve water and/or sewer services are recommended to complete this form and submit to PWSA. PWSA will review the request and reply to indicate if PWSA-owned water and/or sewer utilities are present at the site of the proposed work.

This request form is **required** for all of the following types of development. (Please note that the term "sewer" refers to sanitary sewers, combined sewers, and storm sewers.)

1. New water and/or sewer tap(s) for all approved/recorded subdivisions.
2. Change of Use and/or increase in water and/or sewer flows for residential development(s), commercial, industrial and institutional developments (i.e. total project sanitary flow is greater than 799 gallons per day).
3. New water and/or sewer tap(s) for all residential, commercial, industrial, and institutional developments.

Please email the completed form to: permitinfo@pgh2o.com

Information to be submitted by the Applicant:			
Property Owner Name:	HHF2 LLC		
Address of Property:	154 S 15th Street		
Proposed Use of Site:	Residential		
Closest street intersection to the property:	S 15th Street and Breed Street		
Requester Information			
Name:	Adam Ballish	Date of Request:	06/25/2021
Address:	22 South Linden Street, Duquesne PA 15110		
Phone Number:	724-980-2428		
Email Address:	aballish@kuresources.com		
Preferred Method of Delivery:	<input checked="" type="checkbox"/> Email <input type="checkbox"/> Mail		
PWSA Use Only:			
PWSA Water Service Available	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Size / Location:	8" S. 15th Street., 8" S. 14th Street
PWSA Sewer Service Available:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Size / Location:	18" S. 15th Street, 15" S. 14th Street
Applicant must contact separate agency for water and/or sewer service:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Name of separate agency:	_____		
PWSA Approval:	Signature and Date	6/29/2021	
	Name (printed)	Wendy M. Dean	
	Title	Engineering Tech II	

Disclaimer: The information provided by PWSA does not guarantee capacity of the PWSA-owned water and/or sewer lines to satisfy the needs of the proposed development. The permit application process required by PWSA evaluates the water demand and sewer flows of the development, as provided by the Applicant, and renders a decision on the capacity of the PWSA facilities.

June 29, 2021

Adam Ballish
22 South Linden Street
Duquesne, PA 15110

RE: Water and Sewer Availability
154 S. 15th Street

Mr. Ballish:

In response to your inquiry on 6/25/2021 concerning water and sewer availability for the area referenced above, please be advised that both water and sewers are available near the site, and water and sewer service will be provided in accordance with the policies and procedures of the Pittsburgh Water and Sewer Authority.

We wish to advise you that, if it is your desire to tap our water and sewer mains for service, your plans and Water and Sewer Use Application must be approved by the Authority, complete with detail showing the type of connection, meter, and backflow device before any work is performed.

Please note that the Authority in no way guarantees that the available lines have the capacity or pressure adequate for your project's needs. It is the responsibility of the project developer, design consultant, and/or architects to determine, at their expense, the adequacy of the existing water system to fulfill their needs.

If you plan to make modifications to the water or sewer system, please submit design drawings to The Pittsburgh Water and Sewer Authority for approval.

Refer to the Pittsburgh Water and Sewer Authority (PWSA) website (www.pgh2o.com) for the complete "Procedure Manual for Developers". All tap in plans and applications must be submitted according to the manual.

If you have any questions, please feel free to contact me at (412) 255-8800 x 8030. Thank you.

Sincerely,



Wendy M. Dean
Engineering Tech II

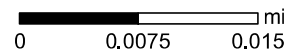
cc: PWSA File

154 S. 15th Street - Sewer



Legend

- | | | | |
|-------------------------|--------------------|-----------------------------|---|
| WATER | | Pressure Monitoring Station | Private Inlet |
| Meter | Rising Main | Water Manhole | Outfall |
| Curb Box | Supply Main | End Cap | Sewer Pump Station |
| Water System Pump | Transmission Main | Combined Sewer | Sanitary Sewer |
| Hydrant | Distribution Main | Storm Sewer | Regulated Combined Sewer |
| System Valve | Hydrant Branch | Overflow Sewer | Interceptor |
| Dividing Pressure Valve | Private Main | Sewer Force Main | Private Sewer |
| Coupling | Water Service Line | Undefined Sewer | Green Infrastructure Underground Facilities |
| Tee | | | |
| Cross | | | |
| Reducer | | | |
| End Cap | | | |
| Wash Out | | | |
| | SEWER | Manhole | Junction |
| | | Inlet | |



Neither the City of Pittsburgh nor the PWSA guarantees the accuracy of any of the information hereby made available, including but not limited to information concerning the location and condition of underground structures, and neither assumes any responsibility for any conclusions or interpretations made on the basis of such information. COP and PWSA assume no responsibility for any understanding or representations made by their agents or employees unless such understanding or representations are expressly set forth in a duly authorized written document, and such document expressly provides that responsibility therefore is assumed by the City or the PWSA.

September 29, 2021

Mr. Thomas Flanagan
PA Department of Environmental Protection
Clean Water Program
400 Waterfront Drive
Pittsburgh, PA 15222

Subject: Tap Allocation Authorization Letter

Dear Mr. Flanagan:

Please be advised that the Pittsburgh Water and Sewer Authority (PWSA) authorizes the tap allocations associated with the following Project:

Project Name:	20014.64 154 South 15 th Street
Project Address:	154 South 15 th Street Pittsburgh, PA 15203
Net Flow, gpd:	5398
EDU's, 400gpd/EDU:	13.5

Our review is based on information provided by others under the assumption that this information was accurate and complete. Should you have any questions, please do not hesitate to contact me directly at x6875 or awynn@pgh2o.com.

Sincerely,

Ari Wynn
Co-op Intern

cc: Barry King, PE, PMP – PWSA (via email)
Kate Mechler, PE – PWSA (via email)
Robert Herring, PE, PMP – PWSA (via email)
Bob Smith– Applicant (via email)
Regis Ryan – DEP (via email)
eBuilder – Filing System (via email)