
DEP Code No.: TBD

SEWAGE FACILITIES PLANNING MODULE

for

NORTH SHORE LOT 10.2 MIXED USE BUILDING City of Pittsburgh Allegheny County, Pennsylvania

Prepared For:

**Continental Development Inc.
395 East Waterfront Drive
Homestead, PA 15210**

Prepared By:

**Langan Engineering and Environmental Services, Inc.
2400 Ansys Drive, Suite 403
Canonsburg, Pennsylvania 15317**

LANGAN

**March 2022
250101502**

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APPENDIX A

Transmittal Letter and Correspondence



**TRANSMITTAL LETTER
 FOR SEWAGE FACILITIES PLANNING MODULE**

DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) USE ONLY				
DEP CODE #	CLIENT ID #	SITE ID #	APS ID #	AUTH. ID #

TO: Approving Agency (DEP or delegated local agency)
 PA DEP Southwest Regional Office
 400 Waterfront Drive
 Pittsburgh, PA 15222-4745

Date _____

Dear Sir/Madam:

Attached please find a completed sewage facilities planning module prepared by _____ (Name)
Langan Engineering and Environmental Services, Inc. for North Shore Lot 10.2
 (Title) (Name)
 a subdivision, commercial ,or industrial facility located in the City of Plttsburgh

Allegheny County.
 (City, Borough, Township)

Check one

(i) The planning module, as prepared and submitted by the applicant, is approved by the municipality as a proposed revision supplement for new land development to its Official Sewage Facilities Plan (Official Plan), and is adopted for submission to DEP transmitted to the delegated LA for approval in accordance with the requirements of 25 Pa. Code Chapter 71 and the *Pennsylvania Sewage Facilities Act* (35 P.S. §750),

OR

(ii) The planning module will not be approved by the municipality as a proposed revision or supplement for new land development to its Official Plan because the project described therein is unacceptable for the reason(s) checked below:

Check Boxes

- Additional studies are being performed by or on behalf of this municipality which may have an effect on the planning module as prepared and submitted by the applicant. Attached hereto is the scope of services to be performed and the time schedule for completion of said studies.
- The planning module as submitted by the applicant fails to meet limitations imposed by other laws or ordinances, officially adopted comprehensive plans and/or environmental plans (e.g., zoning, land use, 25 Pa. Code Chapter 71). Specific reference or applicable segments of such laws or plans are attached hereto.
- Other (attach additional sheet giving specifics).

Municipal Secretary: Indicate below by checking appropriate boxes which components are being transmitted to the approving agency.

- Resolution of Adoption
- Module Completeness Checklist
- 2 Individual and Community Onlot Disposal of Sewage
- 3 Sewage Collection/Treatment Facilities
- 3s Small Flow Treatment Facilities
- 4A Municipal Planning Agency Review
- 4B County Planning Agency Review
- 4C County or Joint Health Department Review

 Municipal Secretary (print)

 Signature

 Date

CORRESPONDENCE

January 11, 2022

Mr. Thomas Flanagan
PA Department of Environmental Protection
Clean Water Program
400 Waterfront Drive
Pittsburgh, PA 15222

Subject: Tap Allocation Authorization Letter

Dear Mr. Flanagan:

Please be advised that the Pittsburgh Water and Sewer Authority (PWSA) authorizes the tap allocations associated with the following Project:

Project Name: North Shore Mixed Use Building
Project Address: 250 N Shore Drive
Pittsburgh, PA 15212
Net Flow, gpd: 30,810
EDU's, 400gpd/EDU: 77.03

Our review is based on information provided by others under the assumption that this information was accurate and complete. Should you have any questions, please do not hesitate to contact me directly at x5523 or SConnell@pgh2o.com.

Sincerely,



Shannon Connell
Engineer III

cc: Barry King, PE, PMP – PWSA (via email)
Kate Mechler, PE – PWSA (via email)
Robert Herring, PE, PMP – PWSA (via email)
Adalee Jacobs – Applicant (via email)
Regis Ryan – DEP (via email)
eBuilder – Filing System (via email)

January 11, 2022

Adalee Jacobs
Langan
2400 Ansys Drive
Canonsburg, PA 15317

Subject: Water and Sewer (W&S) Use Approval
Project Name: North Shore Mixed Use Building (Project)
PWSA Project No.: 20013.18

Dear Adalee,

The W&S Use Application for the Project has been approved, as summarized below:

Type of Flow	Sanitary, gpd	Water, gpd
<i>Project Flow</i>	30,810	30,810
<i>Existing Flow</i>	0	0
<i>Net Flow</i>	30,810	30,810

The PWSA shall request the Department of Environmental Protection (DEP) to issue a Final Determination on the Need for Sewage Planning. If sewage planning is required, we have enclosed for your use the location of the most limited capacity sewer (MLCS). The hydraulic capacity of the MLCS shall be determined via the following method:

- Peak Flow Depth Measurements (Sanitary Net Flow \leq 4,000 gpd)
- Flow Monitoring (Sanitary Net Flow $>$ 4,000 gpd)

Our review was based on information provided by others under the assumption that this information was accurate and complete. Should you have any questions, please do not hesitate to contact me directly at 412-255-8800 x5523 or SConnell@pgh2o.com.

Sincerely,



Shannon Connell
Engineer III

Enclosure(s)

cc: Barry King, PE, PMP – PWSA (via email)
Kate Mechler, PE – PWSA (via email)
Robert Herring, PE, PMP – PWSA (via email)
eBuilder – Filing System (via email)



Water and Sewer (W/S) Use Application Form

Instructions The complete W/S Use Application shall be uploaded via e-builder. To obtain an e-builder project folder, please make a request on our website at www.pgh2o.com/permits. In addition, please refer to the Developer's Manual for detailed information on application requirements.

- Requirements**
- Application Fee Application Form Narrative
- Flow Calculations Site Plan Floor Plan

Project Info

Project Name: _____

Address: _____

Is the Project located on a lot created prior to May 15, 1972? YES NO

Owner/Developer

Name: _____

Address: _____

Email: _____

Phone Number: _____

Consultant

Firm Name: _____

Address: _____

Contact Name: _____

Email: _____

Phone Number: _____

Flow Data

Type of Flow	Sanitary, gpd	Water, gpd	Storm, cfs
Project Flow			
Existing Flow			
Net Flow			Not Required

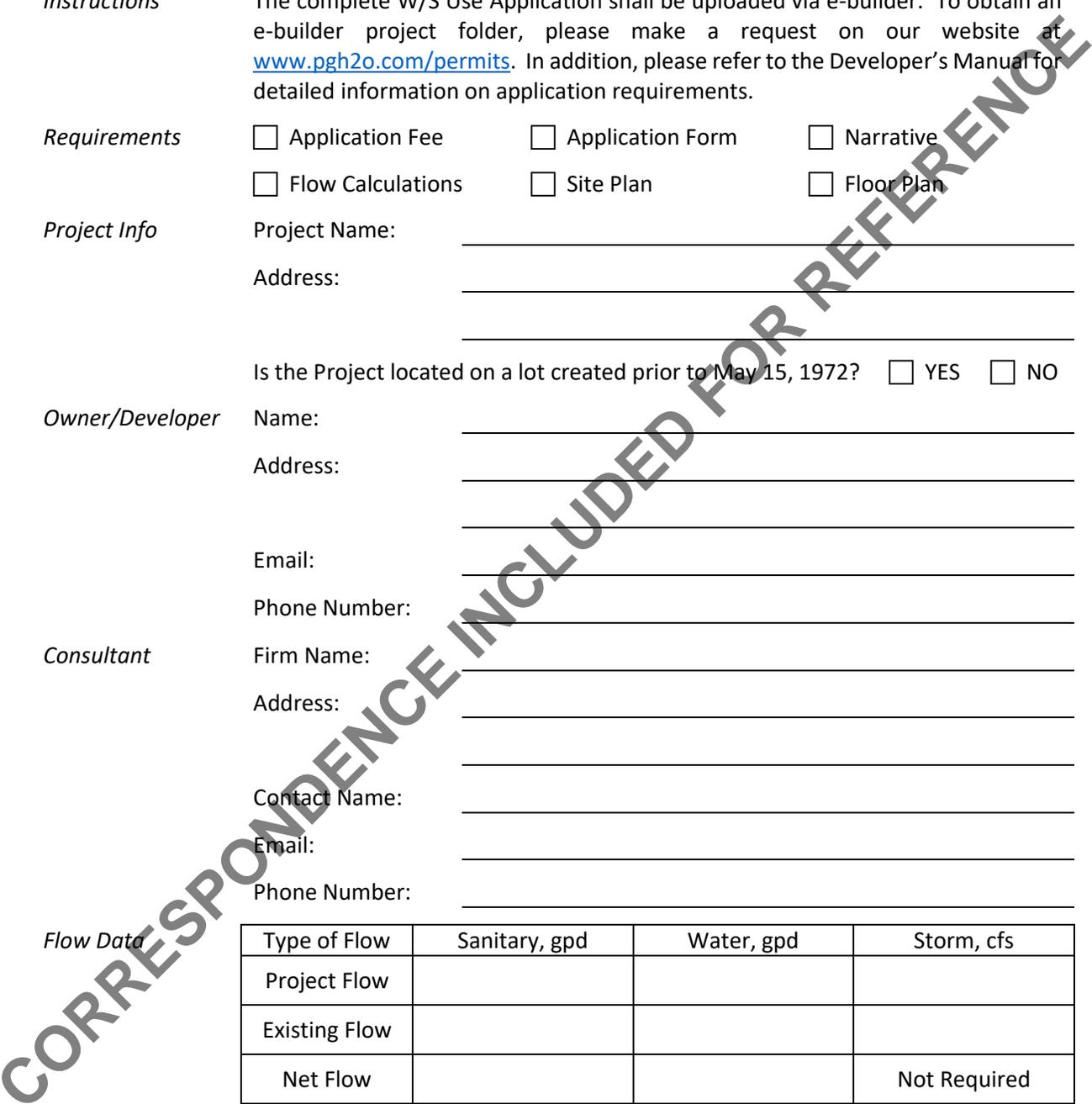
Signature

By signing below, I hereby certify, to the best of my knowledge, that the information provided within the Water and Sewer Use Application is true, complete and accurate.

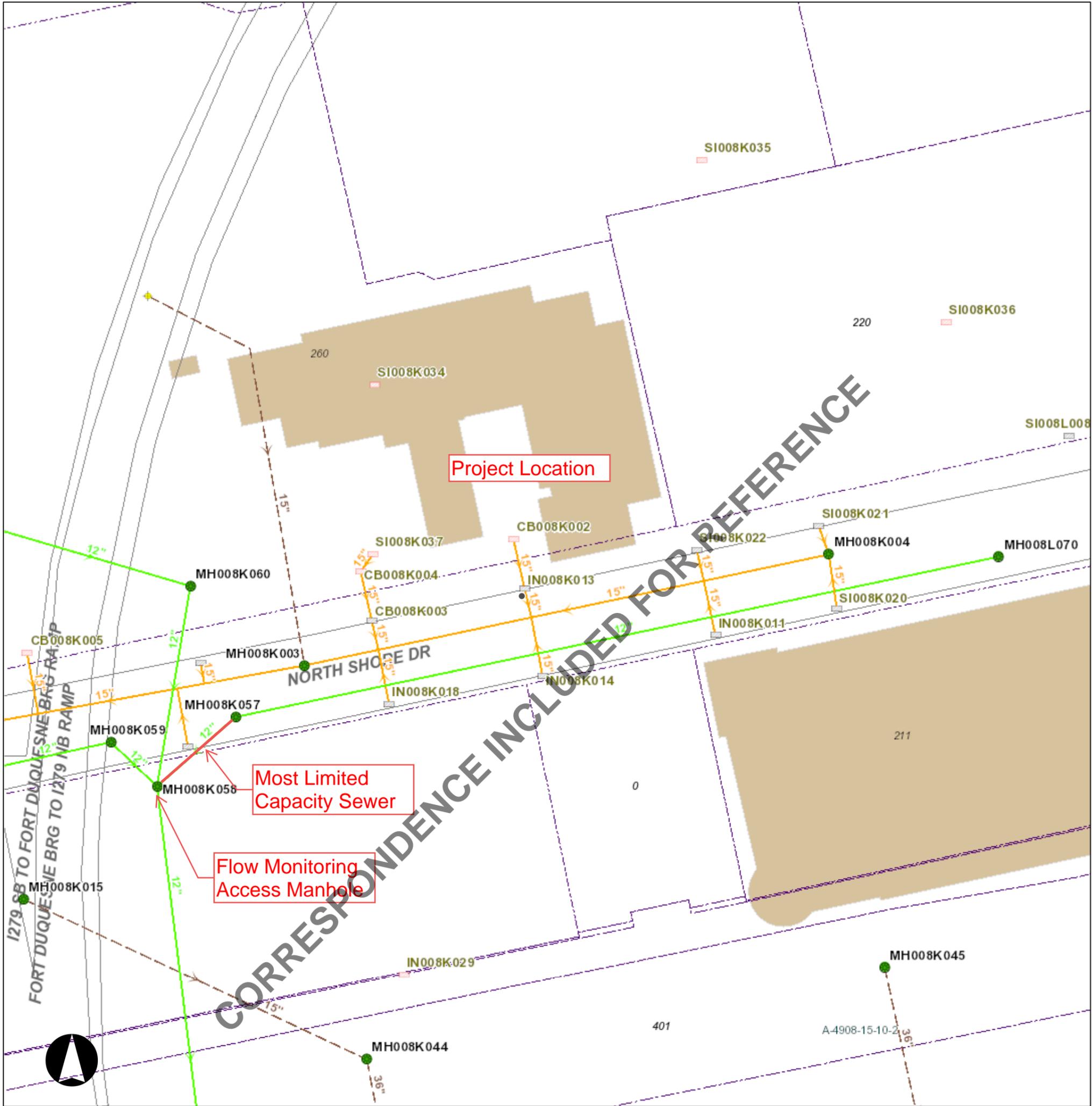
Name, printed: _____

Signature: Scott S

Date: _____



North Shore Mixed Use Building MLCS



Legend

WATER

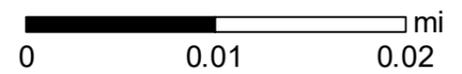
- Meter
- Curb Box
- Water System Pump
- Hydrant
- System Valve
- Dividing Pressure Valve
- Coupling
- Tee
- Cross
- Reducer
- End Cap
- Wash Out

- Pressure Monitoring Station
- Water Manhole
- Rising Main
- Supply Main
- Transmission Main
- Distribution Main
- Hydrant Branch
- Private Main
- Water Service Line

SEWER

- Manhole
- Junction
- Inlet

- Private Inlet
- Outfall
- End Cap
- Sewer Pump Station
- Combined Sewer
- Sanitary Sewer
- Storm Sewer
- Regulated Combined Sewer
- Overflow Sewer
- Interceptor
- Sewer Force Main
- Private Sewer
- Undefined Sewer
- Green Infrastructure Underground Facilities



Neither the City of Pittsburgh nor the PWSA guarantees the accuracy of any of the information hereby made available, including but not limited to information concerning the location and condition of underground structures, and neither assumes any responsibility for any conclusions or interpretations made on the basis of such information. COP and PWSA assume no responsibility for any understanding or representations made by their agents or employees unless such understanding or representations are expressly set forth in a duly authorized written document, and such document expressly provides that responsibility therefore is assumed by the City or the PWSA.

Date: 1/11/2022

Most Limited Capacity Sewer (MLCS) Spreadsheet

PROJECT NAME:	North Shore Mixed Use Building
PWSA PROJECT NUMBER:	20013.18
PWSA REVIEWER:	Shannon Connell
DATE:	January 11, 2022

LEGEND:

Output Data
Input Data
Questionable Data
Hydraulically Limited Sewer

Upstream MH	Downstream MH	Upstream Invert	Downstream Invert	Length, ft	Diam., in.	Material	n	Area, sf	Wetted P, ft	Slope	Flow, gpd
MH008L070	MH008K057	719.55	710.05	403.26	12	PVC	0.01	0.79	3.142	2.36%	4,606,993
MH008K057	MH008K058	710.05	705.88	54.05	12	PVC	0.01	0.79	3.142	7.72%	8,337,167
MH008K058	VD008LA46	705.88	703.54	282.36	12	PVC	0.01	0.79	3.142	0.83%	2,732,465

CORRESPONDENCE INCLUDED FOR REFERENCE

January 11, 2022

Mr. Thomas Flanagan
PA Department of Environmental Protection
Clean Water Program
400 Waterfront Drive
Pittsburgh, PA 15222

Subject: Preliminary Determination on the Need for Sewage Planning
Project Name: North Shore Mixed Use Building
PWSA Project No.: 20013.18

Dear Mr. Flanagan:

Please be advised that the Pittsburgh Water and Sewer Authority has approved the Water and Sewer (W/S) Use Application for the aforementioned Project. We have enclosed the W/S Use Approval Letter and the supporting documentation. The approved sanitary flows are summarized below:

Type of Sanitary Flow	Definition	Flow, gpd
Project Flow	Peak daily flow associated with the Project	30,810
Existing Flow	Peak daily flow within the past five years	0
Net Flow	= Project Flow – Existing Flow	30,810

Please see below for our Preliminary Determination on the Need for Sewage Planning:

- Yes, we believe the Project requires sewage planning
 No, we believe the Project does not require sewage planning

Based on the foregoing, please provide a Final Determination on the Need for Sewage Planning.

Our review was based on information provided by others under the assumption that this information was accurate and complete. Should you have any questions, please do not hesitate to contact me directly at 412-255-8800 x5523 or SConnell@pgh2o.com.

Sincerely,



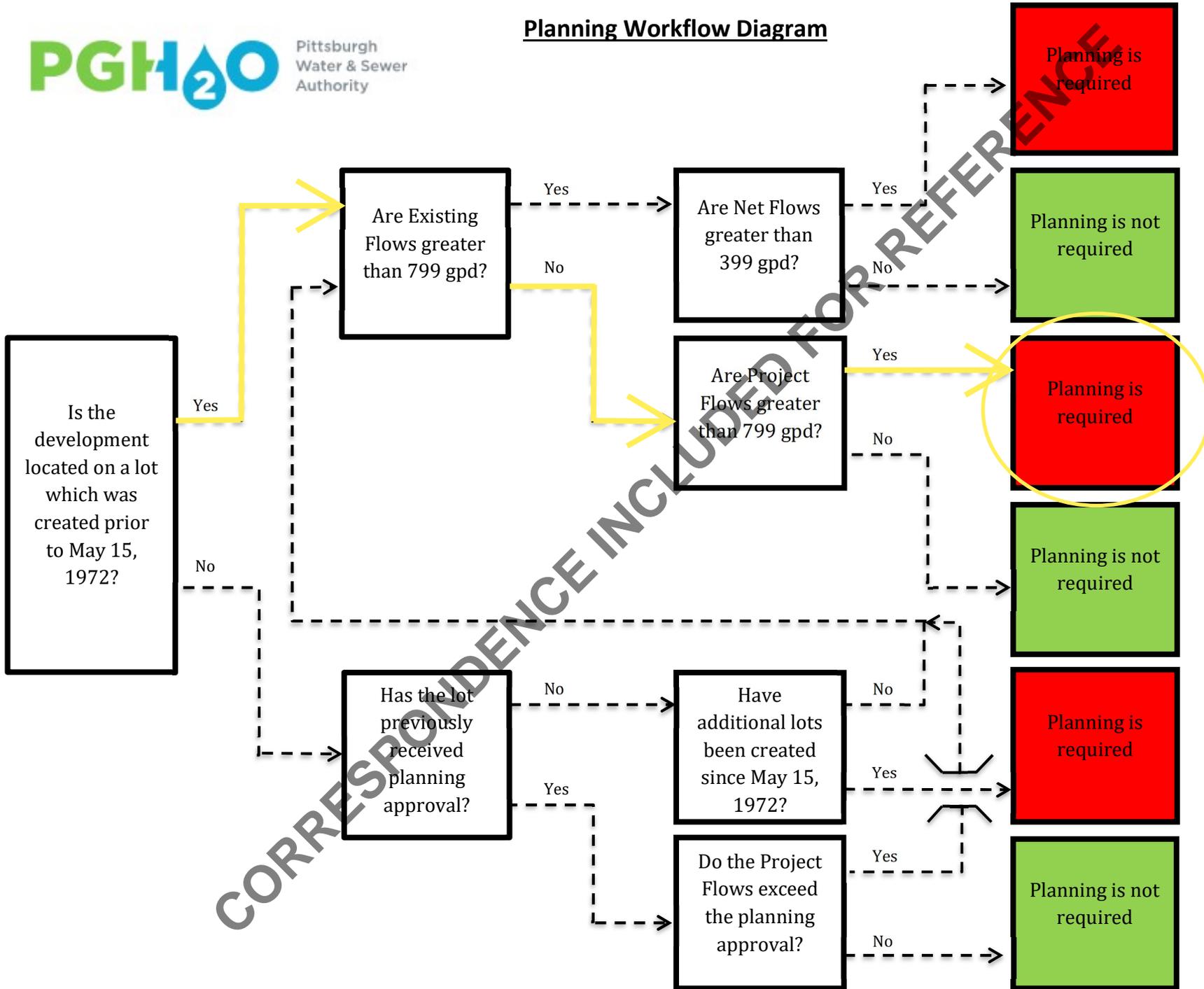
Shannon Connell
Engineer III

Enclosure(s)

cc: Barry King, PE, PMP – PWSA (via email)
Kate Mechler, PE – PWSA (via email)
Robert Herring, PE, PMP – PWSA (via email)
Adalee Jacobs – Applicant (via email)
eBuilder – Filing System (via email)



Planning Workflow Diagram





Water and Sewer (W/S) Use Application Form

Instructions The complete W/S Use Application shall be uploaded via e-builder. To obtain an e-builder project folder, please make a request on our website at www.pgh2o.com/permits. In addition, please refer to the Developer's Manual for detailed information on application requirements.

- Requirements**
- Application Fee Application Form Narrative
- Flow Calculations Site Plan Floor Plan

Project Info

Project Name: _____

Address: _____

Is the Project located on a lot created prior to May 15, 1972? YES NO

Owner/Developer

Name: _____

Address: _____

Email: _____

Phone Number: _____

Consultant

Firm Name: _____

Address: _____

Contact Name: _____

Email: _____

Phone Number: _____

Flow Data

Type of Flow	Sanitary, gpd	Water, gpd	Storm, cfs
Project Flow			
Existing Flow			
Net Flow			Not Required

Signature

By signing below, I hereby certify, to the best of my knowledge, that the information provided within the Water and Sewer Use Application is true, complete and accurate.

Name, printed: _____

Signature: Scott S

Date: _____



PROJECT NARRATIVE

Existing Conditions

The project is located in the North Shore neighborhood of the City of Pittsburgh, Allegheny County, Pennsylvania (refer to Figure 1 – USGS Site Location Map). The project site consists of City of Pittsburgh parcel 8-K-35, and it is within the Riverfront North Shore (RIV-MS) Zoning District. The site is bound by North Shore Drive to the south, Mazeroski Way to the east, West General Robinson Street to the north, and City of Pittsburgh parcel 8-K-2 to the west (Hyatt Place). The site is currently occupied by a surface parking lot.

Proposed Development

Continental Development, Inc. and its development partners (collectively “the Developer”) are proposing the construction of a mixed use building in Pittsburgh’s North Shore. The proposed ±200,000 GSF mixed-use building will consist of 6 stories with retail/restaurant space on the first floor, multi-unit residential units on floors 2-6, and a roof-top terrace space.

Proposed Water and Sewer Use

The proposed project includes one new storm service connection to a 15-inch storm sewer which eventually conveys to the existing PWSA storm manhole (MH008L070) in North Shore Drive. The project will also include two new storm connections to on-site existing infiltration vault (from the previous phase of the project), which outfalls to the existing 15-inch PWSA storm sewer in North Shore Drive. The proposed project includes one sanitary lateral. The proposed sanitary lateral connects from the proposed mixed-use building to an existing 8-inch sanitary lateral (currently stubbed), which then connects to the PWSA sewer manhole (MH008L070) in North Shore Drive.

The proposed project includes a 6-inch fire service and a 6-inch domestic service tapping from the mixed-use building into the 12-inch PWSA water main in North Shore Drive.

The existing municipal system is expected to meet the proposed demands for water, sanitary sewer, and storm sewer services for the development.

FLOW CALCULATION SHEETS

Proposed Water Consumption and Sanitary Flows

Demand for the retail/restaurant space has been computed based on rentable square feet of space provided by the Developer (see Appendix A – Calculations), an assumption of 50 square feet per patron, an assumption that the floor space is to be utilized as a restaurant, and a turnover rate of 3. The anticipated water consumption calculations for the apartments are based on the flow estimates found in Table 2-1: Sanitary Flow Estimates in the PWSA Procedures Manual for Developers. As shown in Table 1, the total anticipated average water consumption for the proposed development is 30,810 gallons per day, or 102.7 EDUs.

The proposed sanitary flow for the building is expected to be the same as the anticipated average water consumption for the building (30,810 gallons per day total). Since the North Shore Lot 10.2 project is included in the overall North Shore development, the sewage flows are accounted for in the North Shore Sewage Facilities Planning Module, which was approved on April 19th, 2000 (see Appendix B – Approved Sewage Facilities Planning Module).

TABLE 1: PROPOSED ANTICIPATED WATER CONSUMPTION

Type of Establishment	Unit	Size	Anticipated Average Rate (GPD/Unit)	Anticipated Average Water Flow (GPD)
Total Retail/Restaurant + Bar/Cocktail Lounge	Patron	855 ¹	12 ²	10,260
Apartment (1-bedroom)	Condominium	79	150 ²	11,850
Apartment (2-bedroom)	Condominium	29	300 ²	8,700
			Required GPD =	30,810
			Required EDUs³ =	102.7
			Requested TOTAL GPD =	30,810

1 – Number of patrons includes an assumed turnover rate of 3.

2 – Rate is based on the flow estimate defined in Table 2-1 of the PWSA Procedures Manual for Developers.

3 – EDUs are based on 300 GPD/EDU.

CORRESPONDENCE INCLUDED FOR REFERENCE

Proposed Stormwater Flows

The stormwater management design for this site follows Section 906.07 of the City of Pittsburgh Code and Chapter 7 of the Pennsylvania Department of Transportation Publication 584, which was adopted and approved in accordance with the Pennsylvania Storm Water Management Act.

The stormwater management design for the site follows the City of Pittsburgh Stormwater Management Ordinance (Title Thirteen).

The total area of disturbance for the development will be greater than 10,000 square feet; therefore, per Section 1303.01.A of the City of Pittsburgh Code, the project must comply with stormwater management regulations.

Stormwater discharge rates for the existing and proposed development are based on the Rational Method described within the PWSA Procedures Manual for Developers. Refer to Table 3 and 4 for summarized results using the Rational Method. Stormwater runoff from the site will discharge into the existing 15-inch storm sewer in North Shore Drive (see Drawing PCSM101 for sewer location).

Rational Method

This study was prepared using methods contained in the PWSA Procedures Manual for Developers. The Rational Method was used to estimate the maximum rate of runoff (Q) from the site for a 25-year design storm.

The Rational Method for calculating the quantity of stormwater is defined by the following equation:

EQUATION 1: RATIONAL METHOD

$$Q = CIA$$

*PWSA Procedures Manual for Developers -
PWSA Basic Information for Calculation of
Stormwater Flow Using the Rational Method -
Publication Version 6 - Issued 04/15.

The value for the average rainfall intensity (I) was taken from the NOAA Atlas 14 for the 25-year, 5-minute storm event. Values for area (A), time of concentration (Tc), and coefficient of runoff (C) were entered for the existing and proposed watersheds. An average C was chosen based on the percentage of each type of land cover using the following coefficients:

TABLE 2: RUNOFF COEFFICIENT VALUES

LAND COVER	C
Improved Surface (concrete, asphalt, brick, surface treated)	0.95
Building Footprint	0.95
Unimproved Surface (Rural, park)	0.30

*Values from the PWSA Procedures Manual for Developers – Table 2-2 Values for the Coefficient of Runoff - Publication Version 6 - Issued 01/18.

The peak stormwater runoff rates using the rational method are summarized in Table 4.

TABLE 3: SUMMARY OF EXISTING STORMWATER PEAK DISCHARGES RATES

LAND COVER	DRAINAGE AREA (SF)	DRAINAGE AREA (AC)	INTENSITY (IN/HR)	RUNOFF COEFFICIENT "C"	PEAK FLOW (CFS)
Impervious Parking Lot - Improved Surface (concrete, asphalt, brick, surface treated)	113,625	2.61	7.13	0.95	17.68
Pervious Landscaping - Unimproved Surface (Rural, park)	938	0.02	7.13	0.30	0.04
SITE RUNOFF					17.72

TABLE 4: SUMMARY OF PROPOSED STORMWATER PEAK DISCHARGES RATES

LAND COVER	DRAINAGE AREA (SF)	DRAINAGE AREA (AC)	INTENSITY (IN/HR)	RUNOFF COEFFICIENT "C"	PEAK FLOW (CFS)
Impervious Concrete - Improved Surface (concrete, asphalt, brick, surface treated)	47,829	1.10	7.13	0.95	7.45
Impervious Building - Footprint	54,869	1.26	7.13	0.95	8.53
Pervious Landscaping - Unimproved Surface (Rural, park)	11,777	0.27	7.13	0.30	0.58
SITE RUNOFF					16.56

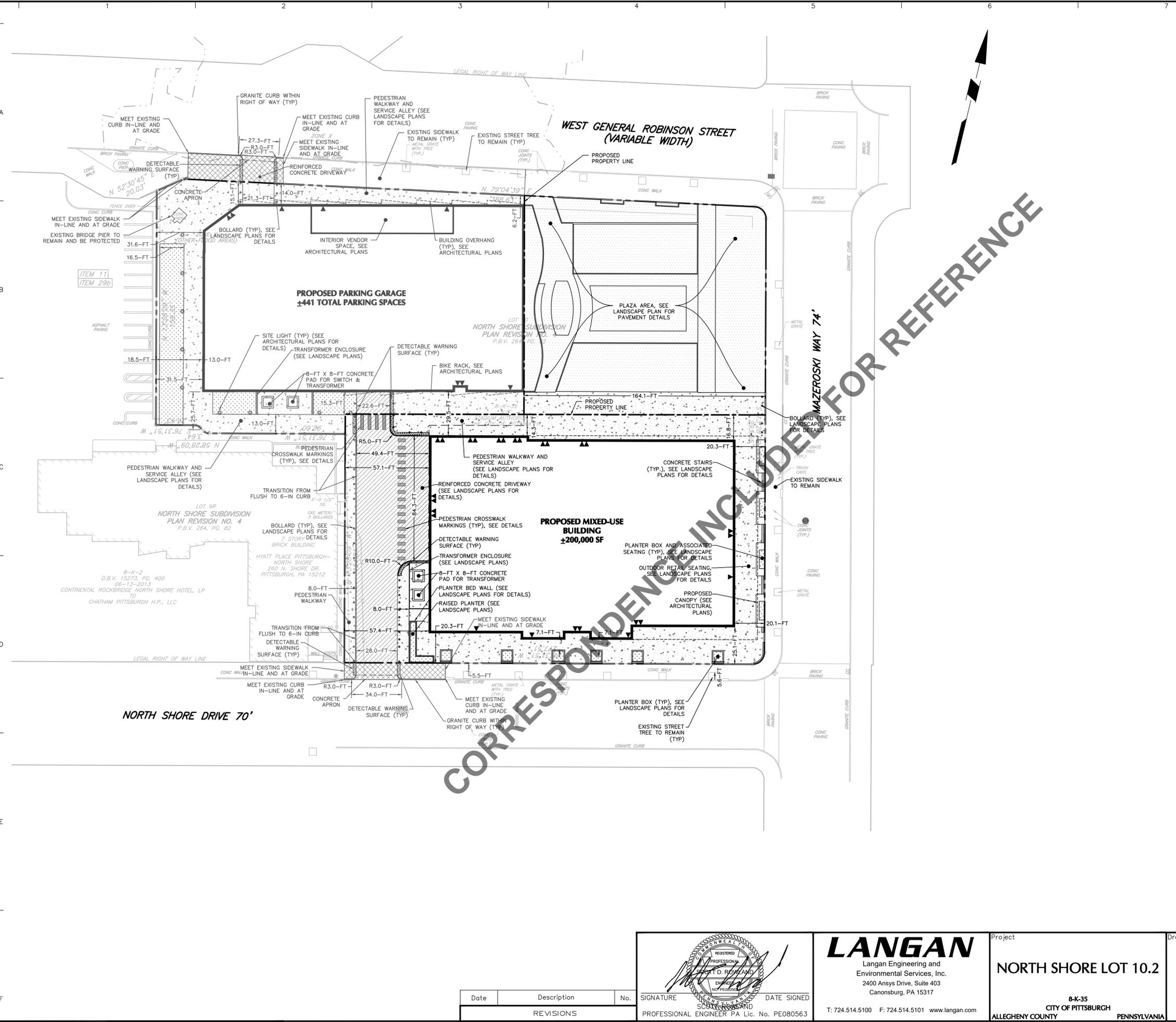
Using the rational method based on the 25-year storm, the stormwater discharge rate for the existing site conditions is 17.72 cubic feet per second, and the stormwater discharge rate for the proposed site conditions will be 16.56 cubic feet per second.

GENERAL SITE PLAN NOTES

- EXISTING BOUNDARY AND TOPOGRAPHY INFORMATION IS BASED ON THE PLANS TITLED "ALTA/NSPS PLAN TITLE SURVEY" AND NUMBERED ALTA-1 SITUATED FOR THE PROJECT LOCATED AT 7218 NORTH SHORE DRIVE, PITTSBURGH, PA 15212, IN THE 22ND WARD, CITY OF PITTSBURGH, ALLEGHENY COUNTY, PENNSYLVANIA, PREPARED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC., DATED FEBRUARY 3, 2020 FOR CONTINENTAL REAL ESTATE COMPANIES.
- THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER AND ENGINEER MAKE NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY INFORMATION THAT WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS; CORRELATE CONDITIONS WITH THE DRAWINGS; AND, RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS HE/SHE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
- THE CONTRACTOR SHALL, WHEN HE/SHE DEEMS NECESSARY, PROVIDE A WRITTEN REQUEST FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE RFI SHALL BE IN A FORM ACCEPTABLE TO OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF FIVE WORK DAYS FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
- INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO BID. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS/HER ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO BID.
- THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
- CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ALL CONSTRUCTION STAKEOUT FOR THIS PROJECT MUST BE COMPLETED FROM THE SITE SPECIFIC SURVEY CONTROL (HORIZONTAL AND VERTICAL) UPON WHICH THE DESIGN IS BASED. THE CONTRACTOR SHOULD NOT RELY ON OR RE-ESTABLISH SURVEY CONTROL BY GPS OR OTHER METHODS FOR USE IN CONSTRUCTION STAKEOUT OR ANY OTHER PURPOSE FOR THIS PROJECT. ANY DISCREPANCIES BETWEEN THE EXISTING HORIZONTAL OR VERTICAL DATA SHOWN ON THESE DRAWINGS AND THAT ENCOUNTERED IN THE FIELD MUST BE REPORTED TO THE DESIGN TEAM PRIOR TO CONSTRUCTION FOR RESOLUTION.
- CONTRACTOR TO COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY WITH THE CITY OF PITTSBURGH DEPARTMENT OF PUBLIC WORKS.

LEGEND

	EXISTING	PROPOSED
PROPERTY BOUNDARY	---	---
BUILDING LINE	---	---
OVERHANG BUILDING	---	---
CONCRETE CURB	---	---
FLUSH CURB	---	---
DOOR	---	▼
CONCRETE PAVEMENT IN PUBLIC RIGHT OF WAY	---	▨
VEHICULAR PAVEMENT	---	▨
SITE CONCRETE PAVEMENT (SEE LANDSCAPE PLANS FOR DETAILS)	---	▨
TEMPORARY CONSTRUCTION STAGING AREA	---	▨
LANDSCAPED AREA	---	▨
DETECTABLE WARNING SURFACE	---	▨
BOLLARD	•	•
STREET LIGHT	*	*



LANGAN PROJECT NO. 250101502



LANGAN
Langan Engineering and Environmental Services, Inc.
2400 Ansys Drive, Suite 403
Canonsburg, PA 15317
T: 724.514.5100 F: 724.514.5101 www.langan.com

PROFESSIONAL ENGINEER PA Lic. No. PE080563

Project
NORTH SHORE LOT 10.2
8-K-35
CITY OF PITTSBURGH
ALLEGHENY COUNTY PENNSYLVANIA

Drawing Title
SITE PLAN

Project No.
250101502

Date
09/09/2021

Drawn By
NRK

Checked By
SML

Drawing No.
CS101

Date	Description	No.
REVISIONS		

NORTH SHORE LOT 10.2 - SEWAGE FLOW CALCULATIONS

Retail/Restaurant Tenant	Total (SF)	Patron Area (SF) 0.75 x Total SF	Patrons 50 SF / Patron	gpd / Patron	Total gpd	Turnover Rate	Total gpd with Turnover Rate	Total EDUs 300 gpd / EDU
Retail/Restaurant Space 1	14628	10971	219	12	2628	3	7884	26.3
Restaurant Space 2	4389	3292	66	12	792	3	2376	7.9
Total	19017	14263	285	-	3420		10260	34.2

Unit type	Units	gpd / Unit	Total gpd	Total EDUs
1 BR Apts	79	150	11850	39.5
2 BR Apts	29	300	8700	29
Total	108	-	20550	68.5

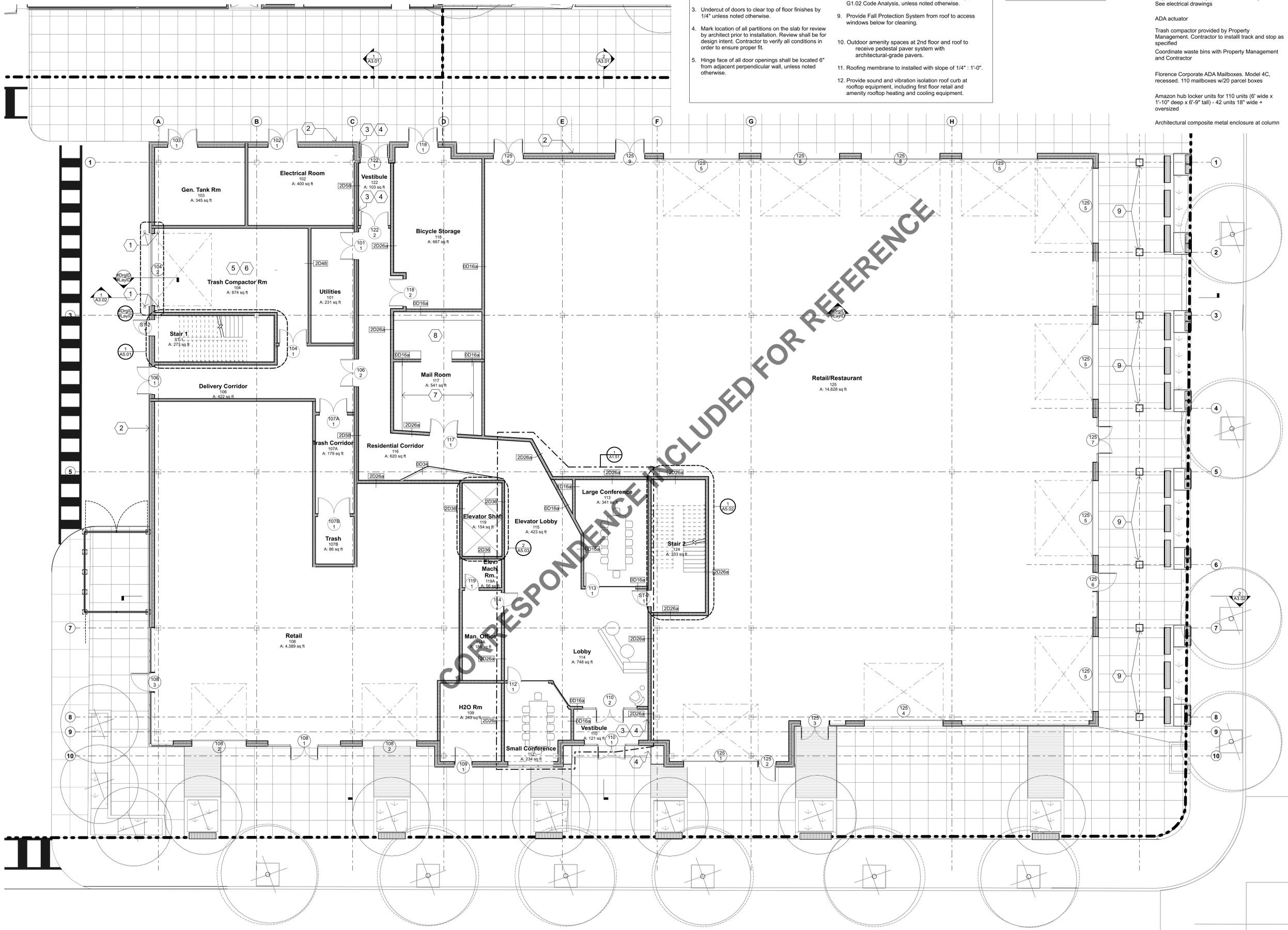
CORRESPONDENCE INCLUDED FOR REFERENCE

- GENERAL FLOOR PLAN NOTES**
1. It is the responsibility of the contractor to field verify all field conditions and dimensions. Report discrepancies to the architect immediately.
 2. All dimensions from finish face to finish face, unless noted otherwise. Maintain dimensions marked "clear" or "hold". Allow for thickness of finishes.
 3. Undercut of doors to clear top of floor finishes by 1/4" unless noted otherwise.
 4. Mark location of all partitions on the slab for review by architect prior to installation. Review shall be for design intent. Contractor to verify all conditions in order to ensure proper fit.
 5. Hinge face of all door openings shall be located 6" from adjacent perpendicular wall, unless noted otherwise.
 6. All partitions shall be perpendicular or parallel to building core walls, unless otherwise noted.
 7. Reference structural drawings for location of precast shear walls at elevator and stair cores.
 8. Structural members to receive spray fire-proofing per G1.02 Code Analysis, unless noted otherwise.
 9. Provide Fall Protection System from roof to access windows below for cleaning.
 10. Outdoor amenity spaces at 2nd floor and roof to receive pedestal paver system with architectural-grade pavers.
 11. Roofing membrane to installed with slope of 1/4" : 1'-0".
 12. Provide sound and vibration isolation roof curb at rooftop equipment, including first floor retail and amenity rooftop heating and cooling equipment.

FLOOR PLAN LEGEND

	RD	Roof drain
	OD	Overflow drain
	FD	Floor drain

- CODED NOTES**
- 6" diameter sleeved, steel, concrete filled bollard. See Structural drawings
 - 1/2" brick recess, see elevations
 - Key fob access, entry call box and security camera. See electrical drawings
 - ADA actuator
 - Trash compactor provided by Property Management. Contractor to install track and stop as specified
 - Coordinate waste bins with Property Management and Contractor
 - Florence Corporate ADA Mailboxes, Model 4C, recessed, 110 mailboxes w/20 parcel boxes
 - Amazon hub locker units for 110 units (6' wide x 1'-10" deep x 6'-9" tall) - 42 units 18' wide + oversized
 - Architectural composite metal enclosure at column



Professional's Seal

Project Name

North Shore Lot 10
Mixed-Use

Project Number

17021

Client

Continental Real Estate
Companies

Issue Dates

Date	Project Phase
21.10.25	Design Development Documents

Drawing Title

Ground Floor Plan

Sheet Number

A1.01

GENERAL FLOOR PLAN NOTES

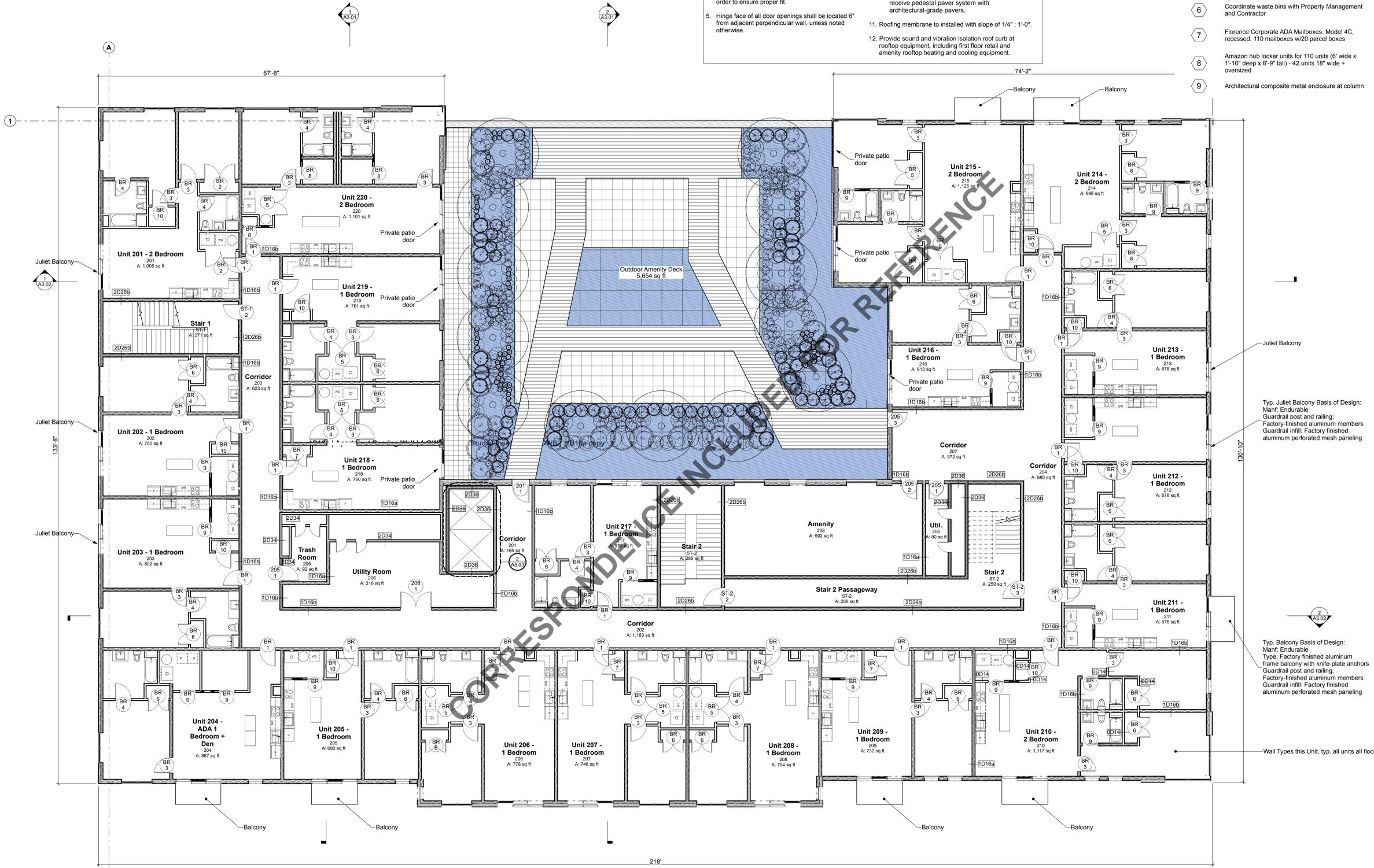
- It is the responsibility of the contractor to field verify all field conditions and dimensions. Report discrepancies to the architect immediately.
- All dimensions from finish face to finish face, unless noted otherwise. Maintain dimensions marked "clear" or "hold". Allow for thickness of finishes.
- Undercut of doors to clear top of floor finishes by 1/4" unless noted otherwise.
- Mark location of all partitions on the slab for review by architect prior to installation. Review shall be for design intent. Contractor to verify all conditions in order to ensure proper fit.
- Hinge face of all door openings shall be located 6" from adjacent perpendicular wall, unless noted otherwise.
- All partitions shall be perpendicular or parallel to building core walls, unless otherwise noted.
- Reference structural drawings for location of precast shear walls at elevator and stair cores.
- Structural members to receive spray fire-proofing per G1.02 Code Analysis, unless noted otherwise.
- Provide Fall Protection System from roof to access windows below for cleaning.
- Outdoor amenity spaces at 2nd floor and roof to receive pedestal paver system with architectural-grade pavers.
- Roofing membrane to installed with slope of 1/4" : 1'-0".
- Provide sound and vibration isolation roof curb at rooftop equipment, including first floor retail and amenity rooftop heating and cooling equipment.

FLOOR PLAN LEGEND

- RD Roof drain
- OD Overflow drain
- FD Floor drain

CODED NOTES

- 6" diameter sleeved, steel, concrete filled bollard. See Structural drawings
- 1/2" brick recess, see elevations
- Key fob access, entry call box and security camera. See electrical drawings
- ADA actuator
- Trash compactor provided by Property Management. Contractor to install track and stop as specified
- Coordinate waste bins with Property Management and Contractor
- Florence Corporate ADA Mailboxes, Model 4C, recessed, 110 mailboxes w/20 parcel boxes
- Amazon hub locker units for 110 units (6' wide x 1'-10" deep x 6'-9" tall) - 42 units 18" wide + oversized
- Architectural composite metal enclosure at column



Professional's Seal

Project Name

North Shore Lot 10
Mixed-Use

Project Number

17021

Client

Continental Real Estate
Companies

Issue Dates

Date Project Phase

21.10.25 Design Development
Documents

Drawing Title

Second Floor Plan

Sheet Number

A1.02

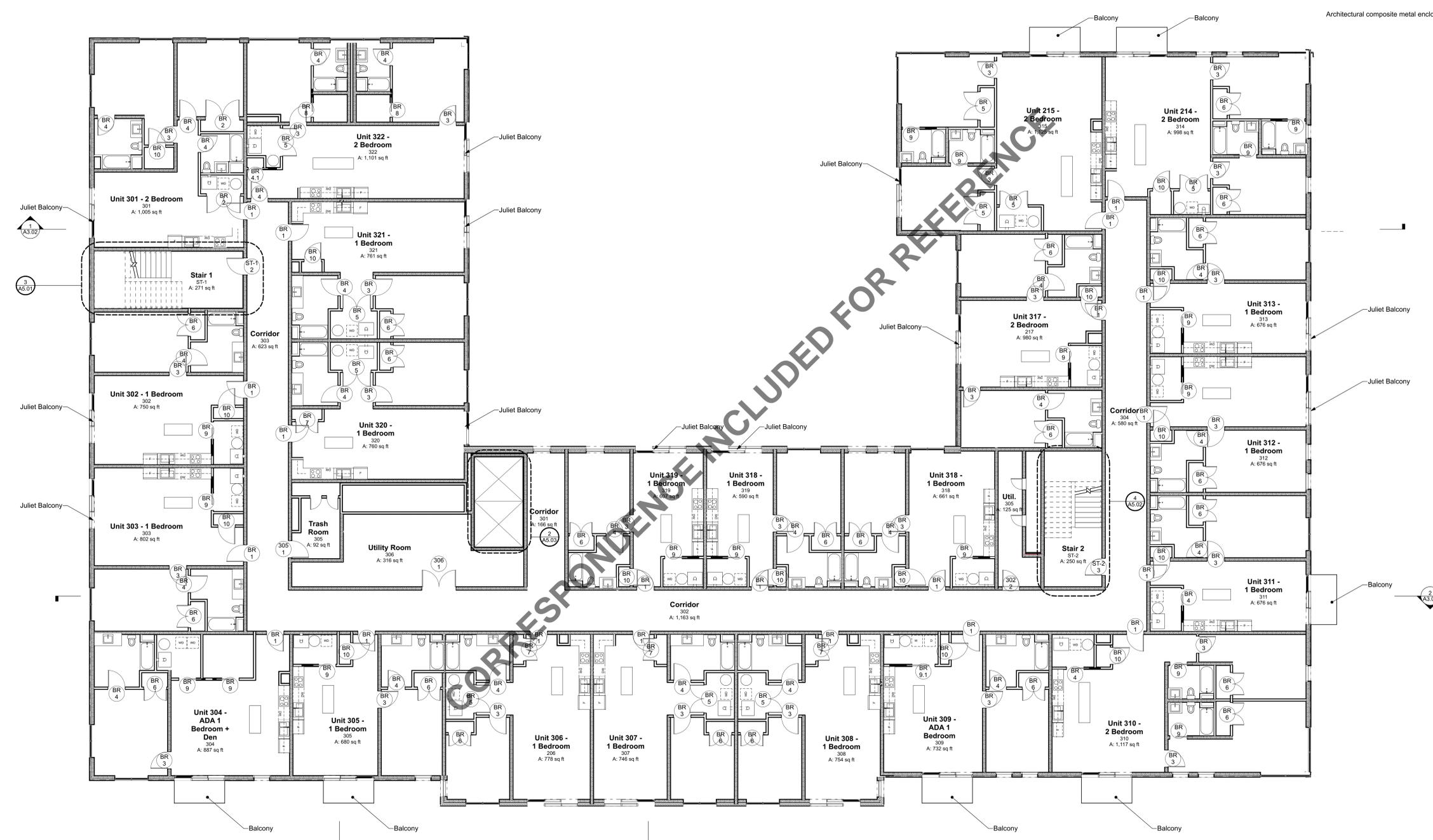
1 Second Floor Plan
A1.02 SCALE: 1/8" = 1'-0"

- GENERAL FLOOR PLAN NOTES**
- It is the responsibility of the contractor to field verify all field conditions and dimensions. Report discrepancies to the architect immediately.
 - All dimensions from finish face to finish face, unless noted otherwise. Maintain dimensions marked "clear" or "hold". Allow for thickness of finishes.
 - Undercut of doors to clear top of floor finishes by 1/4" unless noted otherwise.
 - Mark location of all partitions on the slab for review by architect prior to installation. Review shall be for design intent. Contractor to verify all conditions in order to ensure proper fit.
 - Hinge face of all door openings shall be located 6" from adjacent perpendicular wall, unless noted otherwise.
 - All partitions shall be perpendicular or parallel to building core walls, unless otherwise noted.
 - Reference structural drawings for location of precast shear walls at elevator and stair cores.
 - Structural members to receive spray fire-proofing per G1.02 Code Analysis, unless noted otherwise.
 - Provide Fall Protection System from roof to access windows below for cleaning.
 - Outdoor amenity spaces at 2nd floor and roof to receive pedestal paver system with architectural-grade pavers.
 - Roofing membrane to installed with slope of 1/4" : 1'-0".
 - Provide sound and vibration isolation roof curb at rooftop equipment, including first floor retail and amenity rooftop heating and cooling equipment.

FLOOR PLAN LEGEND

RD	Roof drain
OD	Overflow drain
FD	Floor drain

- CODED NOTES**
- 6" diameter sleeved, steel, concrete filled bollard. See Structural drawings
 - 1/2" brick recess, see elevations
 - Key fob access, entry call box and security camera. See electrical drawings
 - ADA actuator
 - Trash compactor provided by Property Management. Contractor to install track and stop as specified
 - Coordinate waste bins with Property Management and Contractor
 - Florence Corporate ADA Mailboxes, Model 4C, recessed, 110 mailboxes w/20 parcel boxes
 - Amazon hub locker units for 110 units (6' wide x 1'-10" deep x 6'-9" tall) - 42 units 18' wide + oversized
 - Architectural composite metal enclosure at column



1 Third-Sixth Floor Plan
A1.03 SCALE: 1/8" = 1'-0"

Professional's Seal

Project Name

North Shore Lot 10 Mixed-Use

Project Number

17021

Client

Continental Real Estate Companies

Issue Dates

Date Project Phase

21.10.25 Design Development Documents

Drawing Title

Third-Sixth Floor Plan

Sheet Number

A1.03

April 11, 2022

Adalee Jacobs
Langan
2400 Ansys Drive
Canonsburg, PA 15317

Subject: Sewage Facilities Planning Module (SFPM)
Approval for Collection System Flows
Project Name: North Shore Lot 10.2 Mixed Use Building (Project)
PWSA Project No.: 20013.18

Dear Adalee:

Pursuant to your request, we have reviewed the SFPM and determined that the Project will not create a dry-weather hydraulic overload within the next five (5) years for any collection facility owned by the Pittsburgh Water and Sewer Authority (PWSA). We have enclosed for your use the electronically signed "Section J – Chapter 94 Consistency Determination". Please be advised that this approval is limited to the collection system portion of the SFPM.

Our review was based on information provided by others under the assumption that this information was accurate and complete. Should you have any questions, please do not hesitate to contact me directly at x5523 or SConnell@pgh2o.com.

Sincerely,

Shannon Connell, EIT
Engineer III

Enclosures

cc: Barry King, P.E. – PWSA (via email)
Kate Mechler, P.E. – PWSA (via email)
Robert Herring, P.E. – PWSA (via email)
Thomas Flanagan – DEP (via email)
eBuilder – Filing System (via email)

To: Barry King, PE, PMP - Director of Engineering and Construction

From: Shannon Connell, EIT

Cc: Robert Herring, PE, PMP; e-Builder

Date: April 7, 2022

Subject: Department of Environmental Protection (DEP) - Sewage Facilities
Planning Module (SFPM)

Chapter 94 Consistency Determination

Project Name: North Shore Lot 10.2 Mixed Use Building (Project)

Project Address: Parcel 8-K-35, Pittsburgh, PA 15212

PWSA Project Number: 20013.18

The Pittsburgh Water and Sewer Authority (PWSA) received a SFPM application for the aforementioned Project. In accordance with Title 25 of the Pennsylvania Code, the PWSA is required to prepare an annual Wasteload Management Report on the collection and conveyance of wastewater relative to available capacity. Our review of the SFPM was conducted to understand how the Project will impact available dry-weather capacity and whether the proposed flows will contribute to a dry-weather hydraulic overload within the next five (5) years. Please note that a dry-weather hydraulic overload shall require both the denial of the SFPM and the submission of a Corrective Action Plan to the DEP.

We have determined that the Project will not contribute to a dry-weather hydraulic overload within the next five years. Please refer to the enclosed hydraulic calculations for additional information. Upon your approval, please sign and return the enclosed "Section J - Chapter 94 Consistency Determination" page from the SFPM.

Our review was based on information provided by others under the assumption that this information was accurate and complete. Should you have any questions, please do not hesitate to contact me directly.

Enclosures

J. CHAPTER 94 CONSISTENCY DETERMINATION (See Section J of instructions)

Projects that propose the use of existing municipal collection, conveyance or wastewater treatment facilities, or the construction of collection and conveyance facilities to be served by existing municipal wastewater treatment facilities must be consistent with the requirements of Title 25, Chapter 94 (relating to Municipal Wasteload Management). If not previously included in Section F, include a general map showing the path of the sewage to the treatment facility. If more than one municipality or authority will be affected by the project, please obtain the information required in this section for each. Additional sheets may be attached for this purpose.

1. Project Flows 30810 _____ gpd
2. Total Sewage Flows to Facilities (pathway from point of origin through treatment plant)

When providing "treatment facilities" sewage flows, use Annual Average Daily Flow for "average" and Maximum Monthly Average Daily Flow for "peak" in all cases. For "peak flows" in "collection" and "conveyance" facilities, indicate whether these flows are "peak hourly flow" or "peak instantaneous flow" and how this figure was derived (i.e., metered, measured, estimated, etc.).

- a. Enter average and peak sewage flows for each proposed or existing facility as designed or permitted.
- b. Enter the average and peak sewage flows for the most restrictive sections of the existing sewage facilities.
- c. Enter the average and peak sewage flows, projected for 5 years (2 years for pump stations) through the most restrictive sections of the existing sewage facilities. Include existing, proposed (this project) and future project (other approved projects) flows.

To complete the table, refer to the instructions, Section J.

	a. Design and/or Permitted Capacity (gpd)		b. Present Flows (gpd)		c. Projected Flows in 5 years (gpd) (2 years for P.S.)	
	Average	Peak	Average	Peak	Average	Peak
Collection	911341	2734024	24000	72000	35984	107951
Conveyance						
Treatment						

3. Collection and Conveyance Facilities

The questions below are to be answered by the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities. These questions should be answered in coordination with the latest Chapter 94 annual report and the above table. The individual(s) signing below must be legally authorized to make representation for the organization.

YES NO

- a. This project proposes sewer extensions or tap-ins. Will these actions create a hydraulic overload within five years on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until all inconsistencies with Chapter 94 are resolved or unless there is an approved Corrective Action Plan (CAP) granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the module package.

If no, a representative of the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not affect that status.

b. Collection System

Name of Agency, Authority, Municipality PWSA

Name of Responsible Agent Robert Herring, PE, PMP

Agent Signature Robert Herring Date 4/8/2022

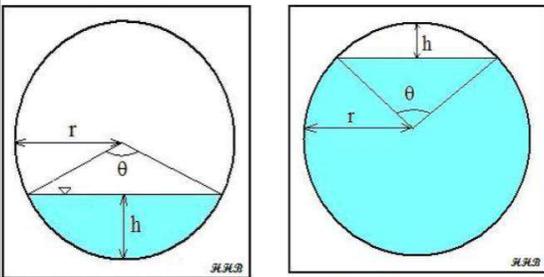
2022-04-08 10:42:52 -04'00'

Sewage Facilities Planning Module
Chapter 94 Consistency Determination
Hydraulic Calculations Spreadsheet for Flow Monitoring Measurements

PROJECT NAME: North Shore Mixed Use Building
PWSA PROJECT NUMBER: 20013.18
PWSA REVIEWER: Shannon Connell, EIT
DATE: April 7, 2022

LEGEND: Input Data Output Data

Section A: Manning Equation for Partially Filled Pipes



Partially Full Pipe Flow Parameters (Less Than Half Full)

Partially Full Pipe Flow Parameters (More Than Half Full)

Variable	Units	Description
Q	ft ³	Volumetric flowrate
n	Unitless	Manning Roughness Coeff.
A	ft ²	Cross-Sectional Area of Flow
R	ft	Hydraulic Radius
S	ft/ft	Slope of Hydraulic Grade Line
P	ft	Wetted Perimeter of "A"
r	ft	Radius
h	ft	Depth of Flow or Headspace
θ	radians	Central Angle

$$Q = \left(\frac{1.49}{n}\right) \times A \times R^{2/3} \times S^{1/2} \quad R = \frac{A}{P} \quad \theta = 2 \times \cos^{-1} \left(\frac{r - h}{r} \right)$$

$$A_{<50\% \text{ Full}} = \frac{r^2(\theta - \sin \theta)}{2} \quad \text{OR} \quad A_{>50\% \text{ Full}} = \pi \times r^2 \times \frac{r^2(\theta - \sin \theta)}{2}$$

$$P_{<50\% \text{ Full}} = r \times \theta \quad P_{>50\% \text{ Full}} = (2 \times \pi \times r) - (r \times \theta)$$

Section B: Data for Calculations

Peaking Factor, P.F.	
Sanitary Sewers	3
Combined Sewers	3.5

Proposed Project Flows		
Variable	Value	Units
Q _p	30,810	gpd

Variable	Value	Units
Material	PVC	
n	0.01	unitless
S	0.008	ft/ft
h	1.000	ft
D	1.00	ft
P.F.	3	unitless

Section C: Calculations for Design and/or Permitted Capacities

Variable	Description	Definition
$Q_{d, avg}$	Design Capacity, Average	= full pipe flow conditions / peaking factor
$Q_{d, peak}$	Design Capacity, Peak	full pipe flow conditions

Design Capacity, Average		
Variable	Value	Unit
$Q_{d, avg}$	894,895	gpd

Design Capacity, Peak		
Variable	Value	Unit
D	1.000	ft
r	0.500	ft
A	0.785	ft ²
P	3.142	ft
R	0.250	ft
$Q_{d, peak}$	4	cfs
$Q_{d, peak}$	2,684,685	gpd

Section D: Calculations for Present Flows

Variable	Description	Definition
$Q_{ex, avg}$	Present Flows, Average	determined via flow monitoring data
$Q_{ex, peak}$	Present Flows, Peak	determined via flow monitoring data

Present Flows, Average		
Variable	Value	Unit
$Q_{ex, avg}$	24,000	gpd

Present Flows, Peak		
Variable	Value	Unit
$Q_{ex, peak}$	72,000	gpd

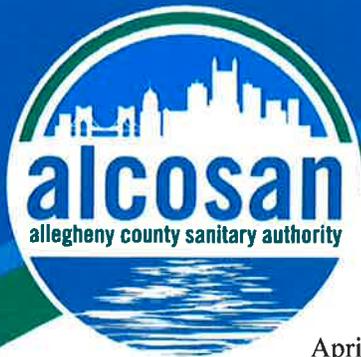
Section E: Calculations for Projected Flows in Five (5) Years

Variable	Description	Definition
$Q_{proj, avg}$	Projected Flows in Five (5) Years, Average	= $Q_{proj, peak} \div P.F.$
$Q_{proj, peak}$	Projected Flows in Five (5) Years, Peak	= $(Q_{ex, peak} + Q_p) \times 1.05$

Projected Flow Calculations		
Variable	Value	Unit
$Q_{proj, avg}$	35,984	gpd
$Q_{proj, peak}$	107,951	gpd

Section F: Compare Results with Applicant's Submission

Variable	PWSA, gpd	Applicant, gpd	Difference, gpd	Difference, %
$Q_{d, avg}$	894,895	911,341	-16,446	-2%
$Q_{d, peak}$	2,684,685	2,734,024	-49,339	-2%
$Q_{ex, avg}$	24,000	24,000	0	0%
$Q_{ex, peak}$	72,000	72,000	0	0%
$Q_{proj, avg}$	35,984	35,984	-1	0%
$Q_{proj, peak}$	107,951	107,951	-1	0%



Members of the Board

Sylvia C. Wilson
Chair Person

Shannah Tharp-Gilliam, Ph.D.
Harry Readshaw
Corey O'Connor
Jack Shea
John Weinstein
Emily Kinkead

Arletta Scott Williams
Executive Director

Douglas A. Jackson, P.E.
*Director
Operations & Maintenance*

Michelle M. Buys, P.E.
*Director
Environmental Compliance*

Kimberly N. Kennedy, P.E.
*Director
Engineering & Construction*

Karen Fantoni, CPA, CGMA
*Director
Finance*

Michael Lichte, P.E.
*Director
Regional Conveyance*

Jeanne K. Clark
*Director
Governmental Affairs*

Joseph Vallarian
*Director
Communications*

Julie Motley-Williams
*Director
Administration*

April 25, 2022

Scott Rowland, P.E.
Langan Engineering & Environmental Services, Inc.
2400 Ansys Drive, Suite 403
Canonsburg, PA 15317

**Re: North Shore Lot 10.2
Parcel 8-K-35, Pittsburgh, PA 15212
PA DEP Sewage Facilities Planning Module
ALCOSAN Downshaft Structure A-46-00**

Dear Mr. Rowland:

We have reviewed the Component 3 Planning Module for the referenced project to be located in the City of Pittsburgh. The project will generate a peak flow of 30,810 GPD in the ALCOSAN Allegheny River Interceptor and Woods Run Treatment Plant.

The capacity at the A-46-00 Downshaft Structure is approximately 5.44 MGD. The estimated peak dry weather flow is approximately 0.430 MGD. Dry weather capacity exists for this connection. However, the ALCOSAN Allegheny River Interceptor and the Woods Run Treatment Plant do not have the capacity for the flows generated during wet weather periods. This limitation will be addressed as ALCOSAN implements its Clean Water Plan.

ALCOSAN has completed and signed the sections required in the Component 3 module and requests that this letter be made part of the planning module submission. If you have any questions regarding this matter, please contact me at 412-732-8046.

Sincerely,

ALLEGHENY COUNTY SANITARY AUTHORITY

Joseph Sparbanie

Joseph A. Sparbanie, P.E.
Civil Engineer

Attachment

cc: T. Dean (w/o attachment) B. King/ PWSA (w/o attachment)
D. Thornton (w/o attachment) T. Flanagan/ PaDEP (w/o attachment)
M. Lichte (w/o attachment) F. Fields/ ACHD (w/o attachment)

COUNTY OF



ALLEGHENY

RICH FITZGERALD
COUNTY EXECUTIVE

April 27, 2022

Adalee Jacobs
Langan Engineering and Environmental Services, Inc.
2400 Ansys Drive, Suite 403
Canonsburg, PA 15317

**RE: SEWAGE FACILITIES PLANNING MODULE; , ALLEGHENY COUNTY
North Shore Lot 10.2, City of Pittsburgh**

Dear Ms. Jacobs:

Enclosed is a signed copy of Component 4C, County or Joint County Health Department Review, for the above-referenced development. This Planning Module Component was received on April 26, 2022. The project proposes the following:

Project Description: North Shore Lot 10.2. proposing the construction of a 200,00 GSF mixed use building consisting of 6 stories with retail/restaurant space on the first floor, multi-unit residential units on floors 2-6, and a rooftop terrace space located in the City of Pittsburgh, Allegheny County.

Sewage Flow: 30,810 GPD

Conveyance: The flow from this site will be conveyed to the Pittsburgh Water and Sewer Authority (PWSA) collection system to the ALCOSAN POC A-46 to the Allegheny River Interceptor and then to the ALCOSAN Treatment Plant at Woods Run.

Sewer's Owner: PWSA (collection) and ALCOSA(interceptor)

Name of Sewage Treatment Plant: ALCOSAN

Please be advised that a permit must be obtained from the Allegheny County Health Department's (ACHD) Plumbing Section prior to commencing any plumbing work for the proposed project. Plumbing work for which an ACHD Plumbing Permit must be obtained includes any plumbing work done on the site and any sewers, which will not be owned and operated by a municipality or a sewer authority.



DEBRA BOGEN, MD, FAAP, FABM, DIRECTOR
ALLEGHENY COUNTY HEALTH DEPARTMENT

WATER POLLUTION CONTROL & SOLID WASTE MANAGEMENT
3901 PENN AVENUE • BUILDING 5 • PITTSBURGH, PA 15224-1318
PHONE: 412.578.8040 • FAX: 412.578.8053
WWW.ALLEGHENYCOUNTY.US/HEALTHDEPARTMENT



In addition, it should be noted that the approval of this sewage facilities planning module does not include approval of pipe size and/or type. Approval for pipe size and/or type must be obtained by filing a specific plumbing plan with the ACHD's Plumbing Section. If you should have any questions relative to ACHD's plumbing requirements, you can contact Drew Grese, Acting Plumbing Chief at 412-578-8055.

The ACHD has no objection to the approval of this project. If you have any questions, please call me at 412-578-8046.

Sincerely,



Freddie Fields, M.B.A.
Environmental Health Engineer III
Water Pollution Control & Solid Waste Management

FF/cb
Enclosure

cc: Thomas Flanagan, PA Department of Environmental Protection w/attachment (electronically)
Drew Grese, ACHD w/attachment (electronically)

CORRESPONDENCE INCLUDED FOR REFERENCE

APPENDIX B

Resolution for Plan Revision for New Land Development

Fiscal Impact Statement
Updated 1/29/2020 to satisfy City Code §219.07

Department	Law
Preparer	Ben Smith
Standing Committee Representative	Paul Ceriani, P.E. (Langan Engineering) 724-514-5167
Type of Legislation	Other

Description of Legislation

Continental Development, Inc. has proposed the development of certain parcels of land identified in North Shore, Pittsburgh, PA 15212, Allegheny County, at lot and block 8-K-35, in the Twenty-Second Ward of the City of Pittsburgh, Pennsylvania and described in the attached Sewage Facilities Planning Module (the "Planning Module") for land development and proposes that project be served by use of existing connections to the City of Pittsburgh sewage systems; and

The City of Pittsburgh must adopt, and applicant must submit, the Planning Module for land development to the Department of Environmental Protection for its approval as a Plan Revision to the City of Pittsburgh's Official Sewage Facilities Plan.

Total Cost	\$ 0			
Frequency of Expenditure	<input type="checkbox"/> One-Time		<input type="checkbox"/> Multi-Year	
Funding Source	<input type="checkbox"/> Operating	<input type="checkbox"/> Capital	<input type="checkbox"/> Grant	<input type="checkbox"/> Trust Fund
Is this item budgeted?	<input type="checkbox"/> Yes		<input type="checkbox"/> No	

JDE Account Information

N/A

Additional Operational Costs

N/A

Impact on City Revenue

N/A

If the resolution authorizes a professional services contract, complete this page:

<i>Method of Procurement</i> <i>Select one.</i>	<input type="checkbox"/> RFP	<input type="checkbox"/> Signed Waiver from OMB	<input type="checkbox"/> Amendment to Existing Contract <i>Do not fill out the rest of the form.</i>
---	------------------------------	--	---

Name of Vendor and Award Justification

List the name of the awarded vendor and its qualifications.

Other Respondents

List the other respondents. If there were none, clearly state that.

Selection Criteria

Describe the selection or scoring criteria.

Selection Committee Representation

List the department(s) or bureau(s) represented on the committee. Do not list individual names.

Waiver Justification

If a waiver was granted, explain the justification.

EORC Synopsis

Insert synopsis that was presented.

<i>Date Presented at EORC:</i> Insert date.	<input type="checkbox"/> Approved	<input type="checkbox"/> Not Approved
--	-----------------------------------	---------------------------------------

*Per §219.07 of the City Code, you **must** include an electronic copy of the solicitation or your signed waiver with your submission to the Office of Management and Budget.*

Attachments

- *Please attach any additional documents and/or exhibits.*

City of Pittsburgh
Sewer Facilities Planning Module Questionnaire

PROJECT NAME: North Shore Lot 10.2

1) What was the previous permitted use for this property?

Parking lot

2) What is the proposed use for the property?

Ground floor Retail/Restaurant and multi-unit Residential (Second to Sixth floor)

3) How is green stormwater mitigation being integrated into the proposed project?

Stormwater management is achieved on this project through the reuse and maintenance of existing stormwater infrastructure – an on-site existing infiltration vault from the previous phase of the project (North Shore Lot 10). Earth disturbance during construction will be kept to the minimum amount of soil disturbance practicable, minimizing sediment pollution of site runoff.

4) Will the development result in a net positive or net negative change in stormwater flow?

This development will result in a net negative change in stormwater flow.

Resolution No. _____

CITY OF PITTSBURGH

Introduced: Bill No:

Committee: Intergovernmental Affairs Committee Status:

Sponsored by:

Resolution adopting Plan Revision to the City of Pittsburgh's Official Sewage Facilities Plan for the North Shore Lot 10.2 project, North Shore, Pittsburgh, PA 15212.

WHEREAS, SECTION 5 of the Act of January 24, 1966, P.L. 1535, No. 537, known as the "Pennsylvania Sewage Facilities Act," as amended, and the rules and regulations of the Pennsylvania Department of Environmental Protection (the "Department") adopted thereunder, Chapter 71 of Title 25 of the Pennsylvania Code, requires the City of Pittsburgh to adopt an Official Sewage Facilities Plan (the "Official Plan") providing for sewage services adequate to prevent contamination of waters of the Commonwealth and/or environmental health hazards from sewage wastes, and to revise said plan whenever it is necessary to determine whether a proposed method of sewage disposal for a new development conforms to a comprehensive program of pollution control and water quality management; and

WHEREAS, Continental Development, Inc. has proposed the development of certain parcels of land North Shore Lot 10.2 project, North Shore, Pittsburgh, PA 15212, Allegheny County, at lot and block 8-K-35 in the 22nd Ward of the City of Pittsburgh and described in the attached Sewage Facilities Planning Module (the "Planning Module") for land development and proposes that project be served by a sewer tap-in to the City of Pittsburgh sewage systems; and

WHEREAS, the Pittsburgh Water and Sewer Authority, the Allegheny County Sanitary Authority, the City of Pittsburgh Planning Department and the Allegheny County Health Department have reviewed the respective components of the attached Planning Module in regard to each authority/department's expertise and have approved the respective components as explained in the attached Planning Module.

WHEREAS, based upon the approval of the above authorities and departments, the City of Pittsburgh finds that the project described in the attached Planning Module for land development conforms to applicable zoning, subdivision, other municipal ordinances and plans, and to a comprehensive program of pollution control and water quality management.

BE IT RESOLVED BY THE COUNCIL OF THE CITY OF PITTSBURGH AS FOLLOWS:

SECTION 1. The City of Pittsburgh hereby adopts and submits to the Department of Environmental Protection for its approval as a Plan Revision to the City of Pittsburgh's Official Sewage Facilities Plan, the above-referenced Planning Module for land development, which is attached hereto as **Exhibit A**.

Said Planning Module includes the North Shore Lot 10.2 project, North Shore, Pittsburgh, PA 15212, Allegheny County, at lot and block 8-K-35 in the 22nd Ward of the City of Pittsburgh.

Finally, that any Ordinance or Resolution or part thereof conflicting with the provisions of this Resolution, is hereby repealed so far as the same affects this Resolution.

Effective Date: _____

Passed in Council: _____

Approved: _____

Recorded in R.B. ___ page _____ in City Clerk's Office.

APPENDIX C

**Component 3, Narrative Description of
Project, Supporting Documentation**



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF POINT AND NON-POINT SOURCE MANAGEMENT

SEWAGE FACILITIES PLANNING MODULE

Component 3. Sewage Collection and Treatment Facilities

(Return completed module package to appropriate municipality)

DEP USE ONLY				
DEP CODE #	CLIENT ID #	SITE ID #	APS ID #	AUTH ID #

This planning module component is used to fulfill the planning requirements of Act 537 for the following types of projects: (1) a subdivision to be served by sewage collection, conveyance or treatment facilities, (2) a tap-in to an existing collection system with flows on a lot of 2 EDU's or more, or (3) the construction of, or modification to, wastewater collection, conveyance or treatment facilities that will require DEP to issue or modify a Clean Streams Law permit. Planning for any project that will require DEP to issue or modify a permit cannot be processed by a delegated agency. Delegated agencies must send their projects to DEP for final planning approval.

This component, along with any other documents specified in the cover letter, must be completed and submitted to the municipality with jurisdiction over the project site for review and approval. All required documentation must be attached for the Sewage Facilities Planning Module to be complete. Refer to the instructions for help in completing this component.

REVIEW FEES: Amendments to the Sewage Facilities Act established fees to be paid by the developer for review of planning modules for land development. These fees may vary depending on the approving agency for the project (DEP or delegated local agency). Please see section R and the instructions for more information on these fees.

NOTE: All projects must complete Sections A through I, and Sections O through R. Complete Sections J, K, L, M and/or N if applicable or marked .

A. PROJECT INFORMATION (See Section A of instructions)

- Project Name North Shore Lot 10.2
- Brief Project Description Continental Development, Inc. and its development partners (collectively "the Developer") are proposing the construction of a mixed use building in Pittsburgh's North Shore. The proposed ±200,000 GSF mixed-use building will consist of six stories with retail/restaurant space on the first floor, multi-unit residential units on floors two through six, and a roof-top terrace space. The site is bound by North Shore Drive to the south, Mazeroski Way to the east, West General Robinson Street to the north, and City of Pittsburgh parcel 8-K-2 to the west (Hyatt Place). The proposed sanitary service will be provided by a proposed sanitary lateral from the proposed mixed-use building to an existing 8-inch sanitary lateral (currently stubbed), which then connects to PWSA sewer manhole MH008L070 in North Shore Drive.

B. CLIENT (MUNICIPALITY) INFORMATION (See Section B of instructions)

Municipality Name	County	City	Boro	Twp
City of Pittsburgh	Allegheny	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Municipality Contact Individual - Last Name	First Name	MI	Suffix	Title
Battistone	Martina			
Additional Individual Last Name	First Name	MI	Suffix	Title
Municipality Mailing Address Line 1	Mailing Address Line 2			
Department of City Planning	200 Ross St. Suite #4			
Address Last Line -- City	State	ZIP+4		

Pittsburgh PA 15219

Area Code + Phone + Ext. FAX (optional) Email (optional)

412-255-2516

C. SITE INFORMATION (See Section C of instructions)

Site (Land Development or Project) Name

North Shore Lot 10.2

Site Location Line 1

City of Pittsburgh Parcel 8-K-35

Site Location Line 2

Site Location Last Line -- City

Pittsburgh

State

PA

ZIP+4

15212

Latitude

40.446845

Longitude

-80.007991

Detailed Written Directions to Site Head S on Waterfront Dr toward Three Rivers Heritage Trail. Continue straight onto 30th St Bridge. Turn right onto River Ave. Turn left onto 31st St Bridge. Merge onto PA 28-S. Take I-279 S/I-376 W exit. Take exit 1B. Merge onto Reedsdale Street. Turn left onto Tony Dorsett Drive. Turn left onto North Shore Drive.

Description of Site The site is currently a surface parking lot.

Site Contact (Developer/Owner)

Last Name

Ford

First Name

Barry

MI

Suffix

Phone

Ext.

Site Contact Title

Agent

FAX

Site Contact Firm (if none, leave blank)

Continental Development, Inc.

Email

BFord@continental-realestate.com

Mailing Address Line 1

395 East Waterfront Drive

Mailing Address Line 2

Mailing Address Last Line -- City

Homestead

State

PA

ZIP+4

15210-5005

D. PROJECT CONSULTANT INFORMATION (See Section D of instructions)

Last Name

Rowland

First Name

Scott

MI

Suffix

Title

Principal/Vice President

Consulting Firm Name

Langan Engineering & Environmental Services, Inc.

Mailing Address Line 1

2400 Ansys Drive

Mailing Address Line 2

Suite 403

Address Last Line -- City

Canonsburg

State

PA

ZIP+4

15317

Country

USA

Email

srowland@langan.com

Area Code + Phone

724-514-5123

Ext.

Area Code + FAX

724-514-5101

E. AVAILABILITY OF DRINKING WATER SUPPLY

The project will be provided with drinking water from the following source: (Check appropriate box)

- Individual wells or cisterns.
- A proposed public water supply.
- An existing public water supply.

If existing public water supply is to be used, provide the name of the water company and attach documentation from the water company stating that it will serve the project.

Name of water company: PWSA

F. PROJECT NARRATIVE (See Section F of instructions)

- A narrative has been prepared as described in Section F of the instructions and is attached.
The applicant may choose to include additional information beyond that required by Section F of the instructions.

G. PROPOSED WASTEWATER DISPOSAL FACILITIES (See Section G of instructions)

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter 93 (relating to wastewater treatment requirements).

1. COLLECTION SYSTEM

a. Check appropriate box concerning collection system

- New collection system Pump Station Force Main
 Grinder pump(s) Extension to existing collection system Expansion of existing facility

Clean Streams Law Permit Number _____

b. Answer questions below on collection system

Number of EDU's and proposed connections to be served by collection system. EDU's 77

Connections 1

Name of:

existing collection or conveyance system North Shore Drive 12-inch PVC Sanitary Sewer

owner Pittsburgh Water and Sewer Authority (PWSA)

existing interceptor Allegheny River Interceptor

owner Allegheny County Sanitary Authority (ALCOSAN)

2. WASTEWATER TREATMENT FACILITY

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter(s) 91 (relating to general provisions), 92 (relating to national Pollution Discharge Elimination System permitting, monitoring and compliance) and 93 (relating to water quality standards).

a. Check appropriate box and provide requested information concerning the treatment facility

- New facility Existing facility Upgrade of existing facility Expansion of existing facility

Name of existing facility Allegheny County Sanitary Authority (ALCOSAN) Wastewater Treatment Facility

NPDES Permit Number for existing facility PA 0025984

Clean Streams Law Permit Number PA 0025984

Location of discharge point for a new facility. Latitude 402834 Longitude 80° 02' 44" W

b. The following certification statement must be completed and signed by the wastewater treatment facility permittee or their representative.

As an authorized representative of the permittee, I confirm that the ALCOSAN
(Name from above) sewage treatment facilities can accept sewage flows from this project without adversely affecting the facility's ability to achieve all applicable technology and water quality based effluent limits (see Section I) and conditions contained in the NPDES permit identified above.

Name of Permittee Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent Joseph A. Sparbanie, P.E.

Agent Signature [Signature] Date 4-25-22

(Also see Section I. 4.)

G. PROPOSED WASTEWATER DISPOSAL FACILITIES (Continued)

3. PLOT PLAN

The following information is to be submitted on a plot plan of the proposed subdivision.

- a. Existing and proposed buildings.
- b. Lot lines and lot sizes.
- c. Adjacent lots.
- d. Remainder of tract.
- e. Existing and proposed sewerage facilities. Plot location of discharge point, land application field, spray field, COLDS, or LVCOLDS if a new facility is proposed.
- f. Show tap-in or extension to the point of connection to existing collection system (if applicable).
- g. Existing and proposed water supplies and surface water (wells, springs, ponds, streams, etc.)
- h. Existing and proposed rights-of-way.
- i. Existing and proposed buildings, streets, roadways, access roads, etc.
- j. Any designated recreational or open space area.
- k. Wetlands - from National Wetland Inventory Mapping and USGS Hydric Soils Mapping.
- l. Flood plains or Flood prone areas, floodways, (Federal Flood Insurance Mapping)
- m. Prime Agricultural Land.
- n. Any other facilities (pipelines, power lines, etc.)
- o. Orientation to north.
- p. Locations of all site testing activities (soil profile test pits, slope measurements, permeability test sites, background sampling, etc. (if applicable).
- q. Soils types and boundaries when a land based system is proposed.
- r. Topographic lines with elevations when a land based system is proposed

4. WETLAND PROTECTION

YES NO

- a. Are there wetlands in the project area? If yes, ensure these areas appear on the plot plan as shown in the mapping or through on-site delineation.
- b. Are there any construction activities (encroachments, or obstructions) proposed in, along, or through the wetlands? If yes, identify any proposed encroachments on wetlands and identify whether a General Permit or a full encroachment permit will be required. If a full permit is required, address time and cost impacts on the project. Note that wetland encroachments should be avoided where feasible. Also note that a feasible alternative **MUST BE SELECTED** to an identified encroachment on an exceptional value wetland as defined in Chapter 105. Identify any project impacts on streams classified as HQ or EV and address impacts of the permitting requirements of said encroachments on the project.

5. PRIME AGRICULTURAL LAND PROTECTION

YES NO

- Will the project involve the disturbance of prime agricultural lands?
If yes, coordinate with local officials to resolve any conflicts with the local prime agricultural land protection program. The project must be consistent with such municipal programs before the sewage facilities planning module package may be submitted to DEP.
If no, prime agricultural land protection is not a factor to this project.
- Have prime agricultural land protection issues been settled?

6. HISTORIC PRESERVATION ACT

YES NO

- Sufficient documentation is attached to confirm that this project is consistent with DEP Technical Guidance 012-0700-001 *Implementation of the PA State History Code* (available online at the DEP website at www.dep.state.pa.us, select "subject" then select "technical guidance"). As a minimum this includes copies of the completed Cultural Resources Notice (CRN), a return receipt for its submission to the PHMC and the PHMC review letter.

7. PROTECTION OF RARE, ENDANGERED OR THREATENED SPECIES

Check one:

- The "Pennsylvania Natural Diversity Inventory (PNDI) Project Environmental Review Receipt" resulting from my search of the PNDI database and all supporting documentation from jurisdictional agencies (when necessary) is/are attached.
- A completed "Pennsylvania Natural Diversity Inventory (PNDI) Project Planning & Environmental Review Form," (PNDI Form) available at www.naturalheritage.state.pa.us, and all required supporting documentation is attached. I request DEP staff to complete the required PNDI search for my project. I realize that my planning module will be considered incomplete upon submission to the Department and that the DEP review will not begin, and that processing of my planning module will be delayed, until a "PNDI Project Environmental Review Receipt" and all supporting documentation from jurisdictional agencies (when necessary) is/are received by DEP.

Applicant or Consultant Initials _____.

H. ALTERNATIVE SEWAGE FACILITIES ANALYSIS (See Section H of instructions)

- An alternative sewage facilities analysis has been prepared as described in Section H of the attached instructions and is attached to this component.
The applicant may choose to include additional information beyond that required by Section H of the attached instructions.

I. COMPLIANCE WITH WATER QUALITY STANDARDS AND EFFLUENT LIMITATIONS (See Section I of instructions) (Check and complete all that apply.)

1. Waters designated for Special Protection

- The proposed project will result in a new or increased discharge into special protection waters as identified in Title 25, Pennsylvania Code, Chapter 93. The Social or Economic Justification (SEJ) required by Section 93.4c. is attached.

2. Pennsylvania Waters Designated As Impaired

- The proposed project will result in a new or increased discharge of a pollutant into waters that DEP has identified as being impaired by that pollutant. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss water quality based discharge limitations.

3. Interstate and International Waters

- The proposed project will result in a new or increased discharge into interstate or international waters. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss effluent limitations necessary to meet the requirements of the interstate or international compact.

4. Tributaries To The Chesapeake Bay

- The proposed project result in a new or increased discharge of sewage into a tributary to the Chesapeake Bay. This proposal for a new sewage treatment facility or new flows to an existing facility includes total nitrogen and total phosphorus in the following amounts: _____ pounds of TN per year, and _____ pounds of TP per year. Based on the process design and effluent limits, the total nitrogen treatment capacity of the wastewater treatment facility is _____ pounds per year and the total phosphorus capacity is _____ pounds per year as determined by the wastewater treatment facility permittee. The permittee has determined that the additional TN and TP to be contributed by this project (as modified by credits and/or offsets to be provided) will not cause the discharge to exceed the annual total mass limits for these parameters. Documentation of compliance with nutrient allocations is attached.

Name of Permittee Agency, Authority, Municipality _____

Initials of Responsible Agent (See Section G 2.b) _____

See *Special Instructions* (Form 3800-FM-BPNPSM0353-1) for additional information on Chesapeake Bay watershed requirements.

J. CHAPTER 94 CONSISTENCY DETERMINATION (See Section J of instructions)

Projects that propose the use of existing municipal collection, conveyance or wastewater treatment facilities, or the construction of collection and conveyance facilities to be served by existing municipal wastewater treatment facilities must be consistent with the requirements of Title 25, Chapter 94 (relating to Municipal Wasteload Management). If not previously included in Section F, include a general map showing the path of the sewage to the treatment facility. If more than one municipality or authority will be affected by the project, please obtain the information required in this section for each. Additional sheets may be attached for this purpose.

1. Project Flows 30810 _____ gpd
2. Total Sewage Flows to Facilities (pathway from point of origin through treatment plant)

When providing "treatment facilities" sewage flows, use Annual Average Daily Flow for "average" and Maximum Monthly Average Daily Flow for "peak" in all cases. For "peak flows" in "collection" and "conveyance" facilities, indicate whether these flows are "peak hourly flow" or "peak instantaneous flow" and how this figure was derived (i.e., metered, measured, estimated, etc.).

- a. Enter average and peak sewage flows for each proposed or existing facility as designed or permitted.
- b. Enter the average and peak sewage flows for the most restrictive sections of the existing sewage facilities.
- c. Enter the average and peak sewage flows, projected for 5 years (2 years for pump stations) through the most restrictive sections of the existing sewage facilities. Include existing, proposed (this project) and future project (other approved projects) flows.

To complete the table, refer to the instructions, Section J.

	a. Design and/or Permitted Capacity (gpd)		b. Present Flows (gpd)		c. Projected Flows in 5 years (gpd) (2 years for P.S.)	
	Average	Peak	Average	Peak	Average	Peak
Collection	911341	2734024	24000	72000	35984	107951
Conveyance	-	5,440,000	143,000	430,000	175,548	465,418
Treatment		250,000,000	191,500,000	250,000,000	258,342,000	295,000,000

3. Collection and Conveyance Facilities

The questions below are to be answered by the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities. These questions should be answered in coordination with the latest Chapter 94 annual report and the above table. The individual(s) signing below must be legally authorized to make representation for the organization.

YES NO

- a. YES NO This project proposes sewer extensions or tap-ins. Will these actions create a hydraulic overload within five years on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until all inconsistencies with Chapter 94 are resolved or unless there is an approved Corrective Action Plan (CAP) granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the module package.

If no, a representative of the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not affect that status.

- b. Collection System

Name of Agency, Authority, Municipality PWSA

Name of Responsible Agent Robert Herring, PE, PMP

Agent Signature Robert Herring Date 4/8/2022
2022-04-08 10:42:52 -04'00'

J. CHAPTER 94 CONSISTENCY DETERMINATION (See Section J of instructions)

c. Conveyance System

Name of Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent Joseph A. Sparbanie, P.E.

Agent Signature JAH

Date 4-25-22

4. Treatment Facility

The questions below are to be answered by a representative of the facility permittee in coordination with the information in the table and the latest Chapter 94 report. The individual signing below must be legally authorized to make representation for the organization.

YES NO

- a. This project proposes the use of an existing wastewater treatment plant for the disposal of sewage. Will this action create a hydraulic or organic overload within 5 years at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this inconsistency with Chapter 94 is resolved or unless there is an approved CAP granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the planning module.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not impact that status.

- b. Name of Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent Joseph A. Sparbanie, P.E.

Agent Signature JAH

Date 4-25-22

K. TREATMENT AND DISPOSAL OPTIONS (See Section K of instructions)

This section is for land development projects that propose construction of wastewater treatment facilities. Please note that, since these projects require permits issued by DEP, these projects may **NOT** receive final planning approval from a delegated local agency. Delegated local agencies must send these projects to DEP for final planning approval.

Check the appropriate box indicating the selected treatment and disposal option.

- 1. Spray irrigation (other than individual residential spray systems (IRSIS)) or other land application is proposed, and the information requested in Section K.1. of the planning module instructions are attached.
- 2. Recycle and reuse is proposed and the information requested in Section K-2 of the planning module instructions is attached.
- 3. A discharge to a dry stream channel is proposed, and the information requested in Section K.3. of the planning module instructions are attached.
- 4. A discharge to a perennial surface water body is proposed, and the information requested in Section K.4. of the planning module instructions are attached.

L. PERMEABILITY TESTING (See Section L of instructions)

- The information required in Section L of the instructions is attached.

M. PRELIMINARY HYDROGEOLOGIC STUDY (See Section M of instructions)

- The information required in Section M of the instructions is attached.

N. DETAILED HYDROGEOLOGIC STUDY (See Section N of instructions)

The detailed hydrogeologic information required in Section N. of the instructions is attached.

O. SEWAGE MANAGEMENT (See Section O of instructions)

(1-3 for completion by the developer(project sponser), 4-5 for completion by the non-municipal facility agent and 6 for completion by the municipality)

Yes No

1. Is connection to, or construction of, a DEP permitted, non-municipal sewage facility or a local agency permitted, community onlot sewage facility proposed.

If Yes, respond to the following questions, attach the supporting analysis, and an evaluation of the options available to assure long-term proper operation and maintenance of the proposed non-municipal facilities. If No, skip the remainder of Section O.

2. Project Flows _____ gpd

Yes No

3. Is the use of nutrient credits or offsets a part of this project?

If yes, attach a letter of intent to purchase the necessary credits and describe the assurance that these credits and offsets will be available for the remaining design life of the non-municipal sewage facility;

(For completion by non-municipal facility agent)

4. Collection and Conveyance Facilities

The questions below are to be answered by the organization/individual responsible for the non-municipal collection and conveyance facilities. The individual(s) signing below must be legally authorized to make representation for the organization.

Yes No

- a. If this project proposes sewer extensions or tap-ins, will these actions create a hydraulic overload on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, a representative of the organization responsible for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with Chapter 71 §71.53(d)(3) and that this proposal will not affect that status.

- b. Collection System

Name of Responsible Organization _____

Name of Responsible Agent _____

Agent Signature _____

Date _____

- c. Conveyance System

Name of Responsible Organization _____

Name of Responsible Agent _____

Agent Signature _____

Date _____

5. Treatment Facility

The questions below are to be answered by a representative of the facility permittee. The individual signing below must be legally authorized to make representation for the organization.

Yes No

- a. If this project proposes the use of an existing non-municipal wastewater treatment plant for the disposal of sewage, will this action create a hydraulic or organic overload at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with §71.53(d)(3) and that this proposal will not impact that status.

- b. Name of Facility _____
Name of Responsible Agent _____
Agent Signature _____
Date _____

(For completion by the municipality)

6. The **SELECTED OPTION** necessary to assure long-term proper operation and maintenance of the proposed non-municipal facilities is clearly identified with documentation attached in the planning module package.

P. PUBLIC NOTIFICATION REQUIREMENT (See Section P of instructions)

This section must be completed to determine if the applicant will be required to publish facts about the project in a newspaper of general circulation to provide a chance for the general public to comment on proposed new land development projects. This notice may be provided by the applicant or the applicant's agent, the municipality or the local agency by publication in a newspaper of general circulation within the municipality affected. Where an applicant or an applicant's agent provides the required notice for publication, the applicant or applicant's agent shall notify the municipality or local agency and the municipality and local agency will be relieved of the obligation to publish. The required content of the publication notice is found in Section P of the instructions.

To complete this section, each of the following questions must be answered with a "yes" or "no". Newspaper publication is required if any of the following are answered "yes".

Yes No

1. Does the project propose the construction of a sewage treatment facility ?
2. Will the project change the flow at an existing sewage treatment facility by more than 50,000 gallons per day?
3. Will the project result in a public expenditure for the sewage facilities portion of the project in excess of \$100,000?
4. Will the project lead to a major modification of the existing municipal administrative organizations within the municipal government?
5. Will the project require the establishment of *new* municipal administrative organizations within the municipal government?
6. Will the project result in a subdivision of 50 lots or more? (onlot sewage disposal only)
7. Does the project involve a major change in established growth projections?
8. Does the project involve a different land use pattern than that established in the municipality's Official Sewage Plan?

P. PUBLIC NOTIFICATION REQUIREMENT cont'd. (See Section P of instructions)

- 9. Does the project involve the use of large volume onlot sewage disposal systems (Flow > 10,000 gpd)?
- 10. Does the project require resolution of a conflict between the proposed alternative and consistency requirements contained in §71.21(a)(5)(i), (ii), (iii)?
- 11. Will sewage facilities discharge into high quality or exceptional value waters?
- Attached is a copy of:
 - the public notice,
 - all comments received as a result of the notice,
 - the municipal response to these comments.
- No comments were received. A copy of the public notice is attached.

Q. FALSE SWEARING STATEMENT (See Section Q of instructions)

I verify that the statements made in this component are true and correct to the best of my knowledge, information and belief. I understand that false statements in this component are made subject to the penalties of 18 PA C.S.A. §4904 relating to unsworn falsification to authorities.

Paul Ceriani, P.E.



Name (Print)

Signature

Senior Project Manager

March 3, 2022

Title

Date

2400 Ansys Drive, Suite 403
Canonsburg, PA 15317

7245145167

Address

Telephone Number

R. REVIEW FEE (See Section R of instructions)

The Sewage Facilities Act establishes a fee for the DEP planning module review. DEP will calculate the review fee for the project and invoice the project sponsor **OR** the project sponsor may attach a self-calculated fee payment to the planning module prior to submission of the planning package to DEP. (Since the fee and fee collection procedures may vary if a "delegated local agency" is conducting the review, the project sponsor should contact the "delegated local agency" to determine these details.) Check the appropriate box.

- I request DEP calculate the review fee for my project and send me an invoice for the correct amount. I understand DEP's review of my project will not begin until DEP receives the correct review fee from me for the project.
- I have calculated the review fee for my project using the formula found below and the review fee guidance in the instructions. I have attached a check or money order in the amount of \$3,850.00 payable to "Commonwealth of PA, DEP". Include DEP code number on check. I understand DEP will not begin review of my project unless it receives the fee and determines the fee is correct. If the fee is incorrect, DEP will return my check or money order, send me an invoice for the correct amount. I understand DEP review will NOT begin until I have submitted the correct fee.
- I request to be exempt from the DEP planning module review fee because this planning module creates **only** one new lot and is the **only** lot subdivided from a parcel of land as that land existed on December 14, 1995. I realize that subdivision of a second lot from this parcel of land shall disqualify me from this review fee exemption. I am furnishing the following deed reference information in support of my fee exemption.

County Recorder of Deeds for _____ County, Pennsylvania

Deed Volume _____ Book Number _____
Page Number _____ Date Recorded _____

R. REVIEW FEE (continued)

Formula:

1. For a new collection system (with or without a Clean Streams Law Permit), a collection system extension, or individual tap-ins to an existing collection system use this formula.

$$\#77 \text{ Lots (or EDUs) X } \$50.00 = \$ 3,850.00$$

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
- For community sewer system projects, one EDU is equal to a sewage flow of 400 gallons per day.

2. For a surface or subsurface discharge system, use the appropriate one of these formulae.

- A. A new surface discharge greater than 2000 gpd will use a flat fee:

\$ 1,500 per submittal (non-municipal)
\$ 500 per submittal (municipal)

- B. An increase in an existing surface discharge will use:

$$\# \text{ Lots (or EDUs) X } \$35.00 = \$$$

to a maximum of \$ 1,500 per submittal (non-municipal) or \$ 500 per submittal (municipal)

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
- For community sewage system projects one EDU is equal to a sewage flow of 400 gallons per day.
- For non-single family residential projects, EDUs are calculated using projected population figures

- C. A sub-surface discharge system that requires a permit under The Clean Streams Law will use a flat fee:

\$ 1,500 per submittal (non-municipal)
\$ 500 per submittal (municipal)

NARRATIVE DESCRIPTION OF PROJECT

SECTION F SEWAGE FACILITIES PLANNING MODULE COMPONENT 3

**Re: Project Narrative
North Shore Lot 10.2
City of Pittsburgh, Allegheny County, Pennsylvania
Langan Project No.: 250101502**

The project is located in the North Shore neighborhood of the City of Pittsburgh, Allegheny, County, Pennsylvania (refer to Figure 1). The project site consists of City of Pittsburgh parcel 8-K-35, and it is within the Riverfront North Shore (RIV-NS) Zoning District. The site is bound by North Shore Drive to the south, Mazeroski Way to the east, West General Robinson Street to the north, and City of Pittsburgh parcel 8-K-2 to the west (Hyatt Place). The site is currently occupied by a surface parking lot.

Continental Development, Inc. and its development partners (collectively “the Developer”) are proposing the construction of a mixed use building in Pittsburgh’s North Shore. The proposed ±200,000 GSF mixed-use building will consist of 6 stories with retail/restaurant space on the first floor, multi-unit residential units on floors 2-6, and a roof-top terrace space.

The project proposes use of one sanitary lateral. The proposed sanitary lateral connects from the proposed mixed-use building to an existing 8-inch sanitary lateral (currently stubbed), which then connects to the PWSA sewer manhole (MH008L070) in North Shore Drive. This manhole outfalls into a 12-in sanitary sewer which eventually connects to the interceptor on the north bank of the Allegheny River. Sewage will then be conveyed and treated by Allegheny County Sanitary Authority (ALCOSAN) Wastewater Treatment Facility.

The existing site has an estimated combined sanitary sewage flow of 0 gallons per day. Following the proposed development, the building will have an estimated combined sanitary sewage flow of 30,810 gallons per day. The proposed increase in combined sanitary sewage flow as a result of the proposed improvements is 30,810 gallons per day (77 EDUs). A reference for the approximate sewage flow for the proposed development can be found within Appendix C. The existing lateral will remain private and will not create any undue financial burdens to the City of Pittsburgh, PWSA, or ALCOSAN.

Water service will ultimately be provided by Pittsburgh Water and Sewer Authority (PWSA). Water service to this site will be via a 6-inch fire service and a 6-inch domestic service. The 6-inch fire service and the 6-inch domestic service will connect to an existing 12-inch water main located in North Shore Drive and operated by PWSA.

The existing site has an estimated water demand of 0 gallons per day. Following the proposed development, the building will have an estimated water demand of 30,810 gallons per day. The proposed increase in water demand as a result of the proposed improvements is 30,810 gallons per day. The existing municipal system is expected to adequately meet proposed demands. A copy of the water availability letter from PWSA can be found in Appendix C.

Section J of Component 3 was completed using the calculation methodology and procedures outlined by the PWSA Developer's Manual, revised April 24th, 2020. Method #2 Flow Monitoring from the Developer's Manual was implemented to estimate the Present Peak Flow based on flow measurements at the most limited capacity sewer (between PWSA MH008K057 and PWSA MH008K058) for 30 days from January 21, 2022 to February 19, 2022. The most limited capacity sewer (between PWSA MH008K057 and PWSA MH008K058) was determined by PWSA. As PWSA MH008K058 is downstream of PWSA MH008K057, PWSA MH008K058 was chosen as the location to monitor the flow. The flow meter was installed inside PWSA MH008K058 for the duration of the flow monitoring – January 21, 2022 to February 19, 2022 – with measurements of the head and the velocity of the water taken every five minutes.

Data from the flow monitoring can be found in Appendix C under Anticipated Sewage Flow Reference. Pipe capacity information provided by PWSA was used in conjunction with Manning's Equation to estimate the Peak Design Capacity, and a Peak Factor of 3.5 was used to estimate the Average Design Capacity. The Projected Peak Flow was calculated by multiplying the sum of the Present Peak Flow and the Anticipated Flow Contribution for the project by a factor of 1.05 to estimate the projected flow in 5 years. The Projected Average Flow was calculated by dividing the Projected Peak Flow by the Peak Factor of 3.5. Based on these calculations, it has been determined that the anticipated flow contribution for the proposed project will not create undue stress on the existing PWSA system's capacity.

ANTICIPATED SEWAGE FLOW REFERENCE

Date: 12/8/2021
 Langan Project Number: 250101502
 Calc by: AXJ
 Check by: PJC

NORTH SHORE LOT 10			
PROPOSED SEWAGE FLOW ESTIMATION (FOR DEP PERMITTING)			
Unit Description	Number of Units	Anticipated Average Rate (GPD/Occupant)¹	Anticipated Average Sewage Flow (GPD)
Total Retail/Restaurant + Bar/Cocktail Lounge ²	855	12	10,260
Apartment: 1 Bedroom	79	150	11,850
Apartment: 2 Bedroom	29	300	8,700
Proposed GPD (Water Supply)=			30,810
Proposed GPD (Sanitary Load) =			30,810
Existing GPD (Sanitary Load)=			0
Net GPD (Sanitary Load)=			30,810
Total Proposed EDUs² (Sanitary Load)=			77
Net Proposed EDUs² (Sanitary Load)=			77

Notes:

- 1 – Rate is based on the flow estimate defined in Table 1 of the PWSA developers manual (equivalent to estimates defined in Appendix A of the PA DEP Small Flow Treatment Facilities Manual)
- 2– EDUs are based on 400 GPD/EDU.
- 3–Assumed turnover rate of 3

**PROPOSED SANITARY PIPE CALCULATIONS
North Shore Lot 10.2**

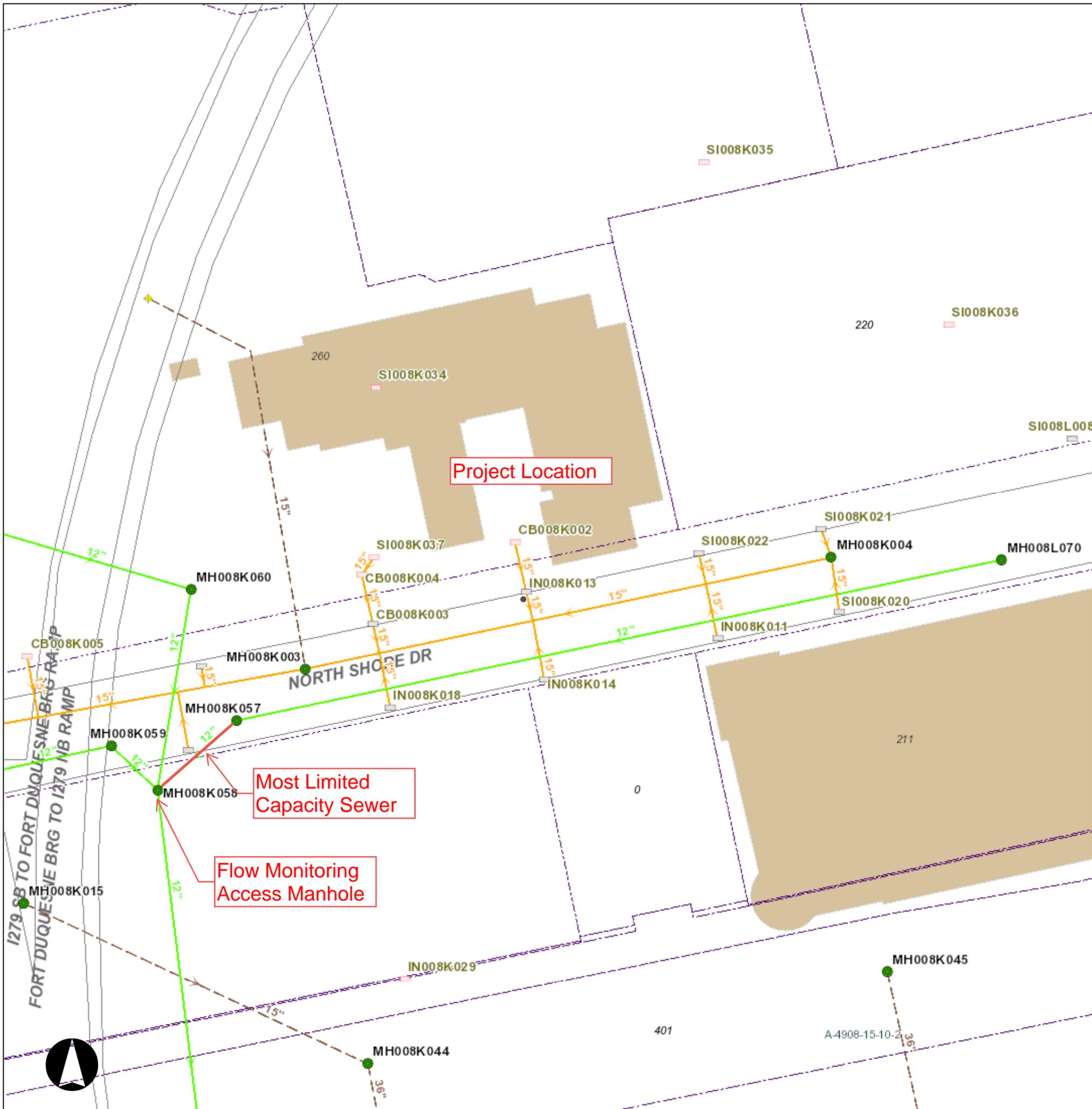
Q_{max}	Based on Total Units Discharging
Q_{design}	$3.5 * Q_{max}$
Q_{full}	$1.49/n * A_{pipe} * R^{2/3} * S^{1/2}$
Q_{half}	FLOW AT HALF FULL = $0.48 * Q_{full}$
V_{max}	VELOCITY AT 80% FULL = $1.15 * Q_{full} / A_{pipe}$
V_{half} , (fps)	VELOCITY OF FLOW AT HALF FULL = $Q_{half} / (A_{pipe} * 0.5)$
PIPE SIZED ACCORDINGLY	CHECKS IF Q_{design} IS LESS THAN Q_{half}

FROM MIXED USE BLDG TO EXISTING SYSTEM IN NORTH SHORE DRIVE

MINIMUM SLOPE WITHIN THIS ENTIRE RUN = 1.0%

MATERIAL	SDR26	Q_{full} , cfs	Q_{full} , gpd	Q_{half} , cfs	Q_{half} , gpd	V_{max} , fps	V_{half} , fps
LENGTH, ft	19	2.10	1,357,197	1.01	651,455	6.92	6.02
DIAMETER, in	8						
SLOPE	2.15%	PIPE SIZED ACCORDINGLY: TRUE					
n	0.011	$V_{max} < 10$ fps: TRUE					
Q_{max} , gpd	30,810	$V_{half} > 2$ fps: TRUE					
Q_{design} , gpd	8,803						

North Shore Mixed Use Building MLCS



Legend

WATER

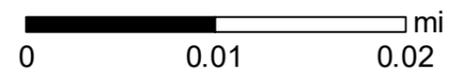
- Meter
- Curb Box
- Water System Pump
- Hydrant
- System Valve
- Dividing Pressure Valve
- Coupling
- Tee
- Cross
- Reducer
- End Cap
- Wash Out

- Pressure Monitoring Station
- Water Manhole
- Rising Main
- Supply Main
- Transmission Main
- Distribution Main
- Hydrant Branch
- Private Main
- Water Service Line

SEWER

- Manhole
- Junction
- Inlet

- Private Inlet
- Outfall
- End Cap
- Sewer Pump Station
- Combined Sewer
- Sanitary Sewer
- Storm Sewer
- Regulated Combined Sewer
- Overflow Sewer
- Interceptor
- Sewer Force Main
- Private Sewer
- Undefined Sewer
- Green Infrastructure Underground Facilities



Neither the City of Pittsburgh nor the PWSA guarantees the accuracy of any of the information hereby made available, including but not limited to information concerning the location and condition of underground structures, and neither assumes any responsibility for any conclusions or interpretations made on the basis of such information. COP and PWSA assume no responsibility for any understanding or representations made by their agents or employees unless such understanding or representations are expressly set forth in a duly authorized written document, and such document expressly provides that responsibility therefore is assumed by the City or the PWSA.

Date: 1/11/2022

Most Limited Capacity Sewer (MLCS) Spreadsheet

PROJECT NAME:	North Shore Mixed Use Building
PWSA PROJECT NUMBER:	20013.18
PWSA REVIEWER:	Shannon Connell
DATE:	January 11, 2022

LEGEND:

Output Data
Input Data
Questionable Data
Hydraulically Limited Sewer

Upstream MH	Downstream MH	Upstream Invert	Downstream Invert	Length, ft	Diam., in.	Material	n	Area, sf	Wetted P, ft	Slope	Flow, gpd
MH008L070	MH008K057	719.55	710.05	403.26	12	PVC	0.01	0.79	3.142	2.36%	4,606,993
MH008K057	MH008K058	710.05	705.88	54.05	12	PVC	0.01	0.79	3.142	7.72%	8,337,167
MH008K058	VD008LA46	705.88	703.54	282.36	12	PVC	0.01	0.79	3.142	0.83%	2,732,465

**Existing and Proposed Sanitary Pipe Calculations
North Shore Lot 10.2 - Mixed Use Building
North Shore Drive 12-IN PWSA Sanitary Sewer
Dry Flow Comparison Calculations**

Given Information	
Pipe Location:	North Shore Drive
Pipe Type:	PVC
Pipe Diameter (IN) ⁽¹⁾ :	12
Slope ⁽²⁾ :	0.8%
Manning's n Value:	0.01

Solve for Present Average Dry Flow	
Flow (GPD):	24,000

Solve for Present Peak Flow	
Peak Factor:	3.0
Flow (GPD) ⁽³⁾ :	72,000

Solve for Peak Design Capacity (Present)	
Flow (CFS):	4.231
Flow (GPD):	2,734,024

Solve for Average Design Capacity (Present)	
Peak Factor:	3.0
Flow (GPD):	911,341

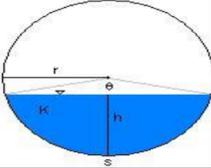
Solve for Projected Peak Flow in 5 Years	
PWSA 5-year Factor	1.05
Anticipated Flow Contribution (GPD) ⁽⁴⁾ :	30,810
Flow (GPD):	107,951

Solve for Average Flow in 5 years	
Flow (GPD):	35,984

Summary	
Anticipated Peak Flow Contribution (GPD) ⁽⁴⁾ :	30,810
Present Average Flow (GPD):	24,000
Present Peak Flow (GPD):	72,000
Average Design Capacity (GPD):	911,341
Peak Design Capacity (GPD):	2,734,024
Average Projected Flow (GPD)	35,984
Peak Projected Flow (GPD)	107,951

$$V = \frac{k}{n} R^{2/3} S^{1/2} \quad k = 1.4859 ft^{1/3} / s \quad Q = VA$$

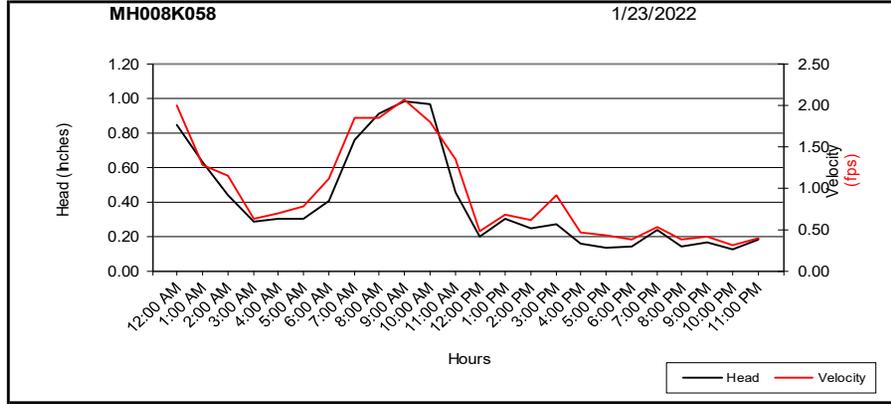
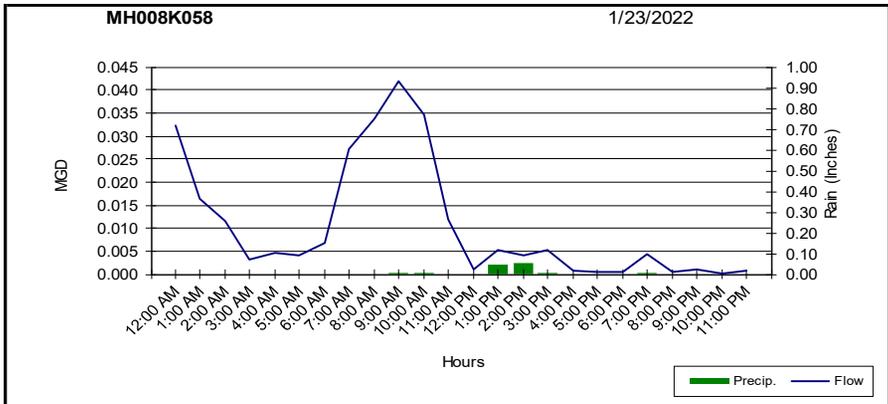
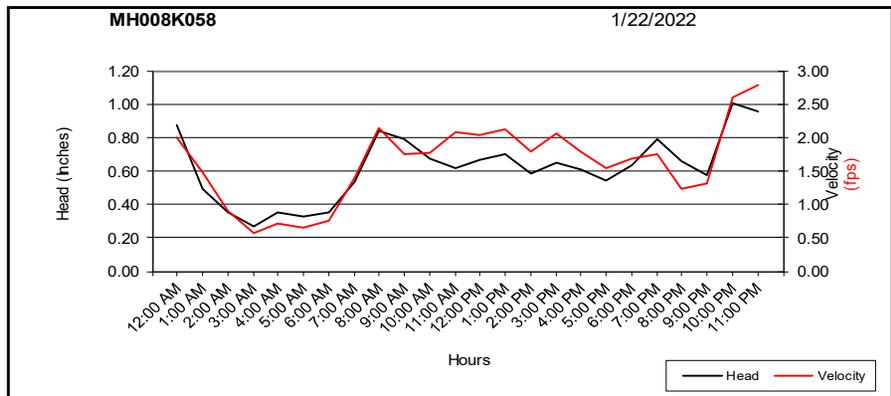
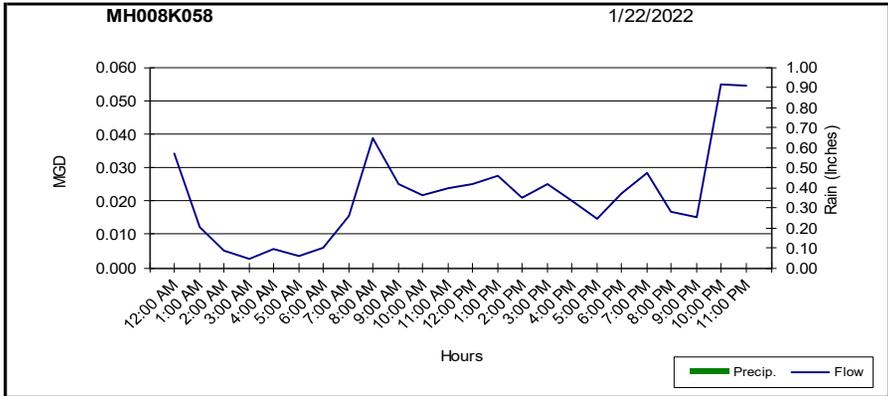
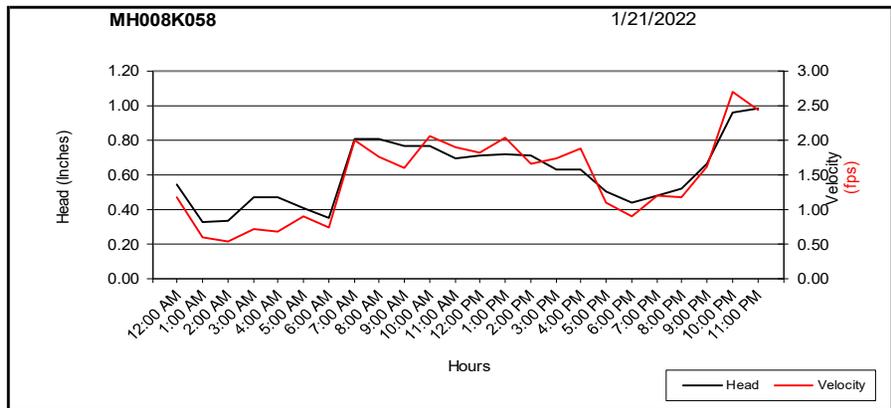
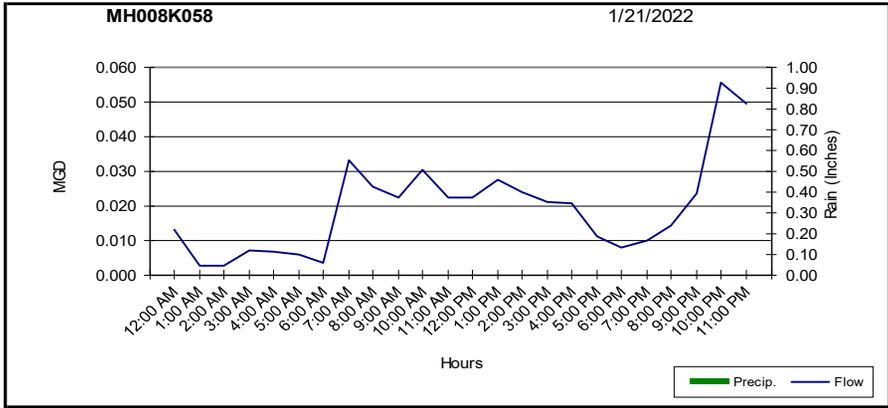
1. Sewer diameter referenced from PWSA output data provided January 11, 2022
2. Sewer slope referenced from PWSA output data provided January 11, 2022
3. Present flow based on peak hourly average dry flow as monitored in PWSA Manhole MH008K058 for 30 days between January 21, 2022 through February 19, 2022
4. Flow estimation calculation based on floor plans provided by Strada and Continental Real Estate

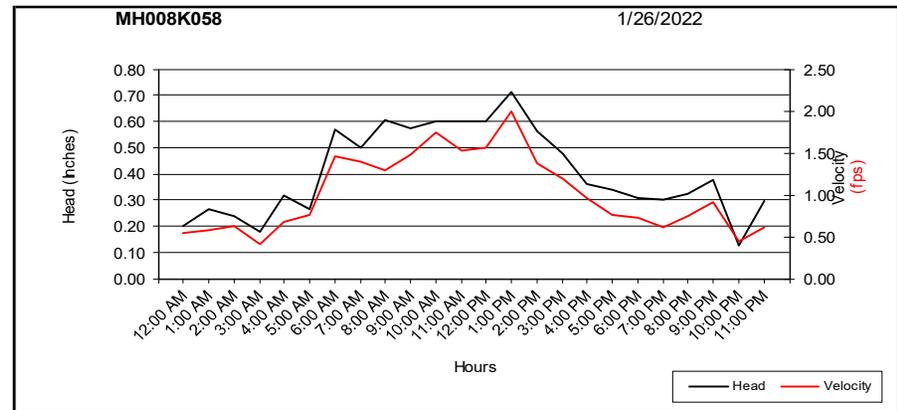
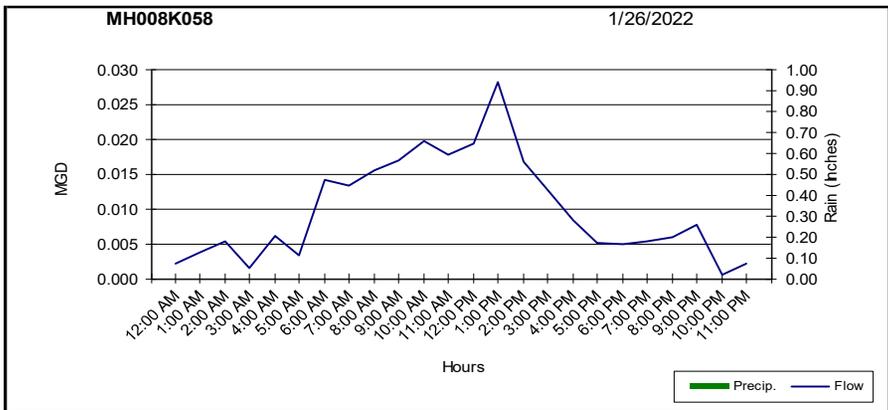
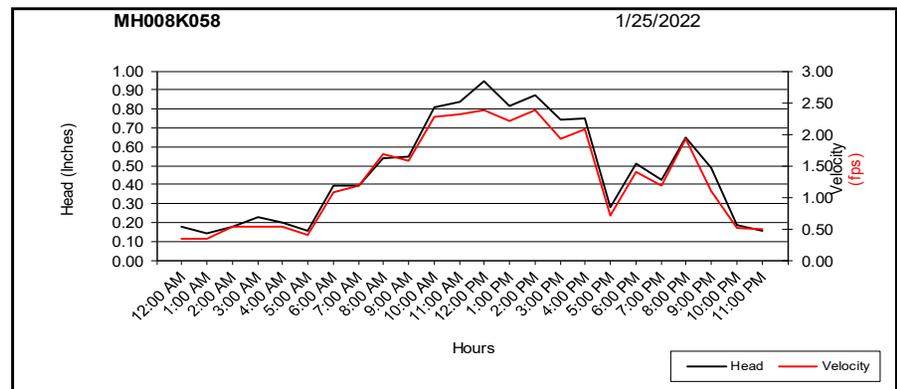
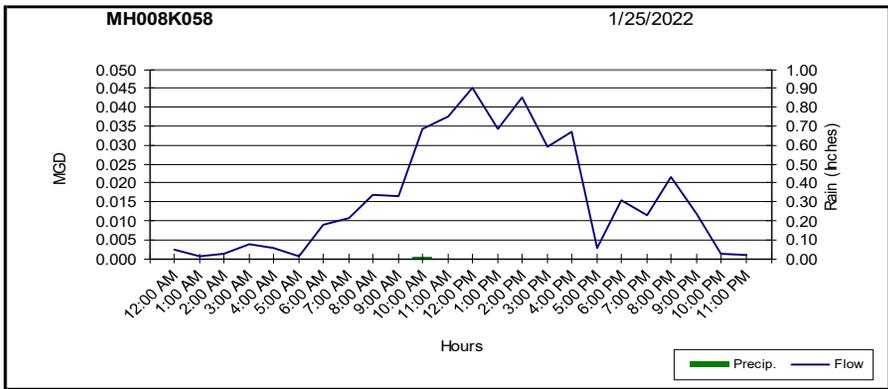
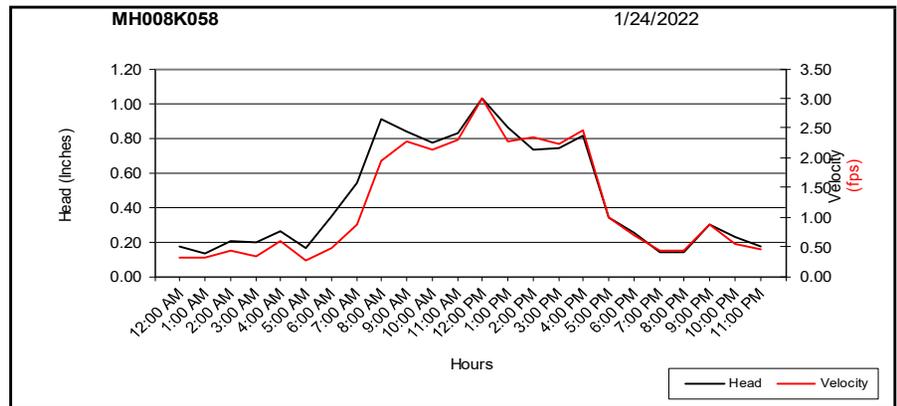
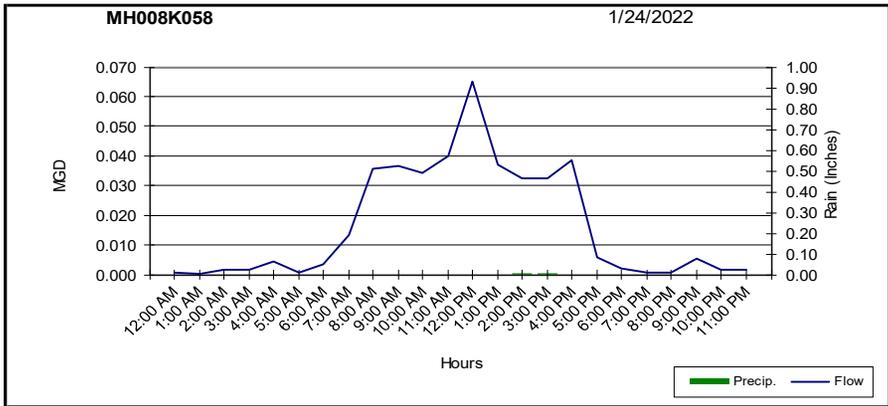
step	solve for	if flow depth < radius
		
1	circular segment height	$h = d$
2	central angle	$\theta = 2 \arccos \left(\frac{r-h}{r} \right)$
3	circular segment area	$K = \frac{r^2 (\theta - \sin \theta)}{2}$
4	arc length	$s = r \times \theta$
5	flow area	$A = K$
6	wetted perimeter	$P_w = s$
7	hydraulic radius	$R_h = \frac{A}{P_w}$

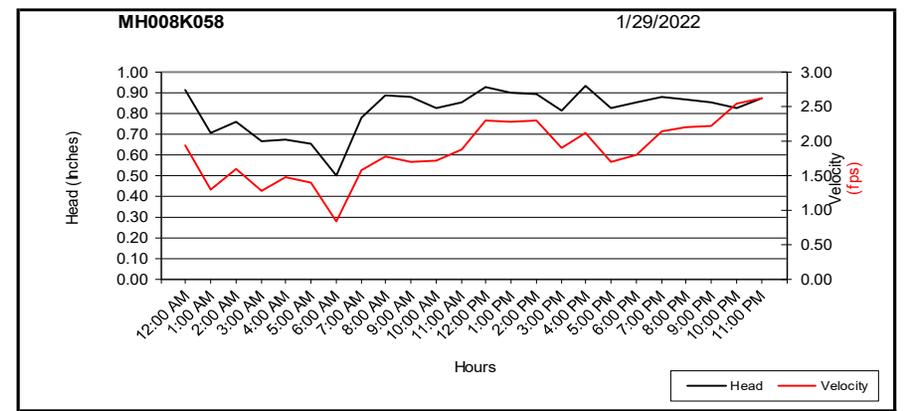
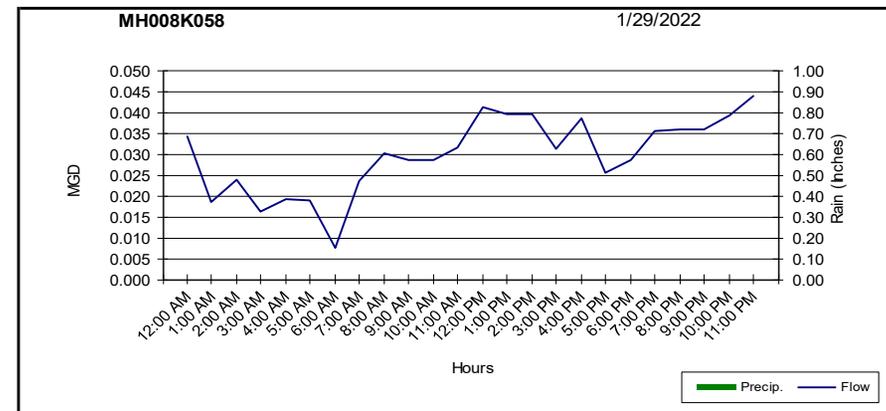
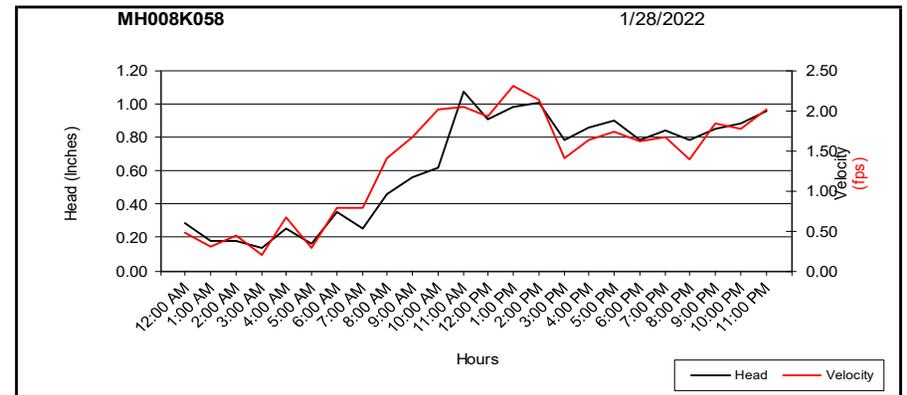
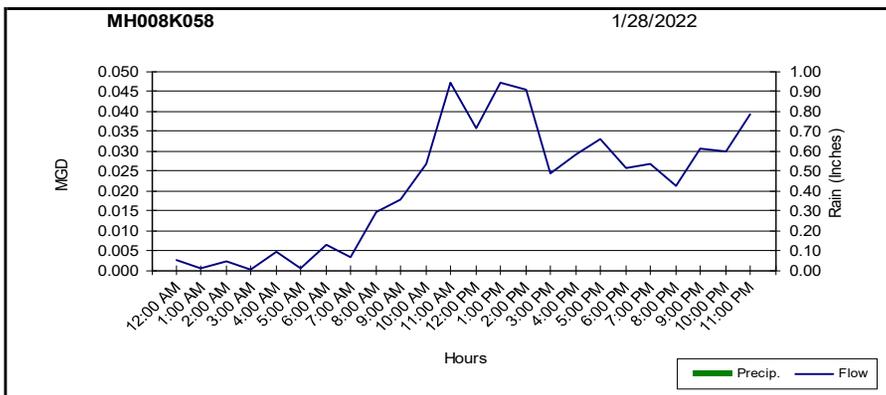
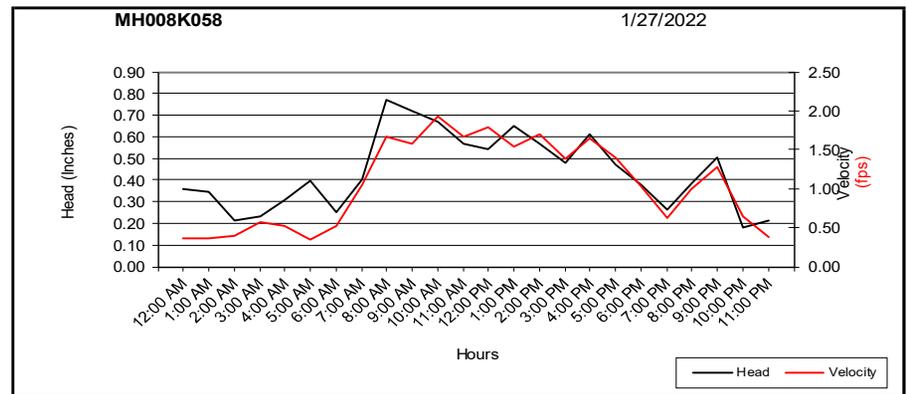
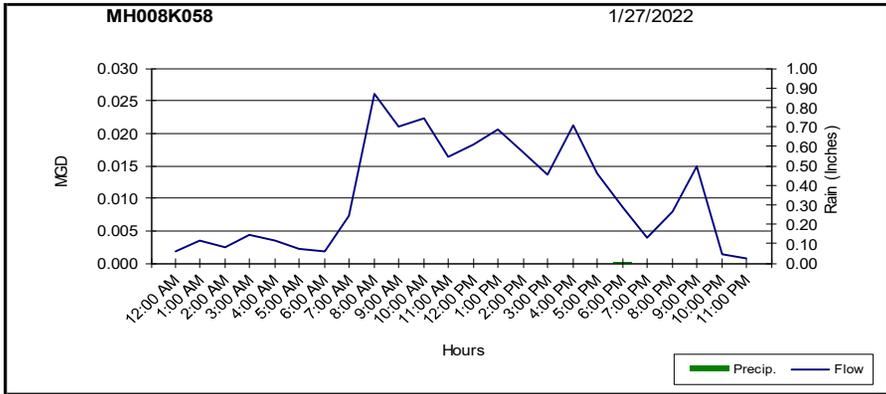


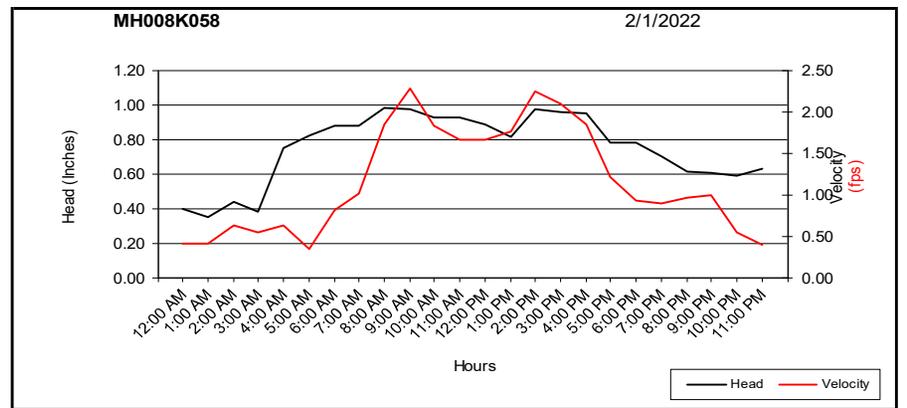
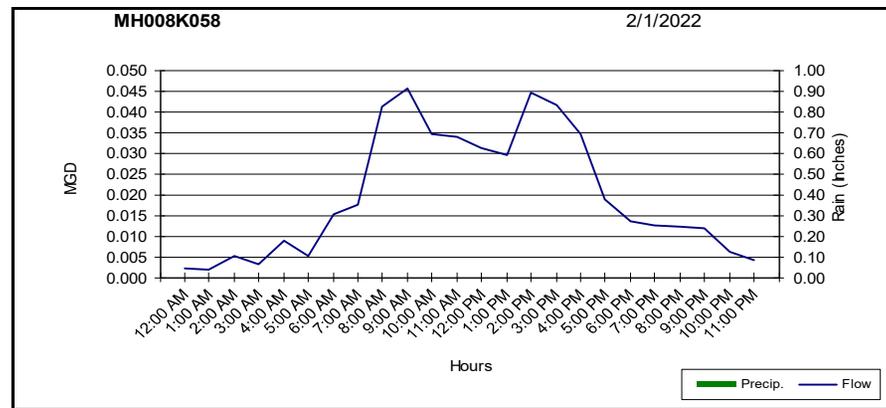
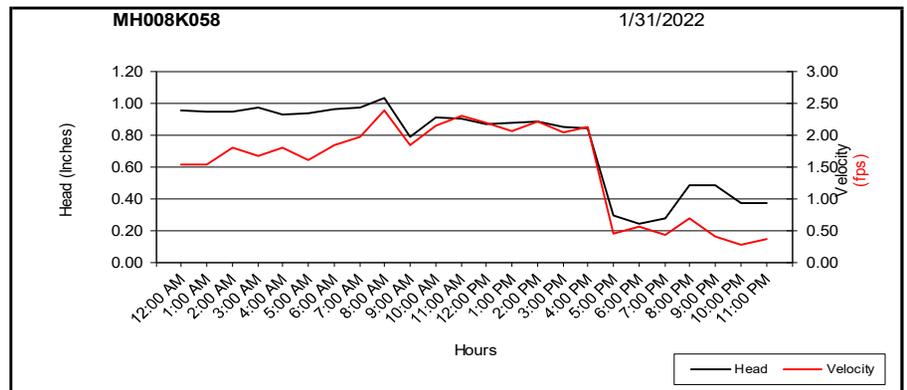
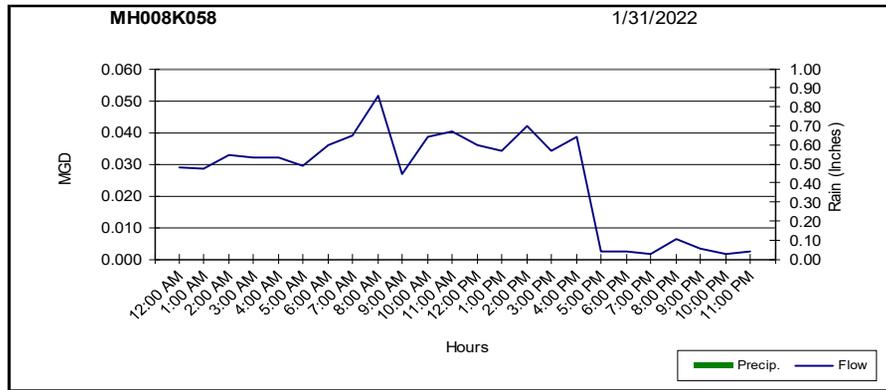
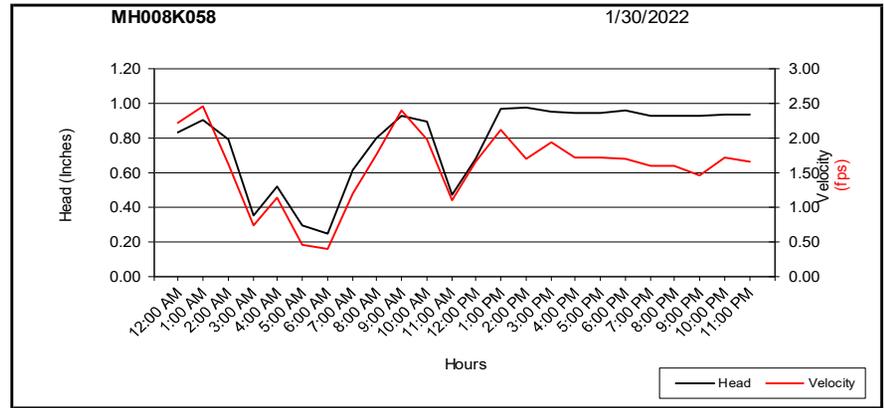
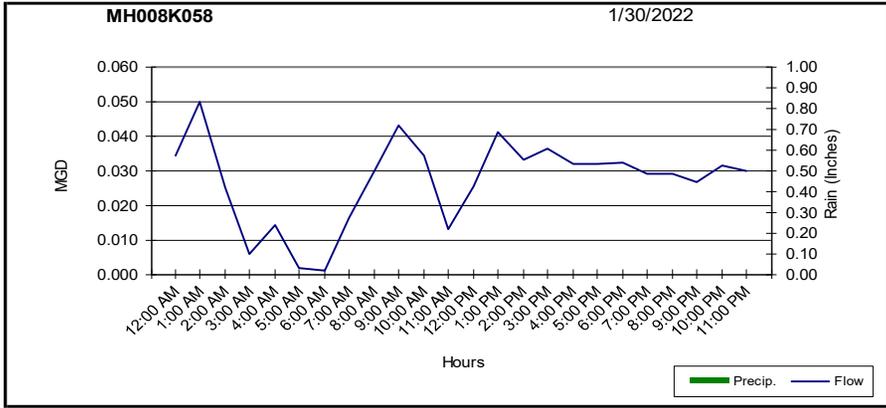
PROFESSIONAL ENGINEER SCOTT D. ROWLAND
STATE LIC. No. PE80563

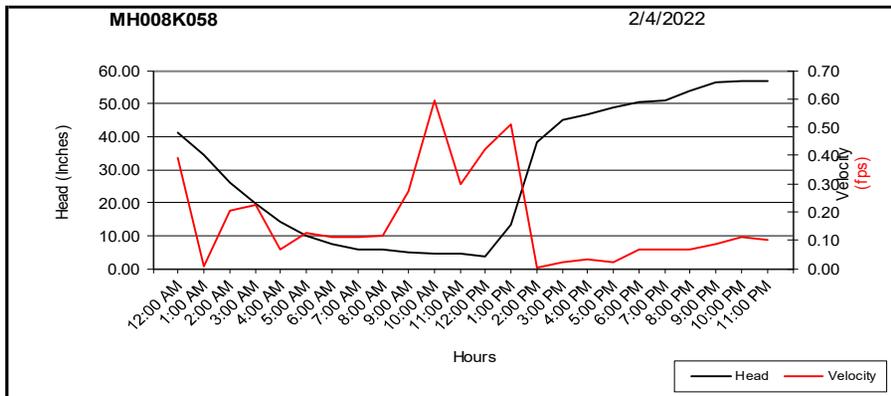
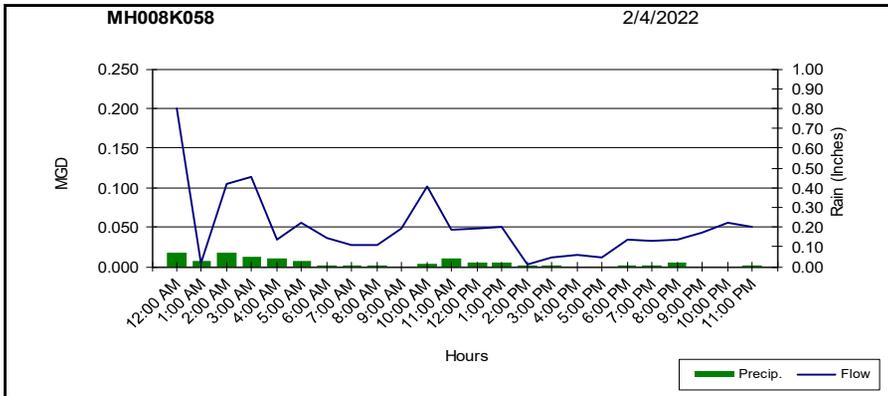
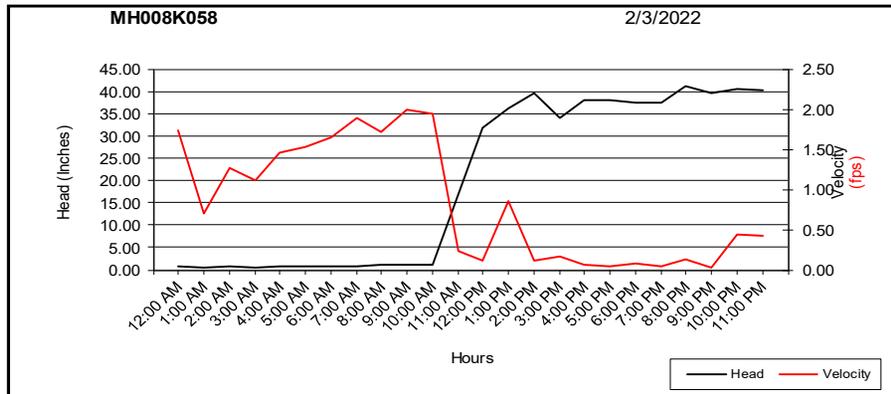
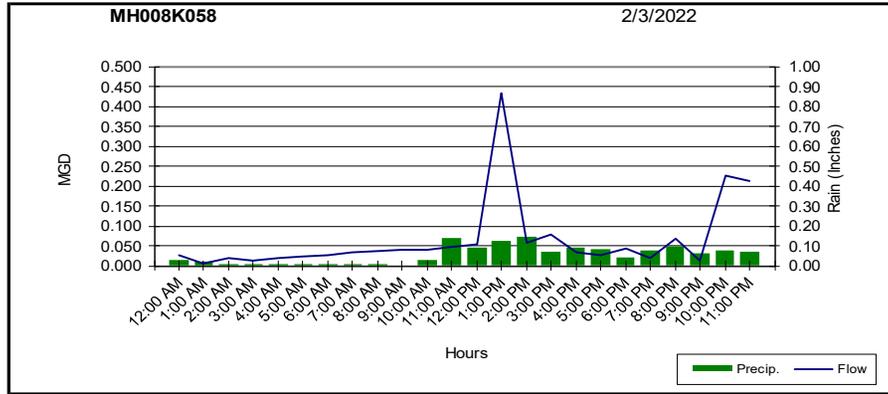
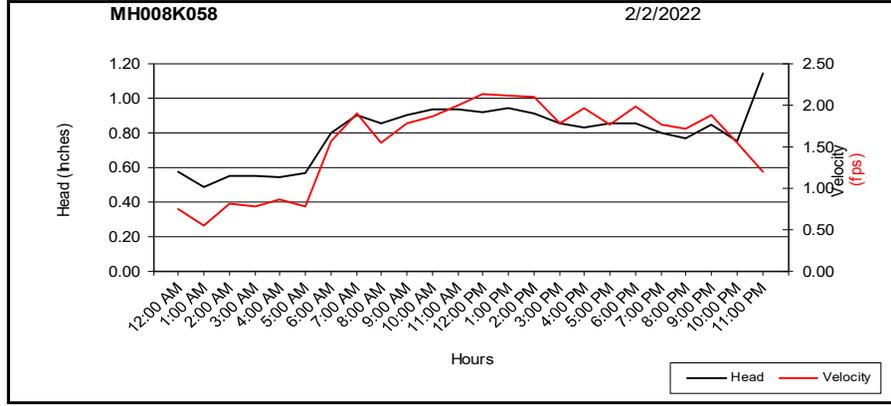
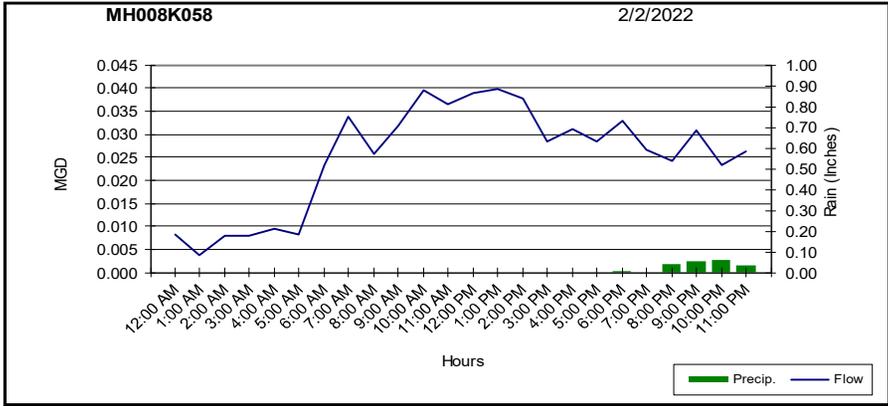
FLOW MONITORING GRAPHICAL RESULTS

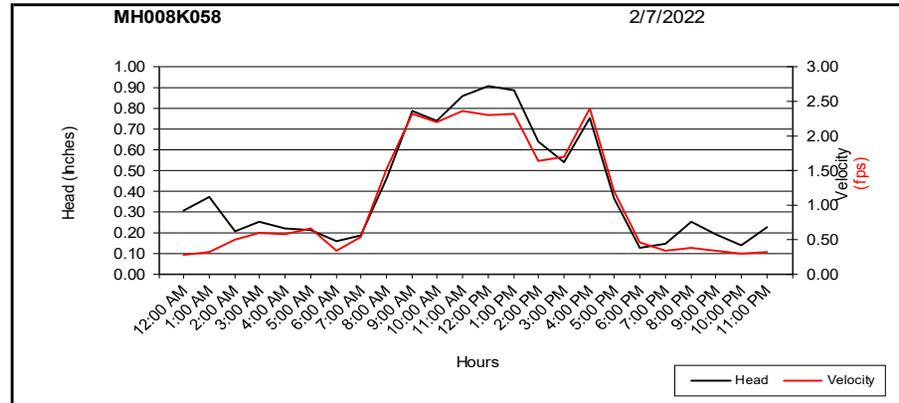
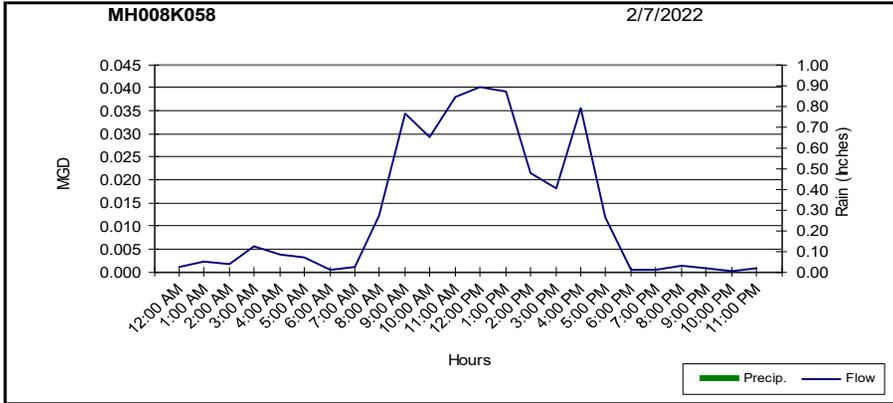
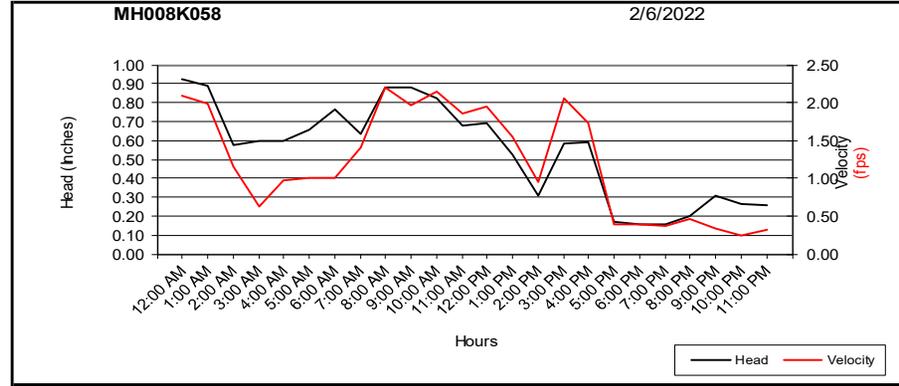
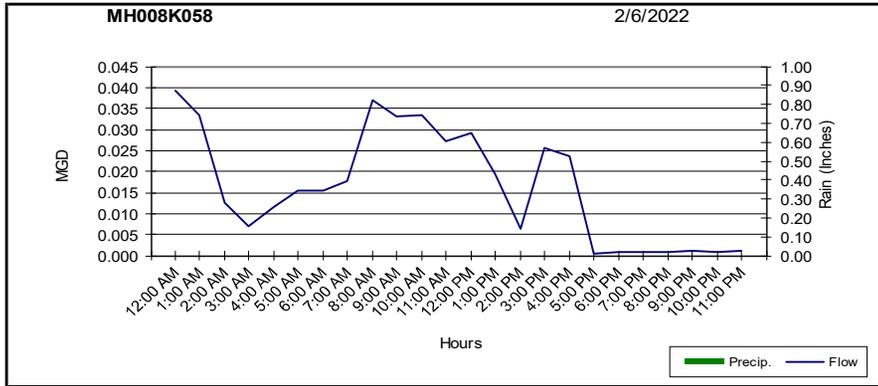
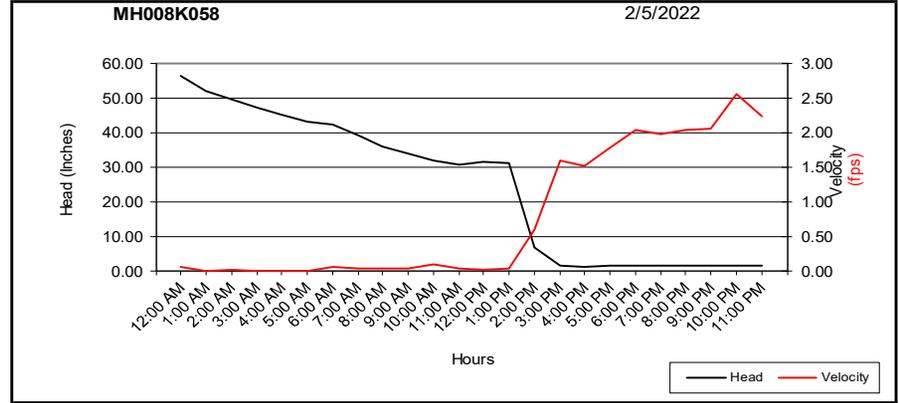
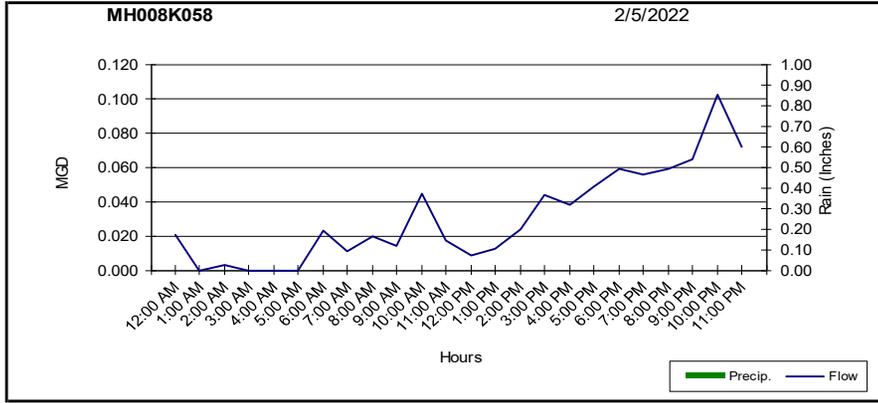


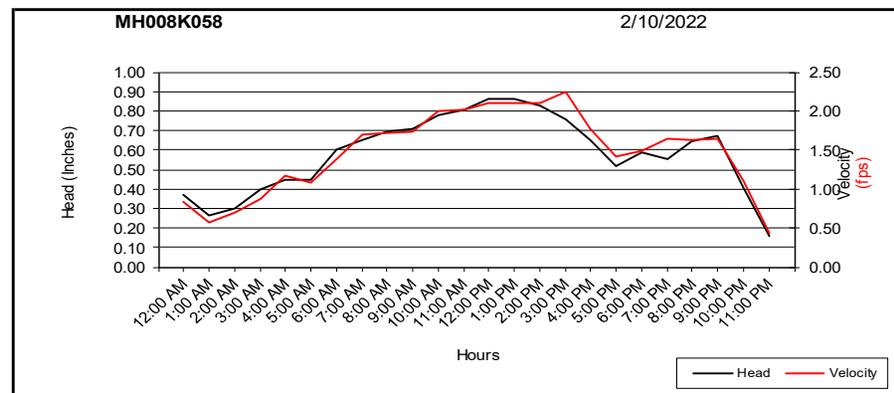
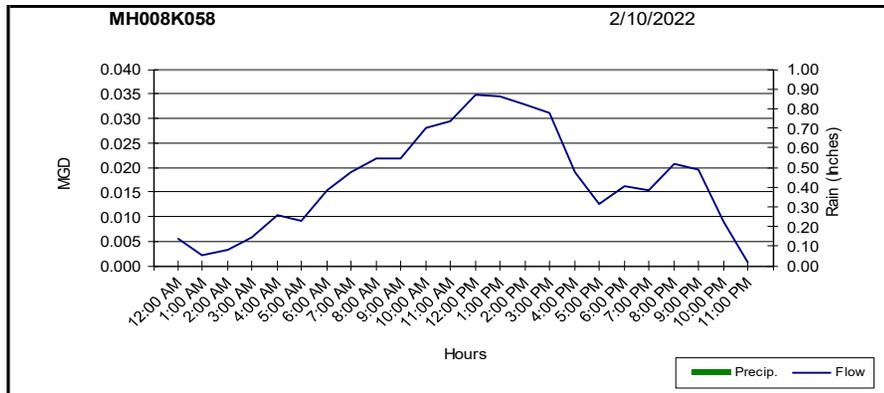
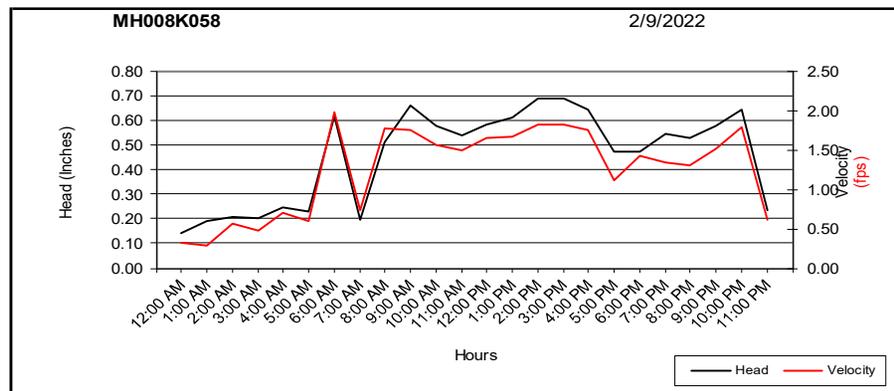
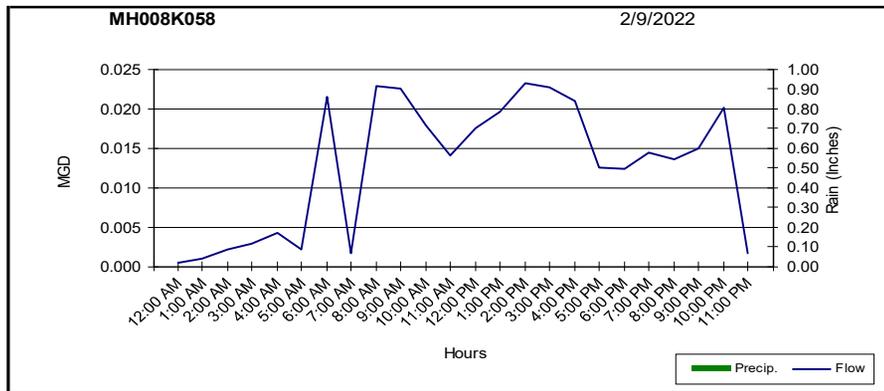
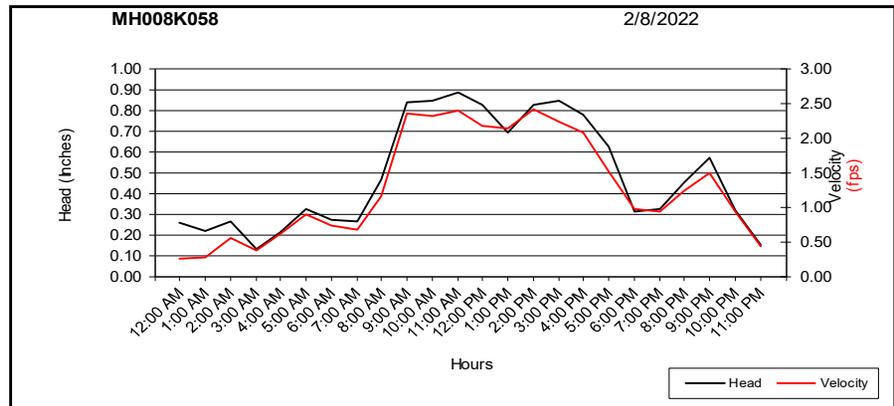
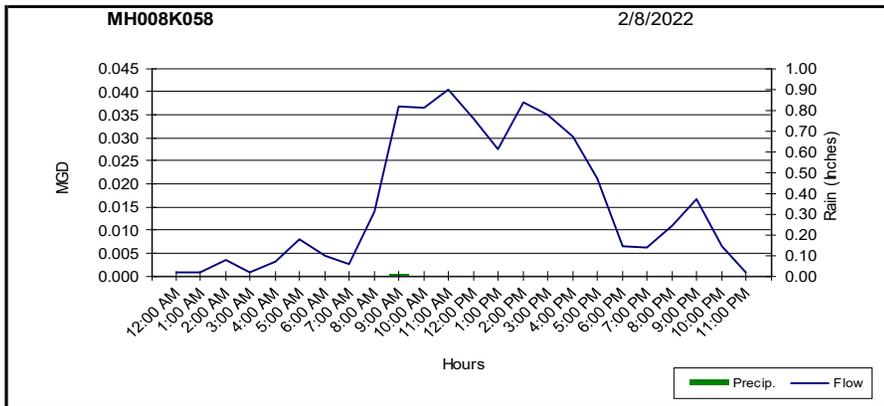


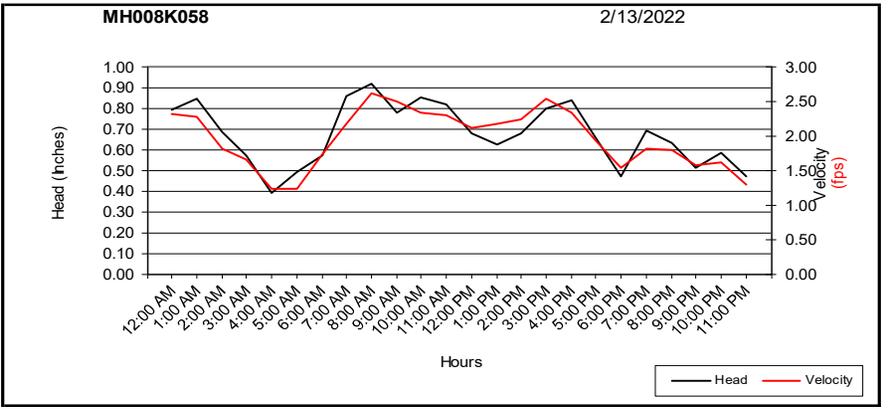
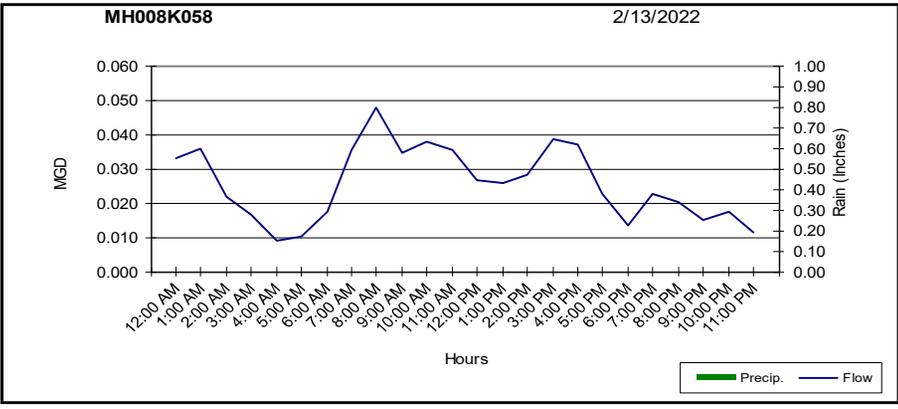
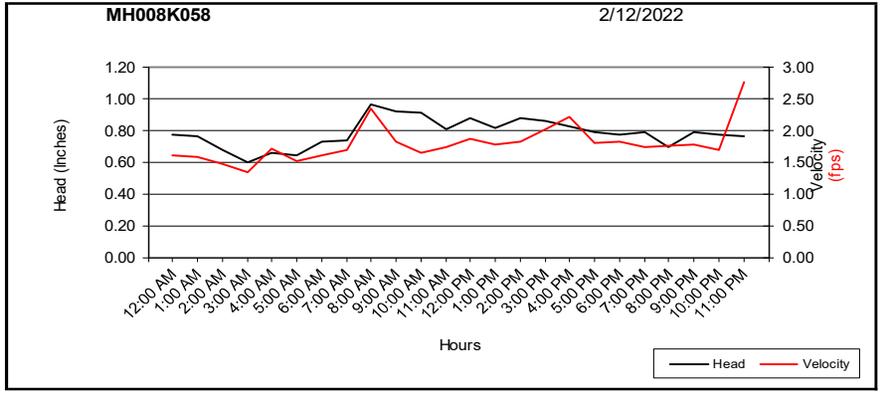
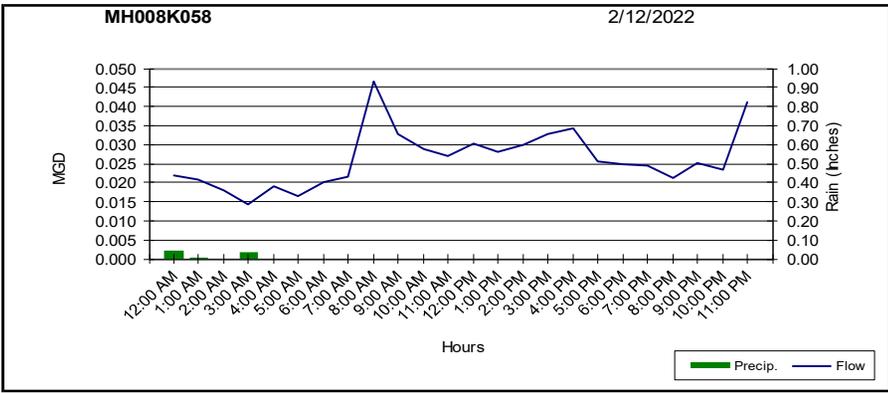
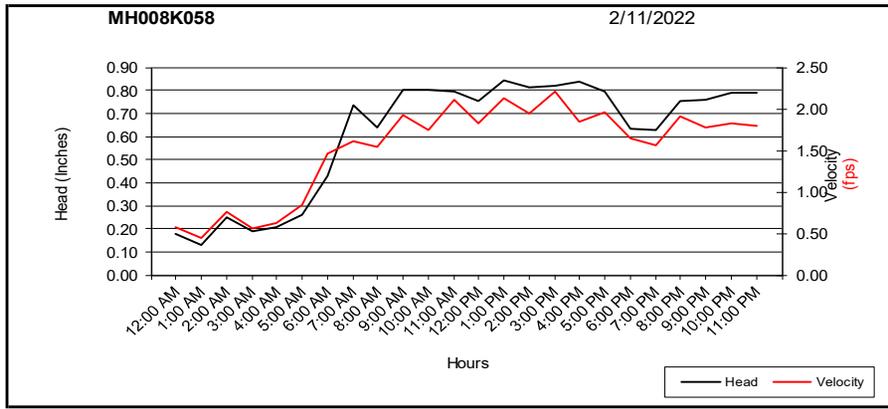
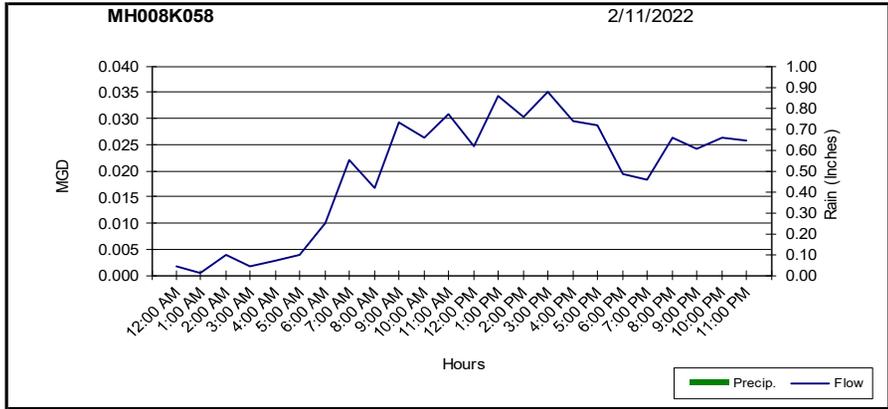


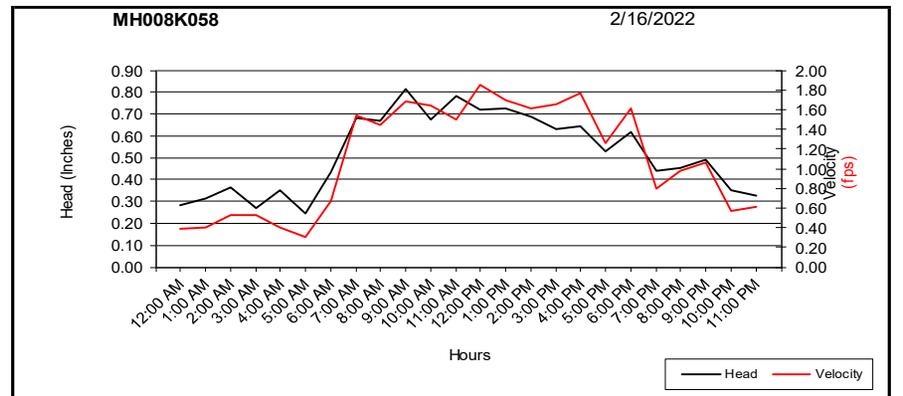
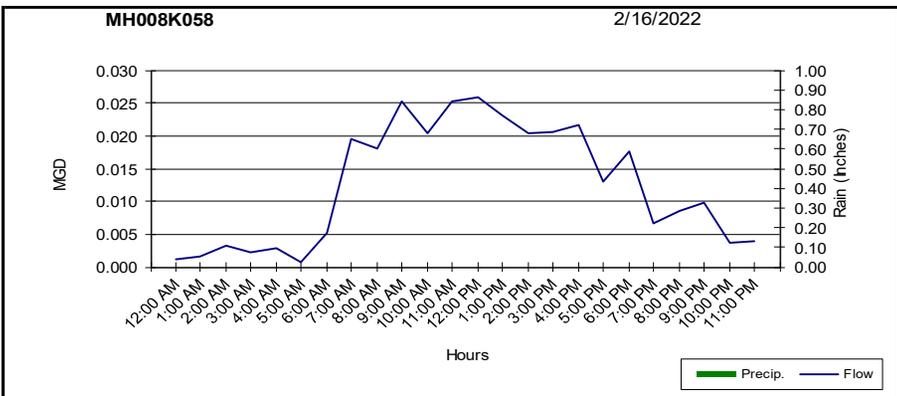
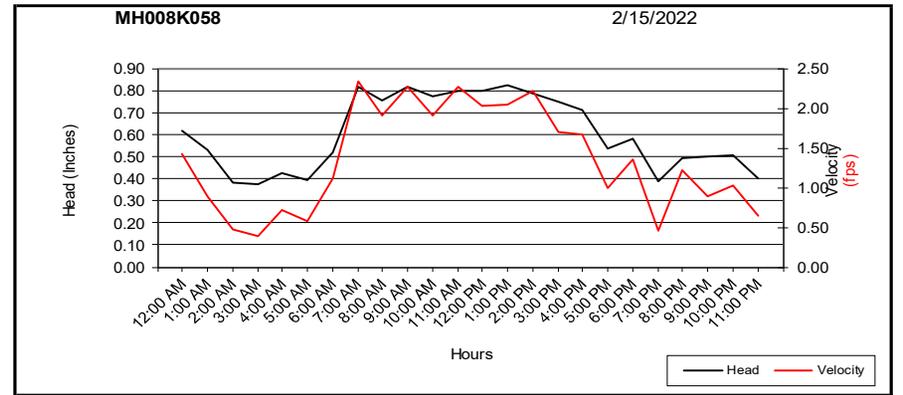
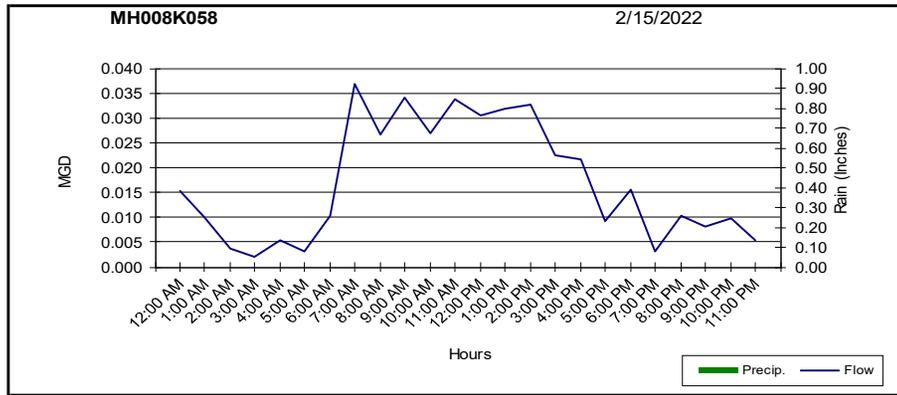
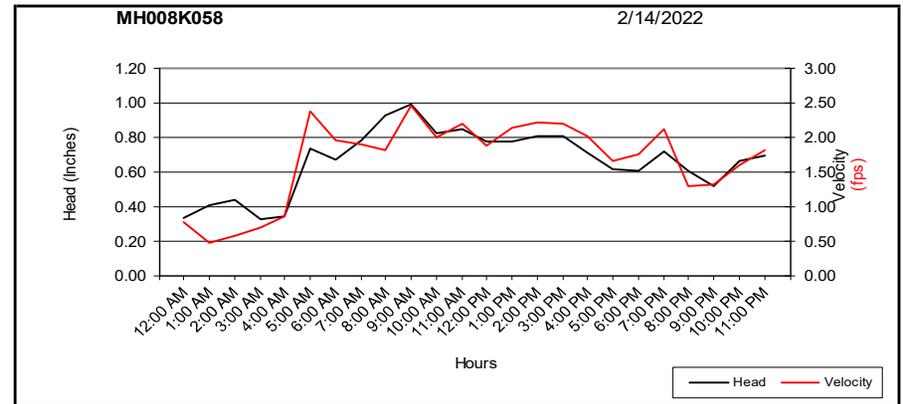
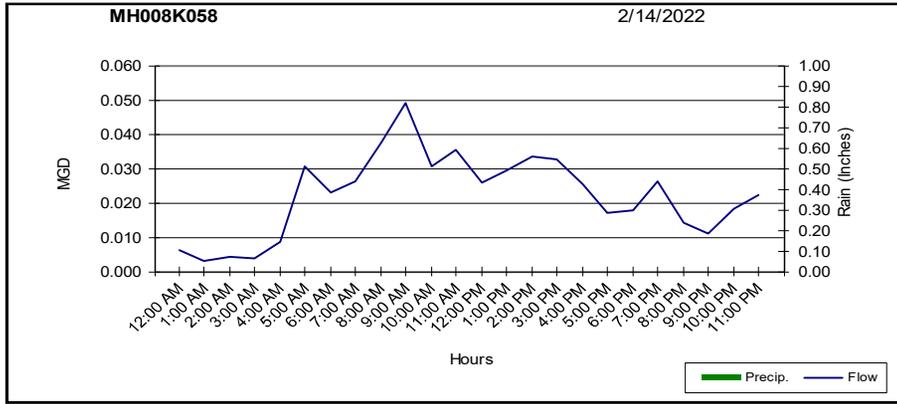


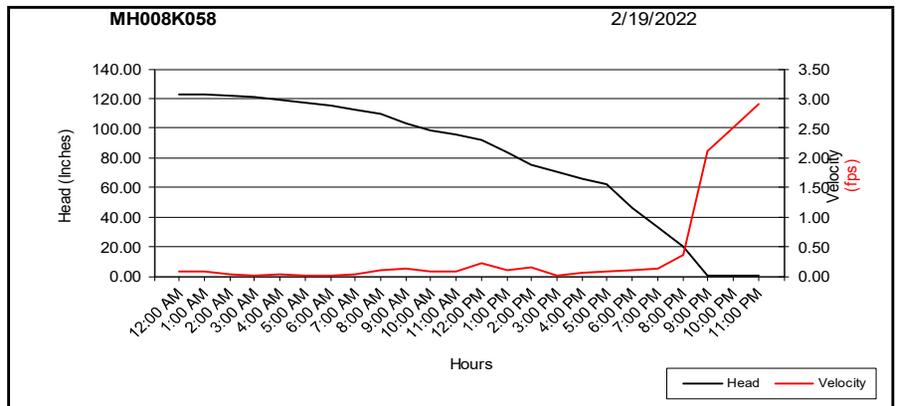
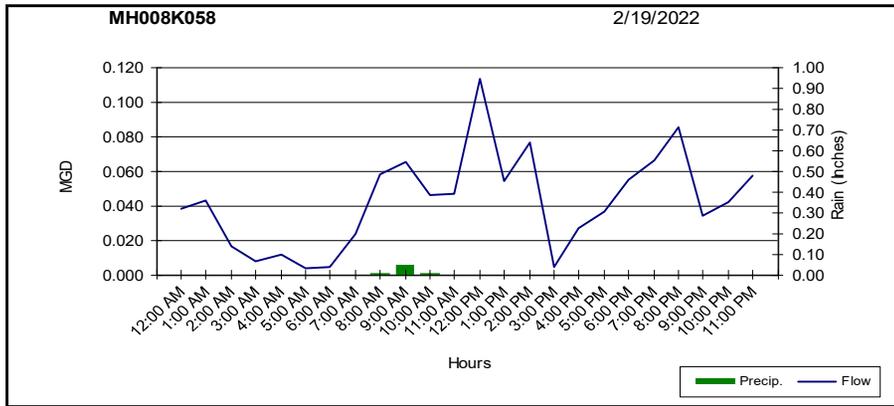
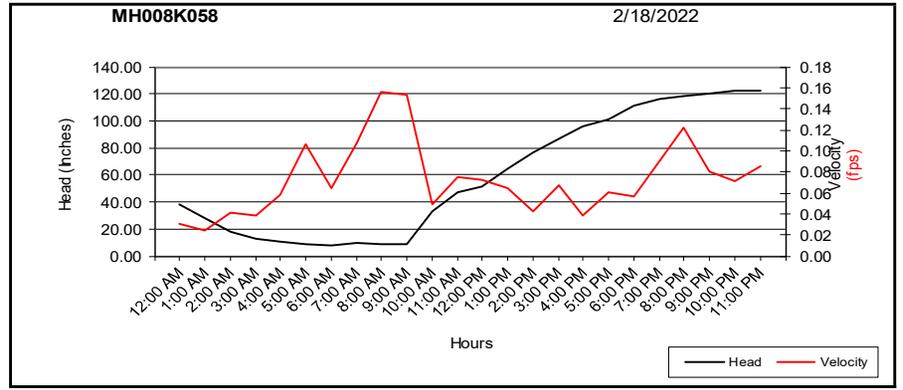
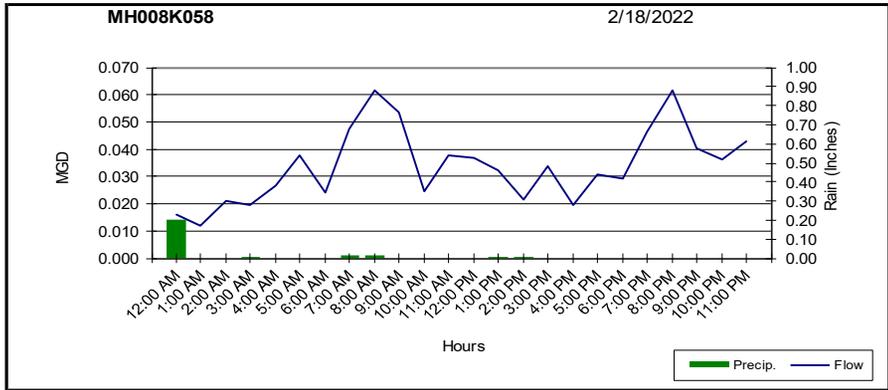
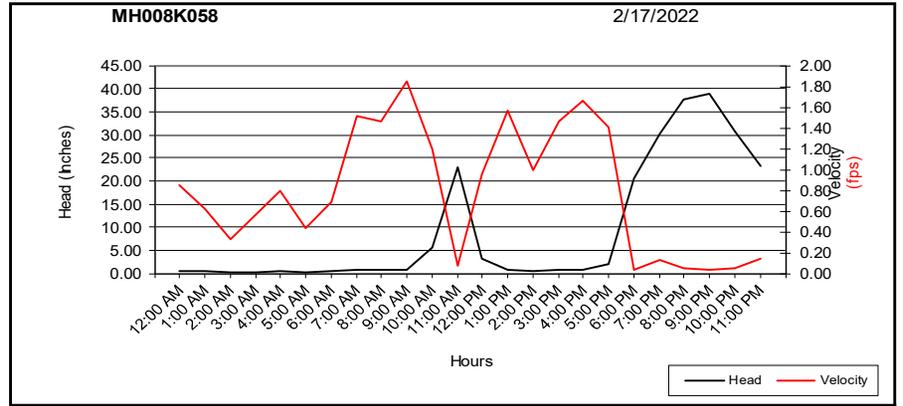
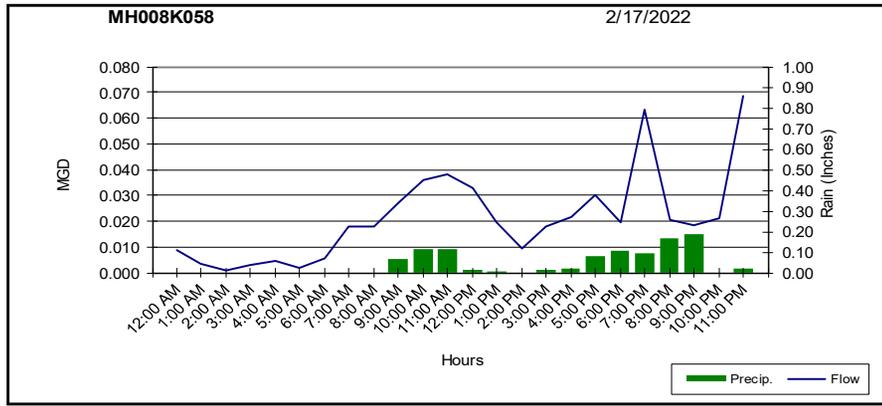












APPENDIX D

Alternative Sewage Facilities Analysis

SECTION H SEWAGE FACILITIES PLANNING MODULE COMPONENT 3

**Re: Alternative Sewage Facilities Analysis
North Shore Lot 10.2
City of Pittsburgh, Allegheny County, Pennsylvania
Langan Project No.: 250101502**

The project is located in the North Shore neighborhood of the City of Pittsburgh, Allegheny, County, Pennsylvania (refer to Figure 1). The project site consists of City of Pittsburgh parcel 8-K-35, and it is within the Riverfront North Shore (RIV-NS) Zoning District. The site is bound by North Shore Drive to the south, Mazeroski Way to the east, West General Robinson Street to the north, and City of Pittsburgh parcel 8-K-2 to the west (Hyatt Place). The site is currently occupied by a surface parking lot.

Continental Development, Inc. and its development partners (collectively “the Developer”) are proposing the construction of a mixed use building in Pittsburgh’s North Shore. The proposed ±200,000 GSF mixed-use building will consist of 6 stories with retail/restaurant space on the first floor, multi-unit residential units on floors 2-6, and a roof-top terrace space.

The project proposes use of one sanitary lateral. The proposed sanitary lateral connects from the proposed mixed-use building to an existing 8-inch sanitary lateral (currently stubbed), which then connects to the PWSA sewer manhole (MH008L070) in North Shore Drive. This manhole outfalls into a 12-in sanitary sewer which eventually connects to the interceptor on the north bank of the Allegheny River. Sewage will then be conveyed and treated by Allegheny County Sanitary Authority (ALCOSAN) Wastewater Treatment Facility. This ultimate method will provide for disposal of the net total combined daily flow of 30,810 gallons per day (77 EDUs). A reference for the approximate sewage flow for the proposed development can be found in Appendix C. The use of a proposed, private lateral will not create any undue financial burdens to the City of Pittsburgh, PWSA, or ALCOSAN.

Alternative methods of sewage disposal that could be considered include on-site subsurface disposal systems (septic systems) and an individual package wastewater treatment plant. The existing developments in the area are all currently connected to the public sewer system; therefore, an on-site septic system would not be consistent with the neighboring buildings, nor would it be a practical solution to provide adequate service for the site. The nearest discharge point from the site for a stream discharge is the Allegheny River, approximately 450 feet south of the site. A package wastewater treatment plant with discharge to the Allegheny River is not feasible due to the size and cost of the site.

APPENDIX E

Public Notice

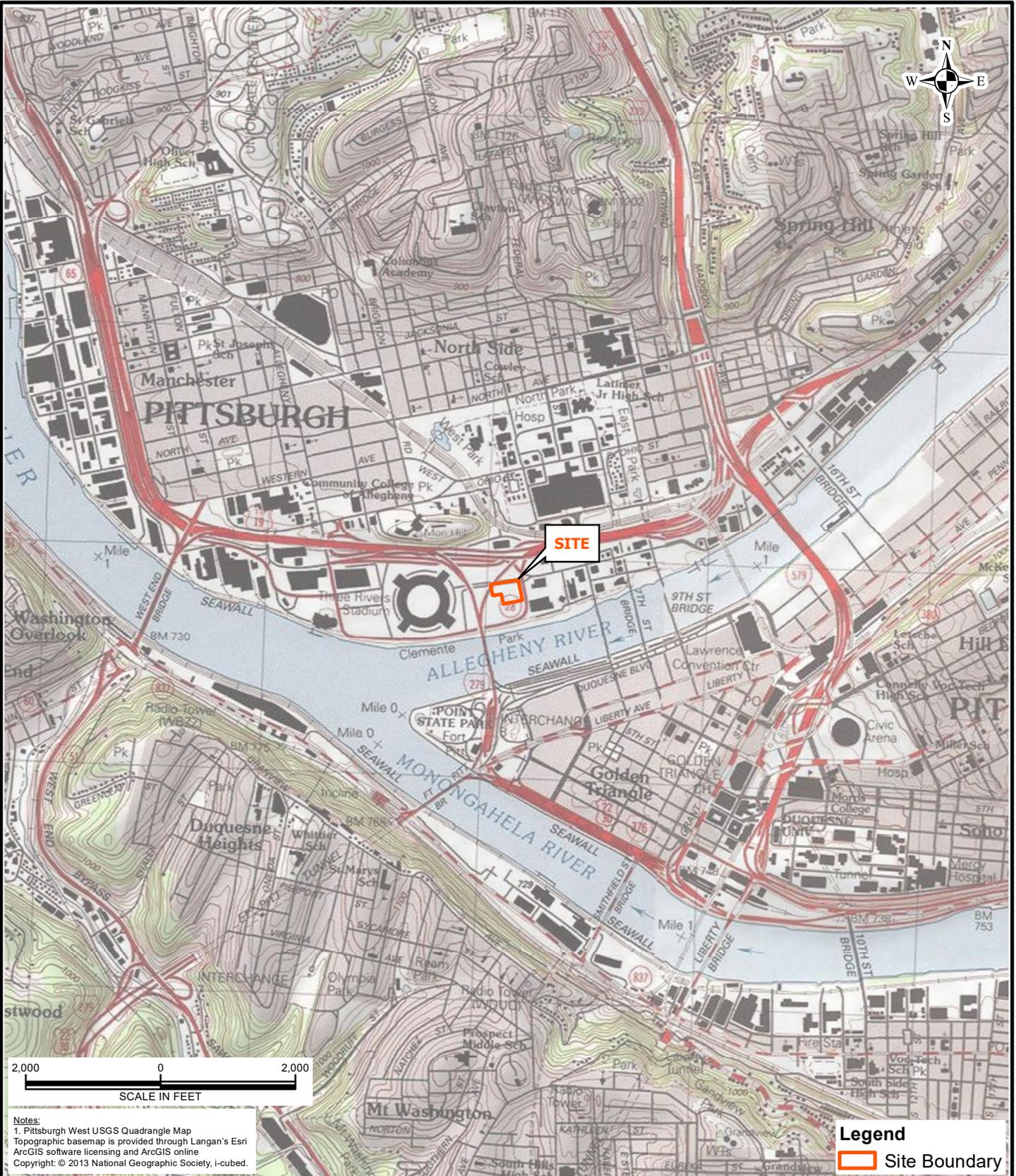
**SECTION P
SEWAGE FACILITIES PLANNING
MODULE COMPONENT 3**

**Re: Public Notice
North Shore Lot 10.2
City of Pittsburgh, Allegheny County, Pennsylvania
Langan Project No.: 250101502**

A public notification is not required for this project since no items in Section P of Component 3 (Appendix C) are applicable to this project.

APPENDIX F

USGS Map and Plot Plans



Notes:
 1. Pittsburgh West USGS Quadrangle Map
 Topographic basemap is provided through Langan's Esri
 ArcGIS software licensing and ArcGIS online
 Copyright: © 2013 National Geographic Society, i-cubed.

Legend
 Site Boundary

LANGAN
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Langan Engineering & Environmental Services, Inc.
 Langan Engineering, Environmental, Surveying,
 Landscape Architecture and Geology, D.P.C.
 Langan International LLC
 Collectively known as Langan

Project
**218 N
 SHORE DRIVE**
 PITTSBURGH
 LOT: 8-K-35
 ALLEGHENY COUNTY PA

Drawing Title
**SITE
 LOCATION
 MAP**

Project No.
 250101501
 Date
 12/4/2019
 Scale
 1" = 2,000'
 Drawn By
 BLA

Figure
1

GENERAL NOTES

1. ALL WORK DONE AND MATERIALS FURNISHED UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH THE PITTSBURGH WATER AND SEWER AUTHORITY (PWSA), AND THE CITY OF PITTSBURGH CURRENT GENERAL CONTRACT CONDITIONS STANDARD SPECIFICATIONS FOR THE MATERIALS AND CONSTRUCTION DATED NOVEMBER 1938, WITH SUPPLEMENTS THERETO AND REVISIONS THEREOF, USING CURRENT UPDATED PWSA SPECIFICATIONS AND STANDARDS FOR CONSTRUCTION UNLESS OTHERWISE NOTED.
2. THE DEVELOPER/OWNER MUST FURNISH THE PWSA WITH A PERFORMANCE BOND (OR APPROVED EQUAL) AND A LABOR AND MATERIAL PAYMENT BOND, EACH IN AN AMOUNT EQUAL TO 100 PERCENT OF THE TOTAL PROJECT CONSTRUCTION COST AS DETERMINED BY PWSA. THE DEVELOPER/OWNER SHALL ALSO FURNISH THE PWSA WITH A MAINTENANCE BOND FOR THE WARRANTY OF ALL CONSTRUCTION FOR A PERIOD OF 18 MONTHS FROM THE DATE OF THE PWSA'S ACCEPTANCE OF THE COMPLETED WORK AND BOARD APPROVAL. THE MAINTENANCE BOND SHALL BE IN AN AMOUNT EQUAL TO 15 PERCENT OF THE COST OF THE WORK. THE PWSA ALONE SHALL BE NAMED AS AN OBLIGEE ON ALL BONDS.
3. THE DEVELOPER/OWNER OR HIS CONTRACTOR SHALL OBTAIN ALL BUILDING PERMITS, PLUMBING PERMITS, CONSTRUCTION AND/OR STREET OPENING PERMITS REQUIRED BY THE CITY OF PITTSBURGH, COUNTY OF ALLEGHENY AND THE COMMONWEALTH OF PENNSYLVANIA AND/OR ANY LOCAL SURROUNDING MUNICIPALITIES AS NEEDED.
4. ALL CONSTRUCTION MATERIALS MUST BE SUBMITTED IN A TIMELY MANNER FOR REVIEW AND APPROVED BY THE PWSA DEPARTMENT OF ENGINEERING AND CONSTRUCTION PRIOR TO THE START OF CONSTRUCTION. SUBMITTAL INFORMATION SHALL INCLUDE A LIST OF MATERIALS AND THEIR SOURCE OF SUPPLY AS WELL AS MANUFACTURER'S DESCRIPTIVE CATALOG DATA, DRAWINGS, CHARTS, TABLES, ETC. NECESSARY TO SUBSTANTIATE COMPLIANCE WITH THE PWSA SPECIFICATION REQUIREMENTS.

LIST OF MATERIALS AND SOURCE THEREOF, TOGETHER WITH WORK SCHEDULE, MUST BE SUBMITTED AND APPROVED BY THE PWSA DEPARTMENT OF ENGINEERING AND CONSTRUCTION BEFORE CONSTRUCTION IS STARTED.

PRIOR TO THE START OF CONSTRUCTION, THE DEVELOPER/OWNER OR HIS CONTRACTOR SHALL SUBMIT A SCHEDULE OF THE WORK TO BE PERFORMED FOR REVIEW BY THE PWSA'S DEPARTMENT OF ENGINEERING AND CONSTRUCTION.
5. CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWINGS IN ACCORDANCE WITH THE PWSA ON UNIFORM SIZE SHEETS NO SMALLER THAN 24 INCHES BY 36 INCHES FOR REVIEW AND APPROVAL.
6. THE PRECONSTRUCTION MEETING SHALL BE SET BY PWSA. AFTERWARDS, THE DEVELOPER/OWNER OR HIS CONTRACTOR SHALL NOTIFY THE PWSA DEPARTMENT OF ENGINEERING AND CONSTRUCTION NO LESS THAN 72 HOURS IN ADVANCE OF THE START OF CONSTRUCTION.
7. THE DEVELOPER/OWNER'S CONTRACTOR SHALL NOT PERFORM ANY WORK DURING THE NIGHT, ON WEEKENDS, OR ON PWSA HOLIDAYS, UNLESS ORDERED TO DO SO BY THE PWSA'S DIRECTOR, OR AT THE REQUEST OF THE CONTRACTOR WITH THE APPROVAL OF THE DIRECTOR. WHEN THE CONTRACTOR IS GIVEN PERMISSION TO WORK DURING THESE PERIODS, HE SHALL REIMBURSE THE PWSA FOR ALL PWSA'S REPRESENTATIVE'S LABOR AND EXPENSES ASSOCIATED WITH INSPECTION OF THE WORK.
8. UNLESS OTHERWISE DIRECTED USE PRECISE CITY BENCHMARK(S); SHOW ON PLANS PRECISE CITY B.M. NO(S), _____ - AND ELEVATION(S) _____ (ALSO NOTE STANDARD CITY DESCRIPTION AND LOCATION(S)).
9. SAW-CUT ALL EXISTING PUBLIC AND/OR PRIVATE SIDEWALK(S) AND STREET PAVEMENT(S) (AS DIRECTED).
10. THE CONTRACTOR SHALL APPLY A CITY APPROVED SCALING DETERRENT TO ALL FINISHED CONCRETE PAVEMENT SURFACES AND SIDEWALKS IN ACCORDANCE WITH CURRENT CITY SPECIFICATIONS OR AS SHOWN ON THE CONTRACT PLANS (IF DIRECTED).
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ALL CASTINGS, WATER BOXES, CATCH BASINS, STORM INLETS, AND MANHOLES AFTER CONSTRUCTION AND/OR PAVING IS COMPLETED INCLUDING ANY PRIVATE CASTING SURFACES (IF DIRECTED).
12. MATERIAL REQUIRED TO REPLACE UNSUITABLE MATERIAL FOR STABILIZATION FOR SUB-GRADE(S) SHALL BE CITY/PWSA APPROVED BACKFILL MATERIAL. THE COMPOSITION AND METHOD OF COMPACTION SHALL CONFORM TO CURRENT CITY OF PITTSBURGH SPECIFICATIONS FOR SUB-BASE TREATMENT.
13. ALL OLD MATERIAL REMOVED UNDER THIS CONTRACT AND NOT TO BE REUSED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND MUST BE PROMPTLY REMOVED FROM THE SITE.
14. THE CONTRACTOR SHALL DEWATER, BULKHEAD, AND BURY ALL EXISTING LINES THAT ARE ABANDONED IN PLACE. ABANDONED LINE(S) LARGER THAN 8" IN DIAMETER MUST BE FILLED WITH APPROVED FLOWABLE FILL.
15. A COMPLETE AND ACCURATE PHOTOGRAPHIC ARCHIVAL HARD COPY FOUR MILL THICK DOUBLE MATTED MYLAR DRAWING (24 X 36) NOTING AS-BUILT RECORD INFORMATION MARKED IN RED INK, INCLUDING ALL COMPLETED AS BUILT RECORD INFORMATION AS TO LOCATION, ELEVATION, AND STATIONING WITH OFFSETS OF SEWER AND/OR WATER LINES, CATCH BASINS, WYE BRANCH CONNECTIONS, GATE VALVES, FITTINGS, HYDRANTS, STATIONS, GRADES, ETC. THIS REQUIRED INFORMATION MUST BE FURNISHED TO THE PWSA AT THE COMPLETION OF THE CONTRACT. THE CONTRACTOR SHALL SUBMIT ONE SET OF AS BUILT/RECORD DRAWINGS SHOWING THE PROPOSED PWSA FACILITIES TO BE DEDICATED AS CONSTRUCTED, INCLUDING ALL DEVIATIONS FROM BOTH THE APPROVED PROJECT CONTRACT DRAWINGS AND ANY RELATED APPROVED SHOP DRAWINGS. ALL AS-BUILT DRAWINGS SHALL BE PREPARED ON UNIFORM SIZE SHEETS AS NOTED ABOVE, NOT LESS THAN 24 INCHES BY 36 INCHES AND SUBMITTED WITHIN TWO WEEKS AFTER FINAL PWSA INSPECTION AND FINAL TESTING OF THE SYSTEM, PLUS INCLUDE AN APPROVED ELECTRONIC MEDIA COPY COMPATIBLE TO THE PWSA ELECTRONIC FILING SYSTEMS. SAID AS-BUILT INFORMATION MUST BE CERTIFIED BY AN ENGINEER LICENSED IN PENNSYLVANIA, OR IF DIRECTED MEASURED UP BY A SURVEYOR LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA.

SEWER LINE NOTES

1. BURIED MAIN LINE PIPE SEWER(S) IDENTIFICATION MARKER MATERIALS SHALL BE AN APPROVED ELECTRONICALLY LOCATABLE BRIGHTLY COLORED PLASTIC TAPE DISPLAYING THE PRINTED NOTATION "SEWER". TAPE SHALL BE LAID BETWEEN BACKFILLING LIFTS OVER THE PIPE, NOT LESS THAN TWO FEET ABOVE THE PIPE OR LESS THAN TWO FEET BELOW FINISHED GRADE SURFACE. IN NO EVENT SHALL THE TAPE BE MORE THAN FOUR FEET BELOW FINISHED SURFACE.
2. ALL MANHOLES TO BE PWSA APPROVED PRE-CAST CONCRETE MANHOLES AS PER ASTM DESIGNATION C478 WITH POURED-IN-PLACE CEMENT CONCRETE BASES AND/OR PWSA APPROVED PRECAST BASES AS DETERMINED BY PWSA. THIS INCLUDES REINFORCED CONCRETE BOX MANHOLES AND/OR BRICK MANHOLES AS DIRECTED BY PWSA.
3. SANITARY MANHOLES SHALL BE EXTERIOR COATED WITH PWSA APPROVED EMULSIFIED BITUMINOUS COATING AS PER ASTM DESIGNATION D1227 OR APPROVED EQUAL.
4. ALL STANDARD HOUSE WYES TO BE MINIMUM 4 INCH DIAMETER FOR SANITARY SEWERS OR MINIMUM 6 INCH DIAMETER FOR STORM OR COMBINATION SEWERS UNLESS OTHERWISE NOTED.
5. INSTALL THE PWSA CAST IRON MANHOLE CASTINGS AS FOLLOWS: FRAME NO. 26, COVER NO. 25V (UNLESS OTHERWISE NOTED).
6. PWSA PIPE SEWER 15" DIAMETER AND SMALLER (UNLESS OTHERWISE DIRECTED) MAY BE POLYVINYL CHLORIDE (PVC), ASTM DESIGNATION 3034, SDR-26 OR FOR TYPE PS46 ASTM DESIGNATION D1784 (OR PWSA APPROVED EQUAL). THE PIPE AND FITTINGS SHALL HAVE INTEGRAL WALL BELL AND SPIGOT JOINTS WITH RUBBER RING JOINTS. THE PIPE STIFFNESS SHALL BE IN ACCORDANCE WITH ASTM DESIGNATION D2412; FLEXIBLE ELASTOMERIC SEALS: ASTM DESIGNATION D3212; SEAL MATERIAL: ASTM DESIGNATION F477. STANDARD INSTALLATION OF SAID SEWER PIPE SHALL BE IN COMPLIANCE WITH ASTM DESIGNATION D2321 AND/OR THE PWSA CURRENT SPECIFICATIONS.
7. ALL VITRIFIED CLAY PIPE SEWER(S), (TYPICALLY USED FOR CONVEYING SANITARY OR COMBINATION FLOWS) INCLUDING WYE CONNECTIONS, SHALL BE EXTRA STRENGTH V.C. PIPE (ASTM DESIGNATION C700) COMPRESSION JOINTS FOR VITRIFIED CLAY, BELL AND SPIGOT SHALL CONFORM TO ASTM DESIGNATION C425.
8. THE REINFORCED CONCRETE PIPE SEWER(S) SHALL CONFORM TO ASTM DESIGNATION C76 WITH THE FOLLOWING REQUIREMENTS:
 - A. ALL PWSA PIPE SEWERS SHALL BE MINIMUM CLASS IV STYLE, WALL 8".
 - B. THE PIPE SHALL HAVE A MAXIMUM ABSORPTION OF 5.5% DENSITY AND SHALL BE LESS THAN 155 POUNDS PER CUBIC FOOT USING LIMESTONE AGGREGATE AND TYPE II CEMENT (UNLESS OTHERWISE DIRECTED).
 - C. PIPE SHALL BE FURNISHED IN MINIMUM 8-FOOT LENGTHS AND MARKED WITH MANUFACTURED DATE AND PIPE CLASS.
 - D. FOR SANITARY AND COMBINED SEWERS, THE CONTRACTOR (IF DIRECTED) WILL SUBSTITUTE TYPE II CEMENT WITH LIMESTONE AGGREGATE IN PLACE OF COAL TAR EPOXY COATING OF INTERIOR SURFACE OF PIPE.
 - E. ALL SPECIAL RADIUS R. C. PIPE MUST BE MARKED AT THE TOP EXTERIOR (CROWN) OF EACH SECTION TO ENSURE PROPER ALIGNMENT.
 - F. JOINT ASSEMBLIES SHALL BE SO FORMED AND ACCURATELY MANUFACTURED THAT WHEN THE PIPES ARE DRAWN TOGETHER THE PIPE SHALL FORM A CONTINUOUS WATERTIGHT CONDUIT WITH A SMOOTH AND UNIFORM INTERIOR SURFACE. THE RUBBER GASKET SHALL BE THE SOLE ELEMENT OF THE JOINT DEPENDENT UPON TO PROVIDE A WATERTIGHT SEAL CONFORMING TO ASTM DESIGNATION C443 AND MANUFACTURERS RECOMMENDATION FOR INSTALLATION.
 - G. PIPE WILL BE SUBJECT TO REJECTION BECAUSE OF FAILURE TO CONFORM TO ANY OF THE ABOVE SPECIFICATION REQUIREMENTS.
9. DUCTILE IRON PIPE SEWER AND MECHANICAL JOINT DUCTILE IRON FITTINGS: SHALL BE PUSH-ON JOINT DUCTILE IRON PIPE WITH MECHANICAL JOINT DUCTILE IRON FITTINGS. PIPE AND FITTINGS TO BE USED UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH FOLLOWING SPECIFICATIONS:
 - A. CENTRIFUGALLY CAST - DUCTILE IRON PIPE LINED WITH A PWSA APPROVED POLYMER LINING (UNLESS OTHERWISE DIRECTED): AWWA/ANSI -C151/A21.51.
 - B. INTERIOR LINING PWSA APPROVED CERAMIC EPOXY COATING CONSISTING OF AN AMINEURED NOVALAC EPOXY CONTAINING A MINIMUM OF 20% CERAMIC QUARTZ PIGMENT BY VOLUME OR CEMENT MORTAR LINING FOR DUCTILE IRON AND GRAY IRON PIPE AND FITTINGS AS NOTED FOR WATER: AWWA/ANSI -C104/A21.4.
 - C. USE MECHANICAL JOINT DUCTILE IRON FITTINGS: AWWA/ANSI -C110/A21.10. (AS DIRECTED)
 - D. RUBBER GASKET JOINTS FOR DUCTILE IRON AND GRAY IRON PRESSURE SEWER PIPE AND RELATED FITTINGS: AS PER AWWA/ANSI -C111/A21.11. THICKNESS DESIGN FOR DUCTILE IRON PIPE AWWA/ANSI -C150/A21.50.
 - E. ALL DUCTILE IRON PIPE SHALL BE MINIMUM CLASS 52.
 - F. DUCTILE IRON TRANSITION COUPLINGS AND REPAIR COUPLINGS.
 - 1) MATERIAL DESCRIPTION - COUPLINGS FURNISHED UNDER THIS CONTRACT SHALL BE AT LEAST EQUAL TO OR EXCEED THE FOLLOWING AND SHALL CONFORM WITH THE REQUIREMENTS HEREINAFTER GIVEN
 - A. CENTER RING: DUCTILE CAST IRON MEETING OR EXCEEDING THE LATEST REVISION OF ASTM A-536.
 - B. GASKETS: NATURAL OR SYNTHETIC RUBBER COMPOUNDED FOR POTABLE WATER SERVICE.
 - C. END RINGS: DUCTILE CAST IRON MEETING OR EXCEEDING THE LATEST REVISION OF ASTM DESIGNATION A-536.
 - D. BOLTS AND NUTS: HIGH STRENGTH STEEL TRACK HEAD, NATURAL COURSE ROLL THREAD WITH HEAVY HEX NUTS ELECTRO- GALVANIZED WITH DI-CHROMATE SEAL.
10. INFILTRATION AND/OR EXFILTRATION TEST SHALL BE CONDUCTED BY THE CONTRACTOR UNDER INSPECTION OF THE PWSA, IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE NATIONAL CLAY PIPE INSTITUTE. ANY SEWER FAILING TO MEET THESE REQUIREMENTS SHALL BE PROPERLY CORRECTED AND RECONSTRUCTED. INFILTRATION AND EXFILTRATION AMOUNTS SHALL BE LIMITED TO 200 GALLONS PER INCH DIAMETER OF PIPE PER MILE PER DAY. (0.001 GALLON/INCH/DIAMETER/HOUR/FOOT).
11. ALL NEWLY CONSTRUCTED PUBLIC SEWERS ON THE PROJECT MUST BE TELEVIEWED BY THE CONTRACTOR AS DIRECTED AND A VIDEO COPY COMPLETE WITH DATA SHEETS COMPATIBLE WITH PWSA RECORD SYSTEMS AND APPROVED BY PWSA BEFORE FINAL PROJECT ACCEPTANCE. A SEVENTY TWO (72) HOUR ADVANCE NOTICE SHALL BE GIVEN TO THE PWSA REPRESENTATIVE WHO WILL WITNESS SAID VIDEO INSPECTION AND THE AREA MUST BE ACCESSIBLE FOR TV EQUIPMENT INCLUDING VEHICLES. IN ORDER FOR INSPECTION TO OCCUR, ALL EXISTING AND PROPOSED MANHOLES TO REMAIN SHALL BE CONSTRUCTED AND BROUGHT UP TO THE TOP OF FINISHED GRADE.
12. CONTRACTOR WILL BE DIRECTED TO CONDUCT PWSA APPROVED AIR VACUUM TESTING ON ALL SEWERS AND MANHOLES AS PER CURRENT PWSA SPECIFICATIONS AS PER ASTM DESIGNATION C828.
13. CONTRACTOR WILL BE DIRECTED TO PERFORM DEFLECTION TESTING ON ALL FLEXIBLE PLASTIC PIPE SEWERS OR AS DEEMED NECESSARY BY PWSA FOR OTHER MATERIALS. THE MANDREL TESTING SHALL BE PERFORMED IN THE PRESENCE OF A PWSA INSPECTOR USING A DEFLECTOMETER, CALIBRATED TELEVISION, OR PROPERLY SIZED "GO, NO-GO" MANDRELS. MAXIMUM DEFLECTION ACCEPTED BY PWSA SHALL BE 5 PERCENT OF PIPE DIAMETER.

WATER LINE NOTES

1. BURIED MAINLINE PIPE IDENTIFICATION MARKERS SHALL BE APPROVED ELECTRONICALLY LOCATABLE BRIGHTLY COLORED PLASTIC TAPE DISPLAYING THE PRINTED NOTATION "WATER". TAPE SHALL BE LAID BETWEEN BACKFILLING LIFTS OVER THE PIPE, NOT LESS THAN TWO FEET ABOVE THE PIPE OR LESS THAN TWO FEET BELOW FINISHED GROUND SURFACE. IN NO EVENT SHALL THE TAPE BE MORE THAN FOUR FEET BELOW FINISHED SURFACE.
2. GATE VALVE - AFFIDAVIT OF COMPLIANCE: THE CONTRACTOR SHALL OBTAIN FROM THE MANUFACTURER OF THE VALVES AN AFFIDAVIT STATING THAT THE VALVES AND ALL THE MATERIALS USED IN ITS CONSTRUCTION CONFORM TO THE APPLICABLE REQUIREMENTS OF THE PWSA AND AWWA CURRENT STANDARD AND SUPPLEMENTARY SPECIFICATIONS AND THAT ALL TEST SPECIFIED THEREIN HAVE BEEN PERFORMED AND MET.
3. ALL NEW PWSA WATER MAINS SHALL BE WRAPPED WITH APPROVED POLYETHYLENE WRAP. POLYETHYLENE WRAP USING VIRGIN POLYETHYLENE MATERIAL CONFORMING TO THE REQUIREMENTS OF THE ANSI/ASTM DESIGNATION D1248. THE MINIMUM NOMINAL THICKNESS SHALL BE 8 MILS THICK.
4. CURB BOXES - ROUND CURB BOXES SHALL BE PWSA APPROVED OF THE M.E.G. TYPE CONSTRUCTED OF CAST IRON. STANDARD GATE BOX LID SHALL HAVE TWO NOTCH OPENINGS WITH THE WORD "WATER" STAMPED OR CAST INTO IT. LID DIAMETER TO MATCH BOX. GATE BOX EXTENSIONS ARE NOT TO BE USED FOR NEW CONSTRUCTION. A MAXIMUM OF THREE EXTENSION RINGS CAN BE USED PER GATE BOX.
5. ALL SALVAGEABLE EXISTING WATER LINE MATERIALS AND APPURTENANCES (I.E. CASTINGS, PIPE, VALVES, FIRE HYDRANTS, METERS, ETC.) REMOVED DURING THE COURSE OF CONSTRUCTION BY THE CONTRACTOR SHALL BE REMOVED, UNDAMAGED, AND DELIVERED TO THE PWSA BRILLIANT YARD. ALL OTHER DAMAGED AND/OR UNSALVAGEABLE WATER LINE MATERIALS AND RELATED APPURTENANCES SHALL BE DISPOSED OF BY THE CONTRACTOR AT THE DISCRETION OF AND TO THE SATISFACTION OF THE PWSA.
6. ALL PIPE VALVES AND FITTINGS SHALL BE MECHANICAL JOINT AND SHALL BE CONSTRUCTED SO THAT THE DEFLECTION PER JOINT DOES NOT EXCEED 85% OF MAXIMUM PERMISSIBLE.
7. ALL FITTINGS AND/OR BENDS SHALL HAVE CONCRETE THRUST BLOCKING PLACED IN ACCORDANCE WITH THE PWSA SPECIFICATIONS/STANDARDS. PROVIDE DUCTILE IRON RETAINING GLANDS ON ALL BENDS GREATER THAN 10 DEGREES INCLUDING THE REQUIRED THRUST BLOCKING.
8. THRUST BLOCK CONCRETE SHALL BE CITY OF PITTSBURGH CLASS "P" 4000# CEMENT CONCRETE AS PER THE CITY OF PITTSBURGH SPECIFICATIONS. A MINIMUM OF ONE FOOT OF COMPACTED BACKFILL SHALL BE PLACED ABOVE ALL THRUST BLOCKING PRIOR TO ACTIVATING THE WATER LINES.
9. DUCTILE IRON PIPE AND MECHANICAL JOINT DUCTILE IRON FITTINGS: ALL WATER LINES SHALL BE PUSH-ON JOINT DUCTILE IRON PIPE WITH MECHANICAL JOINT DUCTILE IRON FITTINGS. PIPE AND FITTINGS TO BE USED UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH FOLLOWING SPECIFICATIONS:
 - A. CENTRIFUGALLY CAST - DUCTILE IRON PIPE: AWWA/ANSI -C151/A21.51.
 - B. CEMENT MORTAR LINING FOR DUCTILE IRON AND GRAY IRON PIPE AND FITTINGS FOR WATERLINES: AS PER AWWA/ANSI -C104/A21.4.
 - C. MECHANICAL JOINT DUCTILE IRON FITTINGS: AWWA/ANSI -C110/A21.10.
 - D. RUBBER GASKET JOINTS FOR DUCTILE IRON AND GRAY IRON PRESSURE PIPE AND FITTINGS:
 - AWWA/ANSI -C111/A21.11. THICKNESS DESIGN FOR DUCTILE IRON PIPE AWWA/ANSI -C150/A21.50.
 - E. ALL DUCTILE IRON PIPE SHALL BE MINIMUM CLASS 52.
 - F. DUCTILE IRON TRANSITION COUPLINGS AND REPAIR COUPLINGS
 - 1) MATERIAL DESCRIPTION - COUPLINGS FURNISHED UNDER THIS CONTRACT SHALL BE AT LEAST EQUAL TO OR EXCEED THE FOLLOWING AND SHALL CONFORM WITH THE REQUIREMENTS HEREINAFTER GIVEN
 - A. CENTER RING: DUCTILE CAST IRON MEETING OR EXCEEDING THE LATEST REVISION OF ASTM DESIGNATION A-536.
 - B. GASKETS: NATURAL OR SYNTHETIC RUBBER COMPOUNDED FOR POTABLE WATER SERVICE.
 - C. END RINGS: DUCTILE CAST IRON MEETING OR EXCEEDING THE LATEST REVISION OF ASTM DESIGNATION A-536.
 - D. BOLTS AND NUTS: HIGH STRENGTH STEEL TRACK HEAD, NATURAL COURSE ROLL THREAD WITH HEAVY HEX NUTS ELECTRO- GALVANIZED WITH DI-CHROMATE SEAL.
 - G. GLANDS FOR ASSEMBLING MECHANICAL JOINT FITTINGS SHALL BE RESTRAINING GLANDS, CONSISTING OF MULTIPLE GRIPPING WEDGES INCORPORATED INTO A FOLLOWER GLAND MEETING THE APPLICABLE REQUIREMENTS OF AWWA/ANSI C-110/A21.10. THE DEVICES SHALL HAVE A WORKING PRESSURE RATING OF 350 PSI FOR 3-16 INCH AND 250 PSI FOR 18-48 INCH. RATINGS ARE FOR WATER PRESSURE AND MUST INCLUDE A MINIMUM SAFETY FACTOR OF 2 TO 1 IN ALL SIZES. GLAND BODY, WEDGES AND WEDGE ADJUSTING COMPONENTS SHALL BE CAST FROM GRADE 65-45-12 DUCTILE IRON MATERIAL IN ACCORDANCE WITH ASTM DESIGNATION A536. DUCTILE IRON GRIPPING WEDGES SHALL BE HEAT TREATED WITHIN A RANGE OF 370 TO 470 BHN. MECHANICAL JOINT RESTRAINT FOR DUCTILE IRON PIPE SHALL BE MEGALUG SERIES 1100 AS MANUFACTURED BY EBAA IRON, INC. OR APPROVED EQUAL.
 10. THE PWSA MUST BE NOTIFIED A MINIMUM OF 72 HOURS IN ADVANCE OF THE TIME WHEN THE CONTRACTOR PROPOSES TO CONNECT THE PROPOSED WATERLINES TO THE EXISTING WATER MAINS SO THAT THE PWSA OPERATIONS DIVISION MAY ARRANGE FOR THE OPERATION OF THE NECESSARY VALVE SHUTS. ONLY THE PWSA PERSONNEL MAY OPERATE PUBLIC PWSA VALVES.
 11. ALL NEW WATER AND FIRE SERVICE MAINS SHALL BE TESTED HYDRAULICALLY AT NOT LESS THAN 200 PSI PRESSURE FOR NOT LESS THAN TWO HOURS, OR 50 PSI IN EXCESS OF THE MAXIMUM STATIC PRESSURE WHEN THE MAXIMUM STATIC PRESSURE IS IN EXCESS OF 150 PSI.
 12. ALL PROPOSED CONNECTIONS TO EXISTING WATER MAINS SHALL BE CONDUCTED DURING THE TIME OF LEAST DEMAND FOR WATER, UNLESS OTHERWISE DIRECTED.
 13. STERILIZATION: FOLLOWING THE TESTING OF ANY POTABLE WATER MAINS, THE MAIN SHALL BE THOROUGHLY FLUSHED AND STERILIZED.
 14. STERILIZATION SHALL BE IN ACCORDANCE WITH AWWA C-651-86 (REVISION OF AWWA C-601-81), AWWA STANDARD FOR DISINFECTING WATER MAINS.
 15. THE CONTRACTOR IS RESPONSIBLE TO ENSURE AGAINST LEAKAGE OF THE STERILIZING SOLUTION INTO THE EXISTING PUBLIC SYSTEM AND FOR PROPERLY DISPOSING OF THE STERILIZING SOLUTION.

THE PITTSBURGH WATER AND SEWER AUTHORITY	
*APPROVAL FOR:	
<input type="checkbox"/> NEW WATER TAP, BACKFLOW PREVENTOR, AND METER INSTALLATION	
<input type="checkbox"/> NEW SANITARY AND/OR STORM SEWER TAP	
<input type="checkbox"/> INCREASE IN FLOW AT EXISTING SEWER AND/OR WATER CONNECTION	
<input type="checkbox"/> SEWER TAP TERMINATION	
<input type="checkbox"/> WATER TAP TERMINATION	
<input type="checkbox"/> EXTENDED FACILITIES	
<input type="checkbox"/> RELOCATION OF FACILITIES	
PWSA Drawing Number: _____	
*DISCLAIMER: Signatures/Approval by PWSA are for the physical connection(s) to the water and/or sewer system only.	
Responsibility for the design and work depicted by the drawings, including the flow design for the facilities, is by the Professional Engineer shown by the seal and signature affixed to the drawing. The PWSA does not represent or warrant that the water supply to the facilities is sufficient to support the design.	
Project Coordinator/Project Management Engineer/Reviewer certifies that he/she has reviewed the above noted document(s) in accordance with the Authority's established rules and regulations. Based on this review, approval is hereby recommended. Date	
Project Coordinator/Project Management Engineer/Reviewer Date	
Chief of Operations	
Director of Engineering and Construction	
LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC.	
NORTH SHORE LOT 10 218 NORTH SHORE DRIVE PITTSBURGH, PA 15212	
SCALE: SHEET	ACCESSION No. _____
DATE: _____ OF _____	CASE No. _____

Date	Description	No.
REVISIONS		

SIGNATURE	DATE SIGNED
SCOTT ROWLAND	
PROFESSIONAL ENGINEER PA Lic. No. PE080563	

LANGAN
Langan Engineering and Environmental Services, Inc.
2400 Ansys Drive, Suite 403
Canonsburg, PA 15317

T: 724.514.5100 F: 724.514.5101 www.langan.com

Project

NORTH SHORE LOT 10 PARKING GARAGE

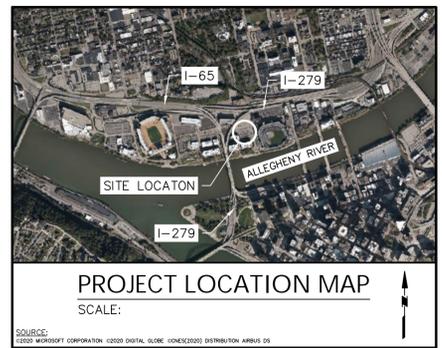
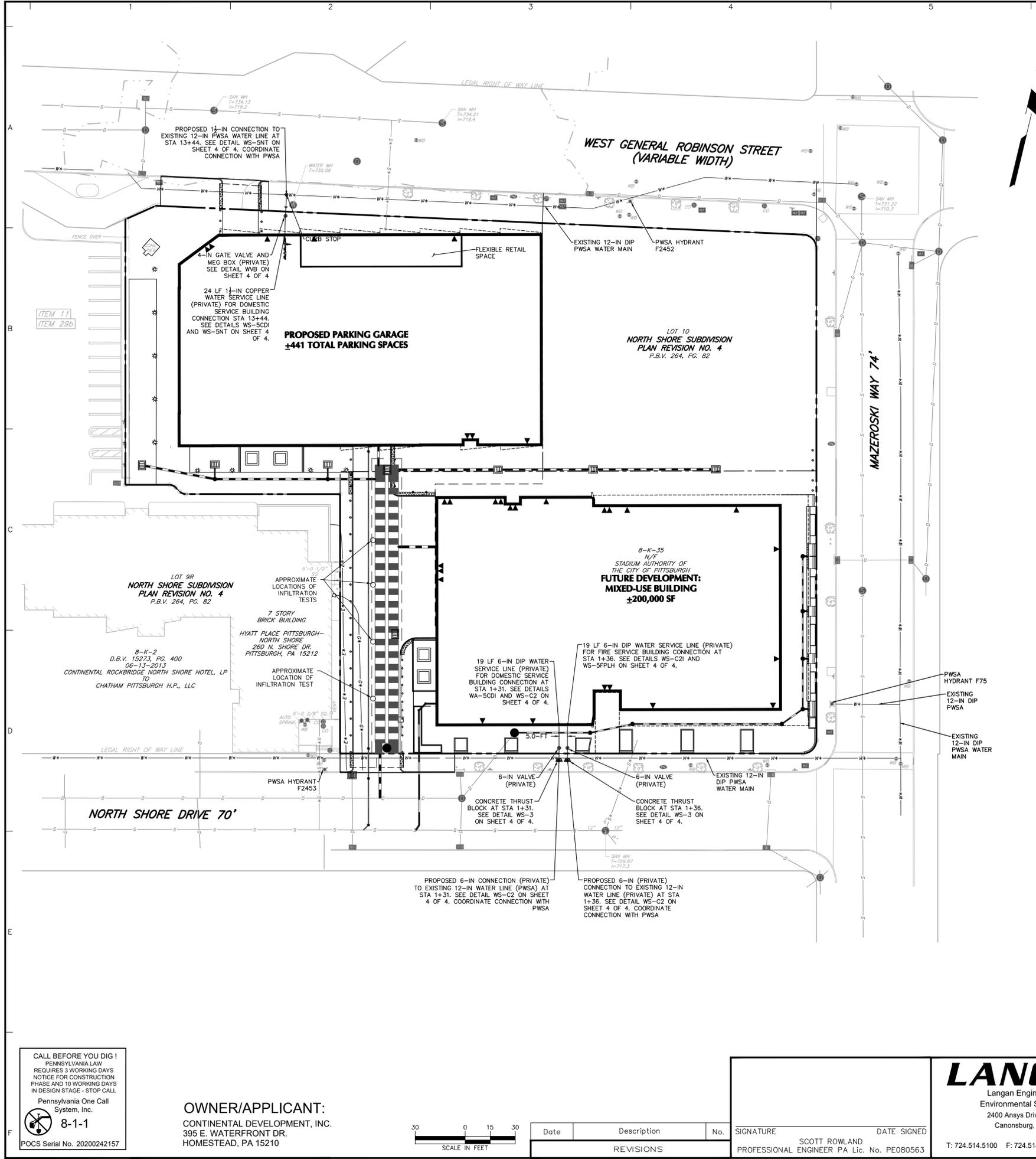
218 N SHORE DRIVE
CITY OF PITTSBURGH
PENNSYLVANIA

ALLEGHENY COUNTY

Drawing Title

INFORMATION COVER

Project No. 250101501	Drawing No. GI001
Date 05/11/2020	
Drawn By NRK	
Checked By SML	
Sheet 1 of 4	



WATER AND SEWER FLOW DATA	
WATER CONSUMPTION	300 gpd
SANITARY FLOW	300 gpd
STORM FLOW	17.21 cfs
APPLICATION NUMBER (ASSIGNED BY PWSA)	
DEP APPROVAL DATE (ASSIGNED BY PWSA)	

	LEGEND	
	EXISTING	PROPOSED
PROPERTY LINE	—S—S—S—	—S—S—S—
SANITARY SEWER PER PLAN	—S—S—S—	—S—S—S—
SANITARY CLEANOUT	●	●
SANITARY MANHOLE	○	○
STORM SEWER	—D—D—D—	—D—D—D—
CATCH BASIN/INLET	■	■
STORM MANHOLE	●	●
WATER LINE	—W—W—W—	—W—W—W—
FIRE LINE	—F—F—F—	—F—F—F—
WATER HYDRANT	⊕	⊕
WATER VALVE	⊕	⊕
WATER BOX	⊕	⊕
UTILITY POLE	⊕	⊕

NOTE: THE ASTERISK "*" INDICATES UTILITY LOCATIONS THAT WERE DETERMINED USING PLAN DRAWING AND WERE NOT FIELD LOCATED.

THE PITTSBURGH WATER AND SEWER AUTHORITY

***APPROVAL FOR:**

- NEW WATER TAP, BACKFLOW PREVENTOR, AND METER INSTALLATION
- NEW SANITARY AND/OR STORM SEWER TAP
- INCREASE IN FLOW AT EXISTING SEWER AND/OR WATER CONNECTION
- SEWER TAP TERMINATION
- WATER TAP TERMINATION
- EXTENDED FACILITIES
- RELOCATION OF FACILITIES

PWSA Drawing Number: _____

***DISCLAIMER:**
Signatures/Approval by PWSA are for the physical connection(s) to the water and/or sewer system only.

Responsibility for the design and work depicted by the drawings, including the flow design for the facilities, is by the Professional Engineer shown by the seal and signature affixed to the drawing. The PWSA does not represent or warrant that the water supply to the facilities is sufficient to support the design.

Project Coordinator/Project Management Engineer/Reviewer certifies that he/she has reviewed the above noted document(s) in accordance with the Authority's established rules and regulations. Based on this review, approval is hereby recommended.

Date

Project Coordinator/Project Management Engineer/Reviewer

Approval

Date

Chief of Operations

Director of Engineering and Construction

GENERAL NOTES

1. 13(r) SPRINKLER SYSTEM TO REQUIRE PL&I INSPECTION AND APPROVAL

HYDRANT FLOW TEST DATA		
(REQUIRED FOR TAPS LARGER THAN 1-INCH)		
Date of Test: 12/05/2019	Hydrant Permit No.: 19-208	
Test Performed By: PWSA & LANGAN ENGINEERING		
	FLOW HYDRANT	PRESSURE HYDRANT
Hydrant Number	F2452	F2457
Location	W. GEN. ROBINSON ST.	W. GEN. ROBINSON ST.
Static Pressure (psi)	XXXXXXXXXXXXXXXXXX	103
Residual Pressure (psi)	XXXXXXXXXXXXXXXXXX	97
Flow Observed (gpm)	1590	XXXXXXXXXXXXXXXXXX
Fire Protection Demands:		
Sprinkler System Peak Demand	250 gpm	55 psi
Inside Hose Demand	100 gpm	
Outside Hose Demand	150 gpm	
Domestic System Peak Demand	500 gpm	
Private Fire Hydrant Demands:	N/A gpm	

LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC.

NORTH SHORE LOT 10

218 NORTH SHORE DRIVE
PITTSBURGH, PA 15212

SCALE: SHEET ACCESSION No. _____

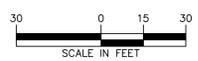
DATE: _____ OF _____ CASE No. _____

CALL BEFORE YOU DIG!
PENNSYLVANIA LAW
REQUIRES 3 WORKING DAYS
NOTICE FOR CONSTRUCTION
PHASE AND 10 WORKING DAYS
IN DESIGN STAGE - STOP CALL

Pennsylvania One Call
System, Inc.
8-1-1

POCS Serial No. 20200242157

OWNER/APPLICANT:
CONTINENTAL DEVELOPMENT, INC.
395 E. WATERFRONT DR.
HOMESTEAD, PA 15210



Date	Description	No.
REVISIONS		

SIGNATURE: SCOTT ROWLAND
DATE SIGNED: _____
PROFESSIONAL ENGINEER PA Lic. No. PE080563

LANGAN
Langan Engineering and
Environmental Services, Inc.
2400 Ansys Drive, Suite 403
Canonsburg, PA 15317

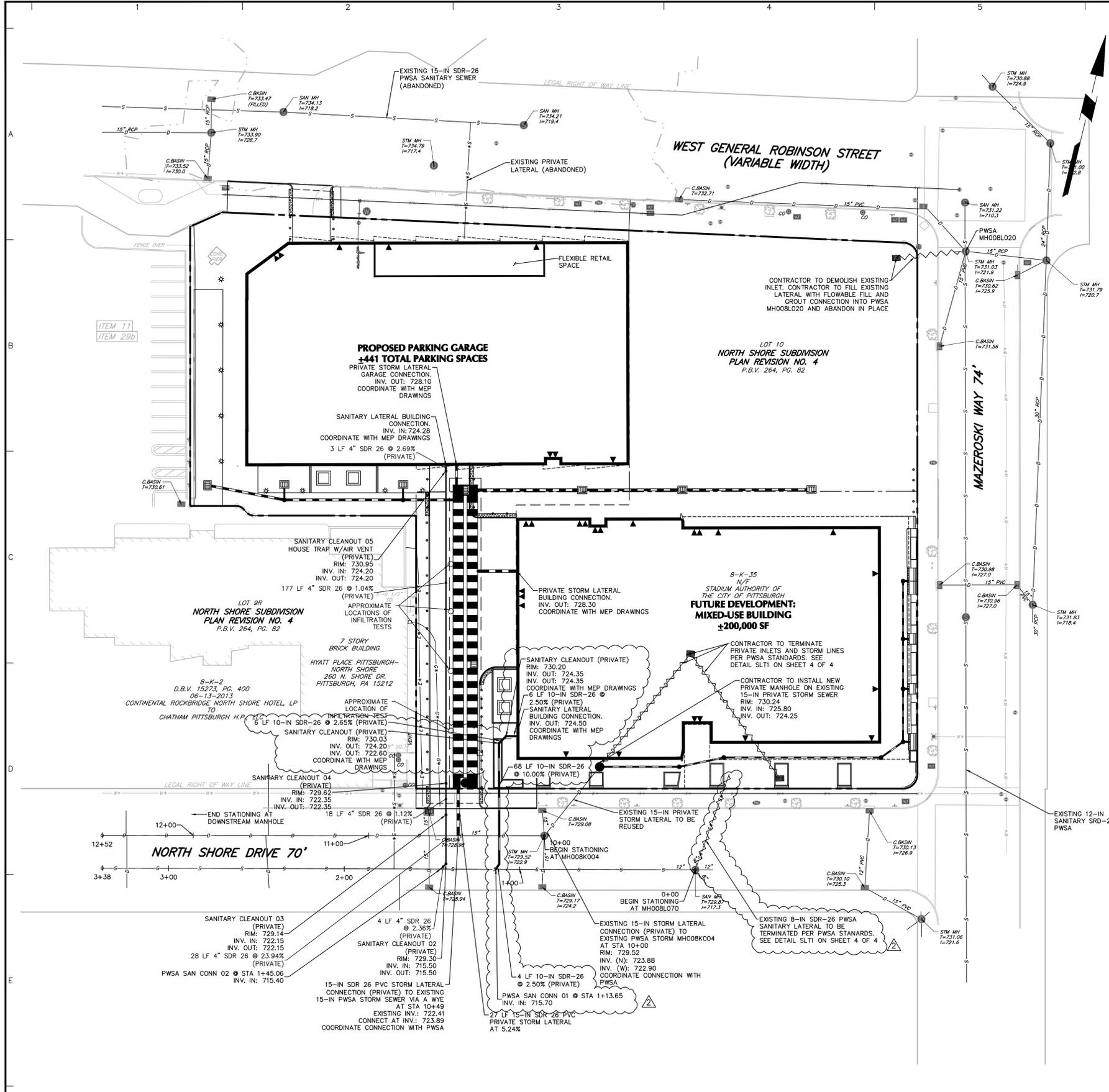
T: 724.514.5100 F: 724.514.5101 www.langan.com

Project
**NORTH SHORE LOT 10
PARKING GARAGE**
218 N SHORE DRIVE
CITY OF PITTSBURGH
ALLEGHENY COUNTY

Drawing Title
WATER TAP-IN PLAN

Project No. 250101501
Date 05/11/2020
Drawn By NRK
Checked By SML
Drawing No. GI101
Sheet 2 of 4

LANGAN PROJECT NO. 250101501



WATER AND SEWER FLOW DATA	
WATER CONSUMPTION	300 gpd
SANITARY FLOW	300 gpd
STORM FLOW	17.21 cfs
APPLICATION NUMBER (ASSIGNED BY PWSA)	
DEP APPROVAL DATE (ASSIGNED BY PWSA)	

	LEGEND	
	EXISTING	PROPOSED
PROPERTY LINE	—	—
SANITARY SEWER PER PLAN	—S—S—S—	—
SANITARY CLEANOUT	—	●
SANITARY MANHOLE	—	●
STORM SEWER	—D—D—D—	—
CATCH BASIN/INLET	—	■
STORM MANHOLE	—	●
WATER LINE	—W—W—W—	—UW—UW—
FIRE LINE	—	—UFW—
WATER HYDRANT	—	⊕
WATER VALVE	—	⊕
WATER BOX	—	⊕
UTILITY POLE	—	⊕
STORM LINE TERMINATION/FILL	—	—

NOTE: THE ASTERISK "*" INDICATES UTILITY LOCATIONS THAT WERE DETERMINED USING PLAN DRAWING AND WERE NOT FIELD LOCATED.

THE PITTSBURGH WATER AND SEWER AUTHORITY

***APPROVAL FOR:**

- NEW WATER TAP, BACKFLOW PREVENTOR, AND METER INSTALLATION
- NEW SANITARY AND/OR STORM SEWER TAP
- INCREASE IN FLOW AT EXISTING SEWER AND/OR WATER CONNECTION
- SEWER TAP TERMINATION
- WATER TAP TERMINATION
- EXTENDED FACILITIES
- RELOCATION OF FACILITIES

PWSA Drawing Number: _____

***DISCLAIMER:** Signatures/Approval by PWSA are for the physical connection(s) to the water and/or sewer system only.

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Project Coordinator/Project Management Engineer/Reviewer certifies that he/she has reviewed the above noted document(s) in accordance with the Authority's established rules and regulations. Based on this review, approval is hereby recommended.

Project Coordinator/Project Management Engineer/Reviewer

Approval _____ Date _____

Chief of Operations

Director of Engineering and Construction

LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC.

NORTH SHORE LOT 10

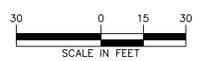
218 NORTH SHORE DRIVE
PITTSBURGH, PA 15212

SCALE: SHEET ACCESSION No. _____

DATE: _____ OF _____ CASE No. _____

CALL BEFORE YOU DIG!
PENNSYLVANIA LAW
REQUIRES 3 WORKING DAYS
NOTICE FOR CONSTRUCTION
PHASE AND 10 WORKING DAYS
IN DESIGN STAGE - STOP CALL
Pennsylvania One Call
System, Inc.
8-1-1
POCS Serial No. 20200242157

OWNER/APPLICANT:
CONTINENTAL DEVELOPMENT, INC.
395 E. WATERFRONT DR.
HOMESTEAD, PA 15210



Date	Description	No.
03/21/22	Mixed Use Bldg Sanitary Edits	2
04/20/21	Parking Garage Sanitary Edits	1
Date	Description	No.

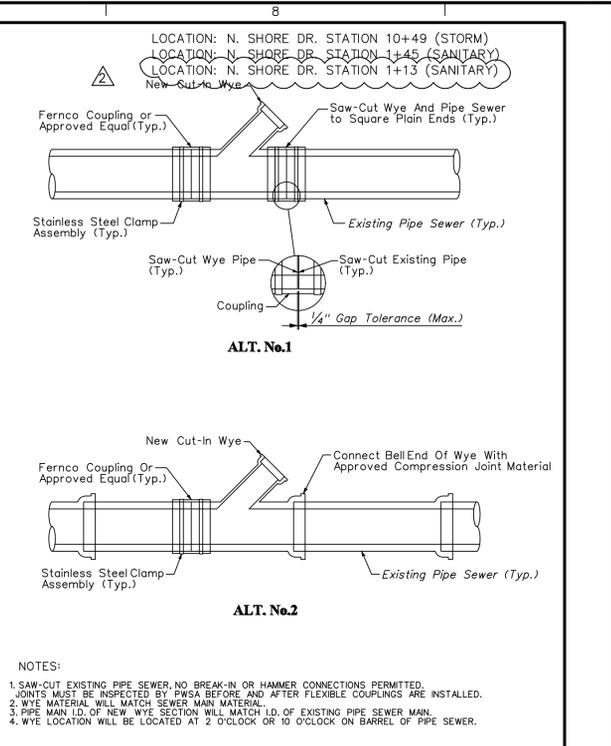
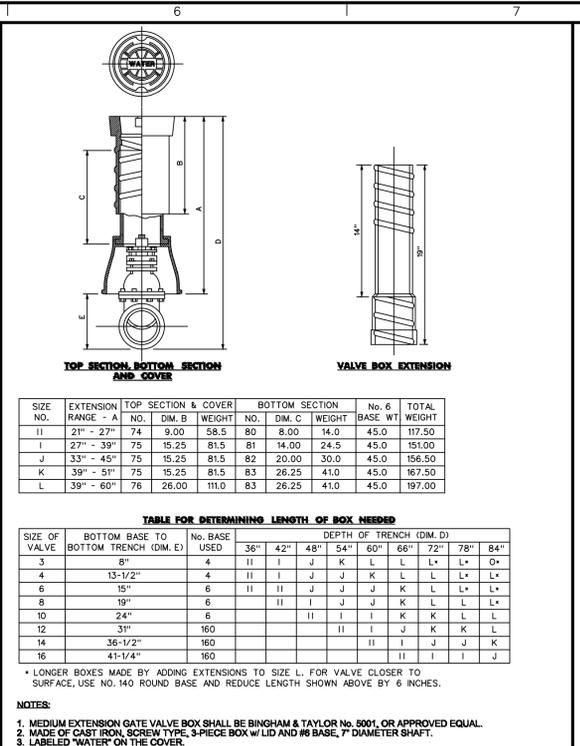
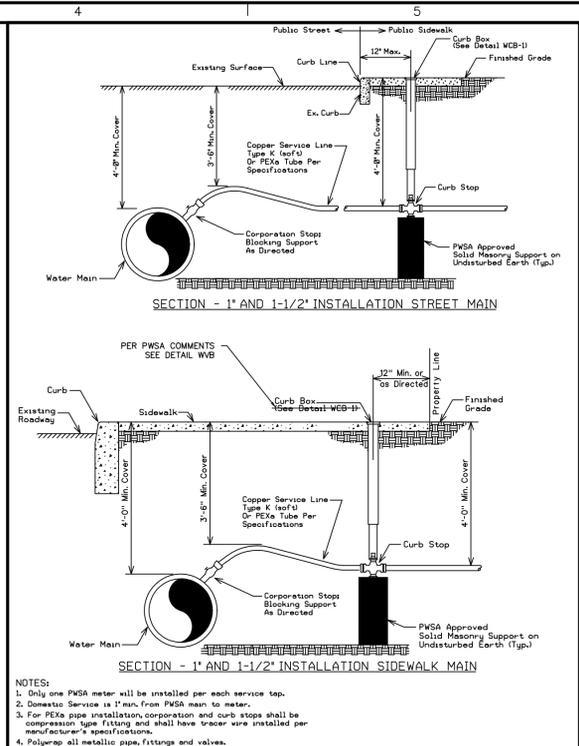
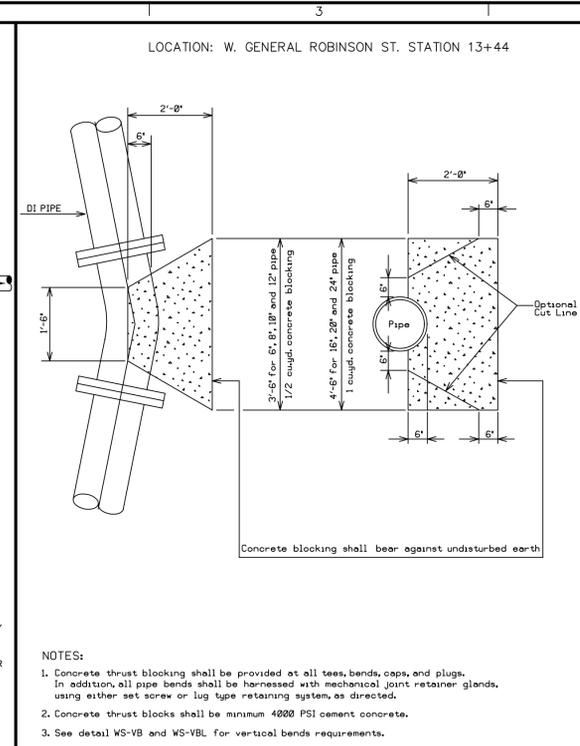
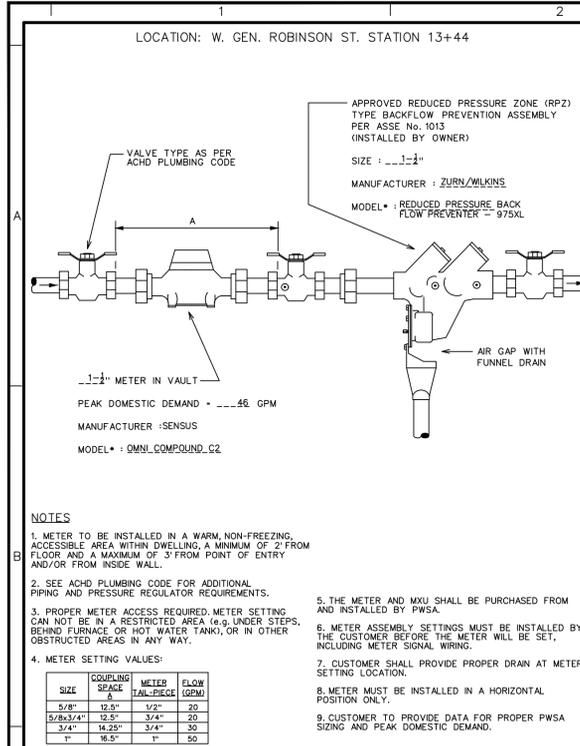
SIGNATURE _____ DATE SIGNED _____
SCOTT ROWLAND
PROFESSIONAL ENGINEER PA Lic. No. PE080563

LANGAN
Langan Engineering and Environmental Services, Inc.
2400 Ansys Drive, Suite 403
Canonsburg, PA 15317
T: 724.514.5100 F: 724.514.5101 www.langan.com

Project
**NORTH SHORE LOT 10
PARKING GARAGE**
218 N SHORE DRIVE
CITY OF PITTSBURGH
ALLEGHENY COUNTY PENNSYLVANIA

Drawing Title
**SEWER TAP-IN &
TERMINATION PLAN**

Project No.	250101501	Drawing No.	G1102
Date	05/11/2020	Drawn By	NRK
Checked By	SML	Sheet	3 of 4



REVISIONS

1. MSR 4-23-01	5. LRC 1-31-14
2. DWP 9-15-05	
3. MAC 8-13-07	
4. MAC 4-16-09	

Approved by: Pittsburgh Water & Sewer Authority

Scale: N.T.S.

Supplemental Detail Drawing: **WS-5CDI**

REVISIONS

1. MSR 4-23-01	5. LRC 1-31-14
2. MAC 8-13-07	
3. LRC 1-31-14	

Approved by: Pittsburgh Water & Sewer Authority

Scale: N.T.S.

Supplemental Detail Drawing: **WS-3**

REVISIONS

1. MSR 4-23-01	5. LRC 1-31-14
2. MAC 9-1-05	
3. MAC 8-15-07	
4. MAC 1-2-08	

Approved by: Pittsburgh Water & Sewer Authority

Scale: N.T.S.

Supplemental Detail Drawing: **WS-5NT**

REVISIONS

1. LRC 1-31-14	
----------------	--

Approved by: Pittsburgh Water & Sewer Authority

Scale: N.T.S.

Supplemental Detail Drawing: **WVB**

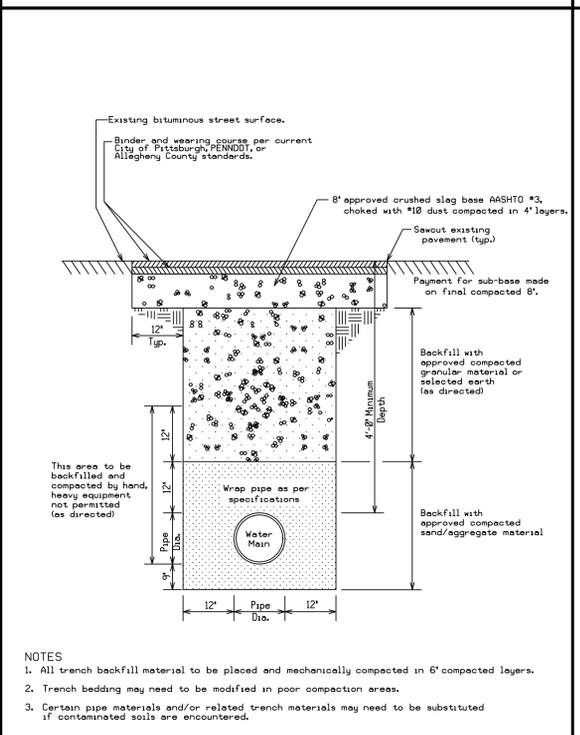
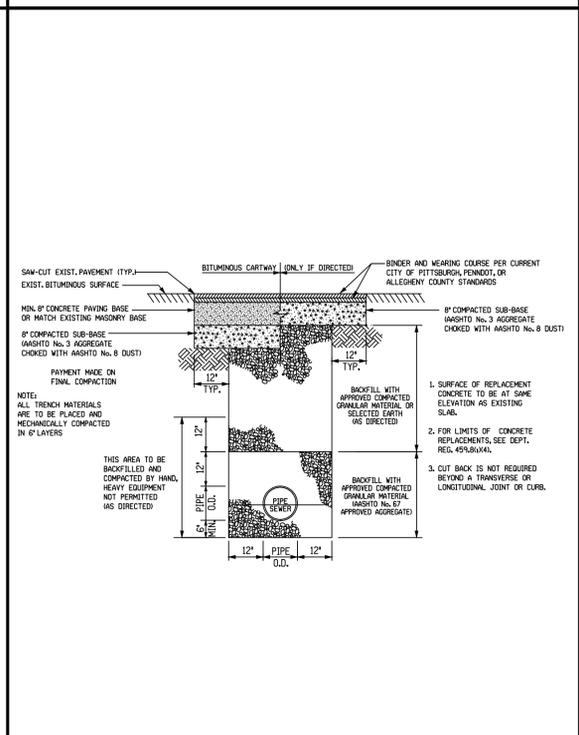
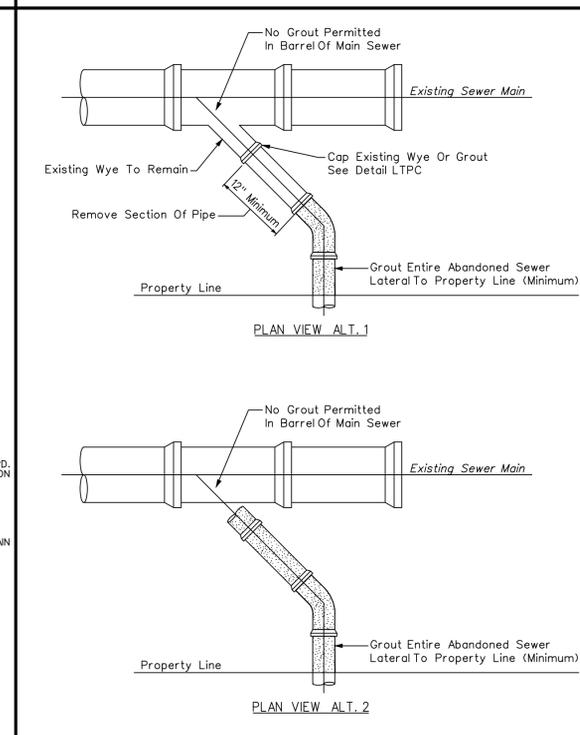
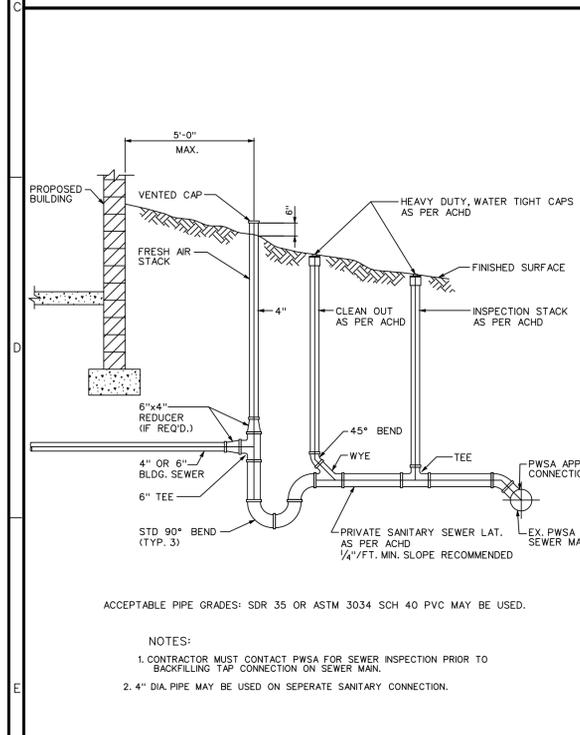
REVISIONS

1. JAK 8-14-02	
2. MAC 1-5-04	
3. LRC 1-31-14	

Approved by: Pittsburgh Water & Sewer Authority

Scale: N.T.S.

Supplemental Detail Drawing: **ST-7**



REVISIONS

1. MSR 4-18-01	
2. LRC 1-31-14	

Approved by: Pittsburgh Water & Sewer Authority

Scale: N.T.S.

Supplemental Detail Drawing: **SLD-1**

REVISIONS

1. MAC 3-13-03	
2. LRC 1-31-14	

Approved by: Pittsburgh Water & Sewer Authority

Scale: N.T.S.

Supplemental Detail Drawing: **SLT1**

REVISIONS

1. MAC 3-1-04	
2. LRC 1-31-14	

Approved by: Pittsburgh Water & Sewer Authority

Scale: N.T.S.

Supplemental Detail Drawing: **SA-1B**

REVISIONS

1. MSR 4-23-01	
MAC 8-13-07	
LRC 1-31-14	

Approved by: Pittsburgh Water & Sewer Authority

Scale: N.T.S.

Supplemental Detail Drawing: **WS-2**

SLD-1 - HOUSE SEWER LATERAL

SLT1 - TERMINATION SEWER LATERAL

SA-1B - SEWER LINE TRENCH

WS-2 - WATER LINE TRENCH AND BITUMINOUS REPAVING

APPENDIX G

Cultural Resource Notice

**SECTION G
SEWAGE FACILITIES PLANNING
MODULE COMPONENT 3**

**Re: Cultural Resources Notice (CRN)
North Shore Lot 10.2
City of Pittsburgh, Allegheny County, Pennsylvania
Langan Project No.: 250101502**

As the project area is less than 10 acres and does not contain any existing historical buildings, a Project Review Form – to initiate consultation for request for review by the State Historic and preservation Office (SHPO), Environmental Review Division – will not be submitted to the Pennsylvania Historical & Museum Commission (PHMC).

APPENDIX H

PNDI

1. PROJECT INFORMATION

Project Name: **North Shore Lot 10**

Date of Review: **3/11/2020 03:10:46 PM**

Project Category: **Development, New commercial/industrial development (store, gas station, factory)**

Project Area: **4.55 acres**

County(s): **Allegheny**

Township/Municipality(s): **PITTSBURGH**

ZIP Code: **15212**

Quadrangle Name(s): **PITTSBURGH WEST**

Watersheds HUC 8: **Lower Allegheny**

Watersheds HUC 12: **Allegheny River-Ohio River**

Decimal Degrees: **40.447136, -80.008278**

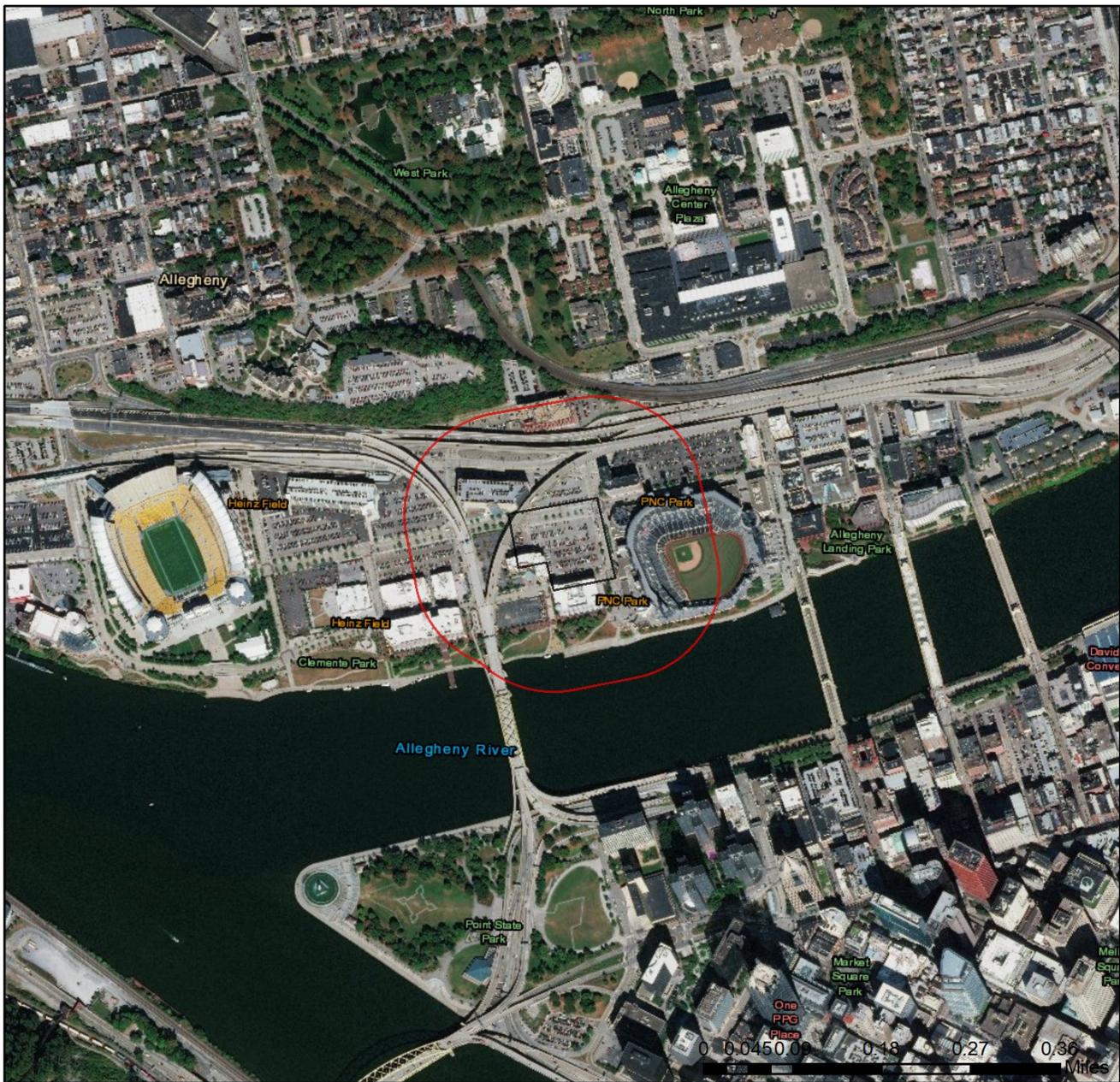
Degrees Minutes Seconds: **40° 26' 49.6904" N, 80° 0' 29.8022" W**

2. SEARCH RESULTS

Agency	Results	Response
PA Game Commission	No Known Impact	No Further Review Required
PA Department of Conservation and Natural Resources	No Known Impact	No Further Review Required
PA Fish and Boat Commission	Potential Impact	FURTHER REVIEW IS REQUIRED, See Agency Response
U.S. Fish and Wildlife Service	Potential Impact	FURTHER REVIEW IS REQUIRED, See Agency Response

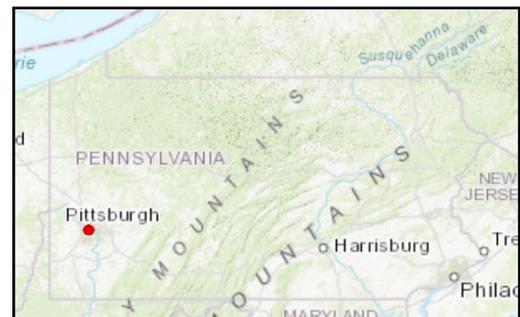
As summarized above, Pennsylvania Natural Diversity Inventory (PNDI) records indicate there may be potential impacts to threatened and endangered and/or special concern species and resources within the project area. If the response above indicates "No Further Review Required" no additional communication with the respective agency is required. If the response is "Further Review Required" or "See Agency Response," refer to the appropriate agency comments below. Please see the DEP Information Section of this receipt if a PA Department of Environmental Protection Permit is required.

North Shore Lot 10

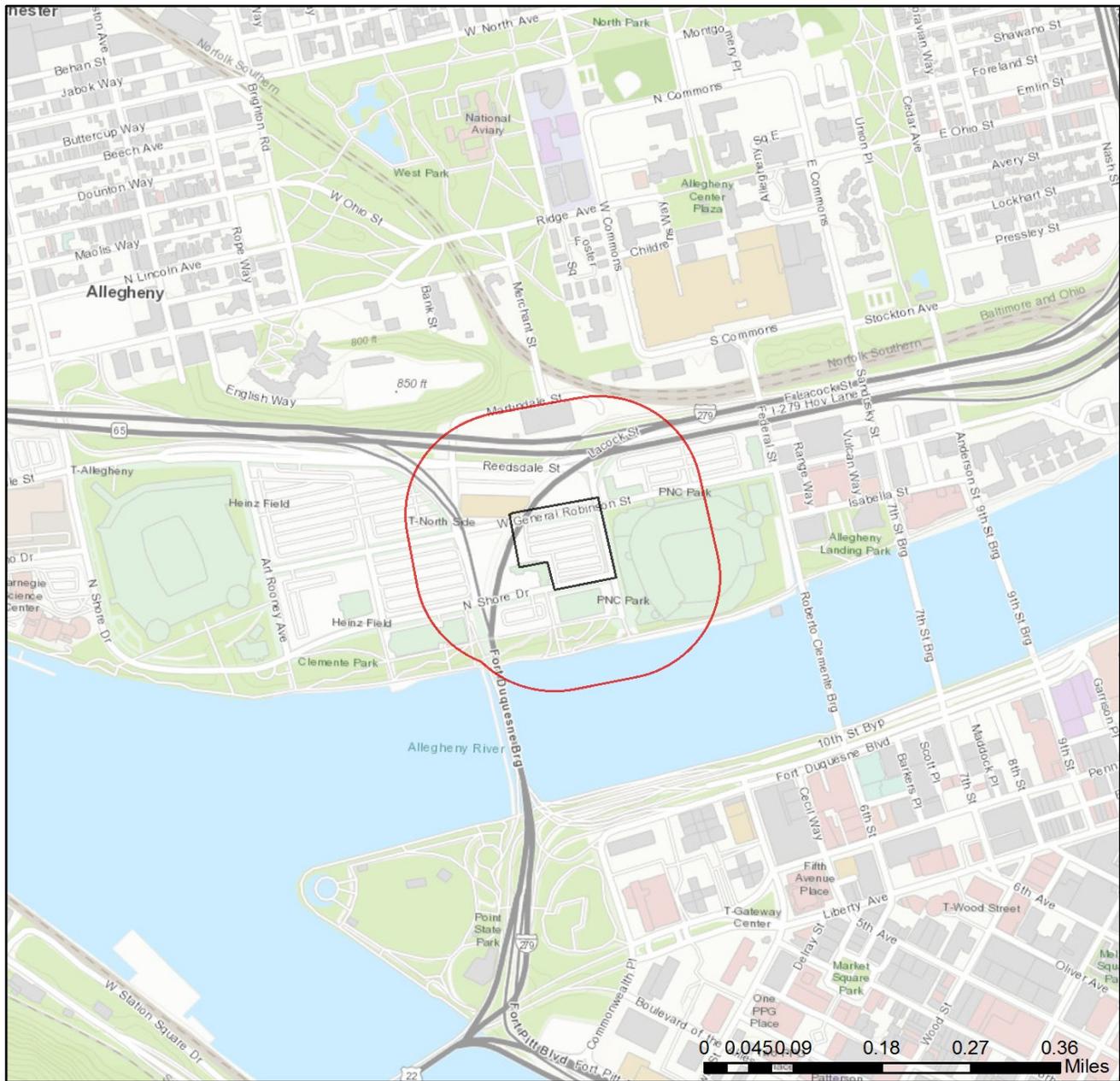


- Project Boundary
- Buffered Project Boundary

Service Layer Credits: Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community
 Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community

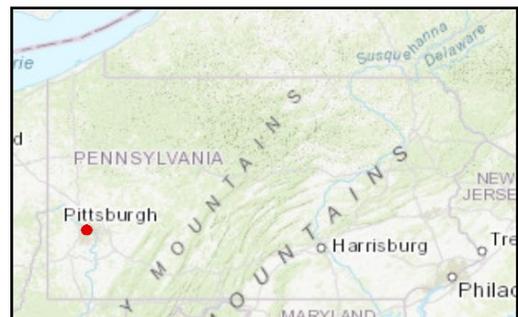


North Shore Lot 10



- Project Boundary
- Buffered Project Boundary

Service Layer Credits: Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community
 Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS,



RESPONSE TO QUESTION(S) ASKED

Q1: The proposed project is in the range of the Indiana bat. Describe how the project will affect bat habitat (forests, woodlots and trees) and indicate what measures will be taken in consideration of this. Round acreages up to the nearest acre (e.g., 0.2 acres = 1 acre).

Your answer is: No forests, woodlots or trees will be affected by the project.

Q2: Is tree removal, tree cutting or forest clearing of 40 acres or more necessary to implement all aspects of this project?

Your answer is: No

3. AGENCY COMMENTS

Regardless of whether a DEP permit is necessary for this proposed project, any potential impacts to threatened and endangered species and/or special concern species and resources must be resolved with the appropriate jurisdictional agency. In some cases, a permit or authorization from the jurisdictional agency may be needed if adverse impacts to these species and habitats cannot be avoided.

These agency determinations and responses are **valid for two years** (from the date of the review), and are based on the project information that was provided, including the exact project location; the project type, description, and features; and any responses to questions that were generated during this search. If any of the following change: 1) project location, 2) project size or configuration, 3) project type, or 4) responses to the questions that were asked during the online review, the results of this review are not valid, and the review must be searched again via the PNDI Environmental Review Tool and resubmitted to the jurisdictional agencies. The PNDI tool is a primary screening tool, and a desktop review may reveal more or fewer impacts than what is listed on this PNDI receipt. The jurisdictional agencies **strongly advise against** conducting surveys for the species listed on the receipt prior to consultation with the agencies.

PA Game Commission

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

PA Department of Conservation and Natural Resources

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

PA Fish and Boat Commission

RESPONSE:

Further review of this project is necessary to resolve the potential impact(s). Please send project information to this agency for review (see WHAT TO SEND).

PFBC Species: (Note: The Pennsylvania Conservation Explorer tool is a primary screening tool, and a desktop review may reveal more or fewer species than what is listed below.)

Scientific Name	Common Name	Current Status
Leptodea fragilis	Fragile Papershell	Special Concern Species*
Quadrula quadrula	Mapleleaf	Special Concern Species*
Sensitive Species**		Endangered

U.S. Fish and Wildlife Service

RESPONSE:

Further review of this project is necessary to resolve the potential impact(s). Please send project information to this agency for review (see WHAT TO SEND).

* Special Concern Species or Resource - Plant or animal species classified as rare, tentatively undetermined or candidate as well as other taxa of conservation concern, significant natural communities, special concern populations (plants or animals) and unique geologic features.

** Sensitive Species - Species identified by the jurisdictional agency as collectible, having economic value, or being susceptible to decline as a result of visitation.

WHAT TO SEND TO JURISDICTIONAL AGENCIES

If project information was requested by one or more of the agencies above, upload* or email* the following information to the agency(s). Instructions for uploading project materials can be found [here](#). This option provides the applicant with the convenience of sending project materials to a single location accessible to all three state agencies. Alternatively, applicants may email or mail their project materials (see AGENCY CONTACT INFORMATION).

***Note:** U.S.Fish and Wildlife Service requires applicants to mail project materials to the USFWS PA field office (see AGENCY CONTACT INFORMATION). USFWS will not accept project materials submitted electronically (by upload or email).

Check-list of Minimum Materials to be submitted:

___ Project narrative with a description of the overall project, the work to be performed, current physical characteristics of the site and acreage to be impacted.

___ A map with the project boundary and/or a basic site plan (particularly showing the relationship of the project to the physical features such as wetlands, streams, ponds, rock outcrops, etc.)

In addition to the materials listed above, USFWS REQUIRES the following

___ **SIGNED** copy of a Final Project Environmental Review Receipt

The inclusion of the following information may expedite the review process.

___ Color photos keyed to the basic site plan (i.e. showing on the site plan where and in what direction each photo was taken and the date of the photos)

___ Information about the presence and location of wetlands in the project area, and how this was determined (e.g., by a qualified wetlands biologist), if wetlands are present in the project area, provide project plans showing the location of all project features, as well as wetlands and streams.

4. DEP INFORMATION

The Pa Department of Environmental Protection (DEP) requires that a signed copy of this receipt, along with any required documentation from jurisdictional agencies concerning resolution of potential impacts, be submitted with applications for permits requiring PNDI review. Two review options are available to permit applicants for handling PNDI coordination in conjunction with DEP's permit review process involving either T&E Species or species of special concern. Under sequential review, the permit applicant performs a PNDI screening and completes all coordination with the appropriate jurisdictional agencies prior to submitting the permit application. The applicant will include with its application, both a PNDI receipt and/or a clearance letter from the jurisdictional agency if the PNDI Receipt shows a Potential Impact to a species or the applicant chooses to obtain letters directly from the jurisdictional agencies. Under concurrent review, DEP, where feasible, will allow technical review of the permit to occur concurrently with the T&E species consultation with the jurisdictional agency. The applicant must still supply a copy of the PNDI Receipt with its permit application. The PNDI Receipt should also be submitted to the appropriate agency according to directions on the PNDI Receipt. The applicant and the jurisdictional agency will work together to resolve the potential impact(s). See the DEP PNDI policy at <https://conservationexplorer.dcnr.pa.gov/content/resources>.

5. ADDITIONAL INFORMATION

The PNDI environmental review website is a preliminary screening tool. There are often delays in updating species status classifications. Because the proposed status represents the best available information regarding the conservation status of the species, state jurisdictional agency staff give the proposed statuses at least the same consideration as the current legal status. If surveys or further information reveal that a threatened and endangered and/or special concern species and resources exist in your project area, contact the appropriate jurisdictional agency/agencies immediately to identify and resolve any impacts.

For a list of species known to occur in the county where your project is located, please see the species lists by county found on the PA Natural Heritage Program (PNHP) home page (www.naturalheritage.state.pa.us). Also note that the PNDI Environmental Review Tool only contains information about species occurrences that have actually been reported to the PNHP.

6. AGENCY CONTACT INFORMATION

PA Department of Conservation and Natural Resources

Bureau of Forestry, Ecological Services Section
400 Market Street, PO Box 8552
Harrisburg, PA 17105-8552
Email: RA-HeritageReview@pa.gov

U.S. Fish and Wildlife Service

Pennsylvania Field Office
Endangered Species Section
110 Radnor Rd; Suite 101
State College, PA 16801
NO Faxes Please

PA Fish and Boat Commission

Division of Environmental Services
595 E. Rolling Ridge Dr., Bellefonte, PA 16823
Email: RA-FBPACENOTIFY@pa.gov

PA Game Commission

Bureau of Wildlife Habitat Management
Division of Environmental Planning and Habitat Protection
2001 Elmerton Avenue, Harrisburg, PA 17110-9797
Email: RA-PGC_PNDI@pa.gov
NO Faxes Please

7. PROJECT CONTACT INFORMATION

Name: _____
Company/Business Name: _____
Address: _____
City, State, Zip: _____
Phone: (_____) _____ Fax: (_____) _____
Email: _____

8. CERTIFICATION

I certify that ALL of the project information contained in this receipt (including project location, project size/configuration, project type, answers to questions) is true, accurate and complete. In addition, if the project type, location, size or configuration changes, or if the answers to any questions that were asked during this online review change, I agree to re-do the online environmental review.

applicant/project proponent signature

date



Pennsylvania Fish & Boat Commission

Division of Environmental Services
Natural Diversity Section
595 E Rolling Ridge Dr.
Bellefonte, PA 16823
814-359-5237

June 30, 2020

IN REPLY REFER TO
SIR# 52866

Langan
Nathaniel King
2400 Ansys Drive
Canonsburg, Pennsylvania 15317

RE: Species Impact Review (SIR) – Rare, Candidate, Threatened and Endangered Species
PNDI Search No. 699293_1
North Shore Lot 10
ALLEGHENY County: Pittsburgh City

Dear Nathaniel King :

This responds to your inquiry about a Pennsylvania Natural Diversity Inventory (PNDI) Internet Database search “potential conflict” or a threatened and endangered species impact review. These projects are screened for potential conflicts with rare, candidate, threatened or endangered species under Pennsylvania Fish & Boat Commission jurisdiction (fish, reptiles, amphibians, aquatic invertebrates only) using the Pennsylvania Natural Diversity Inventory (PNDI) database and our own files. These species of special concern are listed under the Endangered Species Act of 1973, the Wild Resource Conservation Act, and the Pennsylvania Fish & Boat Code (Chapter 75), or the Wildlife Code.

An element occurrence of a rare, candidate, threatened, or endangered species under our jurisdiction is known from the vicinity of the proposed project. However, given the nature of the proposed project, the immediate location, or the current status of the nearby element occurrence(s), no adverse impacts are expected to the species of special concern.

This response represents the most up-to-date summary of the PNDI data and our files and is valid for two (2) years from the date of this letter. An absence of recorded species information does not necessarily imply species absence. Our data files and the PNDI system are continuously being updated with species occurrence information. Should project plans change or additional information on listed or proposed species become available, this determination may be reconsidered, and consultation shall be re-initiated.

Our Mission:

www.fish.state.pa.us

To protect, conserve and enhance the Commonwealth's aquatic resources and provide fishing and boating opportunities.

If you have any questions regarding this review, please contact Nevin Welte at 412-586-2334 and refer to the SIR # 52866. Thank you for your cooperation and attention to this important matter of species conservation and habitat protection.

Sincerely,

A handwritten signature in black ink that reads "Christopher A. Urban". The signature is written in a cursive style with a large, prominent initial "C".

Christopher A. Urban, Chief
Natural Diversity Section

CAU/NTW/dn

PNDI # _____ USFWS Project # _____

U.S. FISH AND WILDLIFE SERVICE
110 Radnor Road, Suite 101, State College, PA 16801

This responds to your inquiry about a PNDI Internet Database search that resulted in a potential conflict with a federally listed, proposed or candidate species.

PROJECT LOCATION INFORMATION

County: _____
Township: _____

MISC INFORMATION

Date received by FWS: _____
 ACTIVE ARCHIVE

USFWS COMMENTS

EMAILED MAILED

Email: _____

To: _____

Affiliation: _____

SPECIFIC PROJECT: _____

FISH AND WILDLIFE SERVICE COMMENT(s):

_____ ***NOT LIKELY TO ADVERSELY AFFECT***

The federally listed _____ occurs or may occur in or near the project area. However, based on our review of the information provided, including the project description and location (_____),

no adverse effects to this species are likely to occur. If there is any change in the location, scale, scope, layout or design of the project, further consultation or coordination with the Service will be necessary.

The above determination is valid for two years from the date of this letter. In addition, this response relates only to federally listed, proposed, and candidate species under our jurisdiction, based on an office review of the proposed project's location and anticipated impacts. No field inspection of the project area has been conducted by this office. Consequently, comments on this form are not to be construed as addressing other Service concerns under the Fish and Wildlife Coordination Act or other authorities. *Please reference the above PNDI # and USFWS Project # in any future correspondence regarding this project.*

This review was conducted by the biologist listed below. He/she can be contacted at 814-206-(Extension).

Melinda Turner (x7449)
Richard Novak (x7477)

Nicole Ranalli (x7455)
Alison Whitlock (x7461)

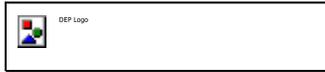
Jennifer Kagel (x7451)
Pamela Shellenberger (x7459)

SIGNATURE: _____

Supervisor, Pennsylvania Field Office

APPENDIX I

Component 4A



COMMONWEALTH OF PENNSYLVANIA
 DEPARTMENT OF ENVIRONMENTAL PROTECTION
 BUREAU OF CLEAN WATER

DEP Code #:

**SEWAGE FACILITIES PLANNING MODULE
 COMPONENT 4A - MUNICIPAL PLANNING AGENCY REVIEW**

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning module package and one copy of this *Planning Agency Review Component* should be sent to the local municipal planning agency for their comments.

SECTION A. PROJECT NAME (See Section A of instructions)

Project Name
 North Shore Lot 10.2

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by municipal planning agency 4/12/2022
2. Date review completed by agency 4/18/2022

SECTION C. AGENCY REVIEW (See Section C of instructions)

Yes	No	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	1. Is there a municipal comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101, <i>et seq.</i>)?
<input type="checkbox"/>	<input type="checkbox"/>	2. Is this proposal consistent with the comprehensive plan for land use? If no, describe the inconsistencies <u>N/A</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	3. Is this proposal consistent with the use, development, and protection of water resources? If no, describe the inconsistencies _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	4. Is this proposal consistent with municipal land use planning relative to Prime Agricultural Land Preservation?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	5. Does this project propose encroachments, obstructions, or dams that will affect wetlands? If yes, describe impacts _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	6. Will any known historical or archaeological resources be impacted by this project? If yes, describe impacts _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7. Will any known endangered or threatened species of plant or animal be impacted by this project? If yes, describe impacts _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	8. Is there a municipal zoning ordinance?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	9. Is this proposal consistent with the ordinance? If no, describe the inconsistencies <u>in review</u>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	10. Does the proposal require a change or variance to an existing comprehensive plan or zoning ordinance?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	11. Have all applicable zoning approvals been obtained?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	12. Is there a municipal subdivision and land development ordinance?

SECTION C. AGENCY REVIEW (continued)

Yes	No	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	13. Is this proposal consistent with the ordinance? If no, describe the inconsistencies <u>under review</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	14. Is this plan consistent with the municipal Official Sewage Facilities Plan? If no, describe the inconsistencies _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	15. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality? If yes, describe _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	16. Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision?
<input type="checkbox"/>	<input type="checkbox"/>	If yes, is the proposed waiver consistent with applicable ordinances? If no, describe the inconsistencies _____
17. Name, title and signature of planning agency staff member completing this section: Name: <u>Kyla Prendergast, AICP</u> Title: <u>Senior Environmental Planner</u> Signature: <u><i>Kyla Prendergast</i></u> Date: <u>4/18/2022</u> Name of Municipal Planning Agency: <u>City of Pittsburgh Department of City Planning</u> Address <u>200 Ross Street, 4th Floor, Pittsburgh, PA 15219</u> Telephone Number: <u>412-255-2516</u>		

SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)

This component does not limit municipal planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The planning agency must complete this component within 60 days.

This component and any additional comments are to be returned to the applicant.

APPENDIX J

Component 4C

**SEWAGE FACILITIES PLANNING MODULE
 COMPONENT 4C - COUNTY OR JOINT HEALTH DEPARTMENT REVIEW**

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning module package and one copy of this *Planning Agency Review Component* should be sent to the county or joint county health department for their comments.

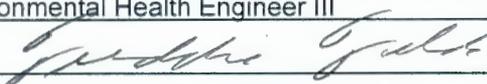
SECTION A. PROJECT NAME (See Section A of instructions)

Project Name
 North Shore Lot 10.2

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by county or joint county health department April 26, 2022
 Agency name Allegheny County Health Department (ACHD)
2. Date review completed by agency April 26, 2022

SECTION C. AGENCY REVIEW (See Section C of instructions)

- | | | |
|-------------------------------------|-------------------------------------|---|
| Yes | No | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 1. Is the proposed plan consistent with the municipality's Official Sewage Facilities Plan?
If no, what are the inconsistencies? _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 2. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality?
If yes, describe _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 3. Is there any known groundwater degradation in the area of this proposal?
If yes, describe _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 4. The county or joint county health department recommendation concerning this proposed plan is as follows: <u>ACHD recommends approval. See attached letter.</u> |
| | | 5. Name, title and signature of person completing this section:
Name: <u>Freddie Fields</u>
Title: <u>Environmental Health Engineer III</u>
Signature: <u></u>
Date: <u>April 26, 2022</u>
Name of County Health Department: <u>ACHD</u>
Address: <u>3901 Penn Avenue, Building #5, Pittsburgh, PA 15224-1318</u>
Telephone Number: <u>412-578-8046</u> |

SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)

This component does not limit county planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The county planning agency must complete this component within 60 days.
 This component and any additional comments are to be returned to the applicant.

APPENDIX K

Previously Approved Sewage Facilities Planning Module



Pennsylvania Department of Environmental Protection

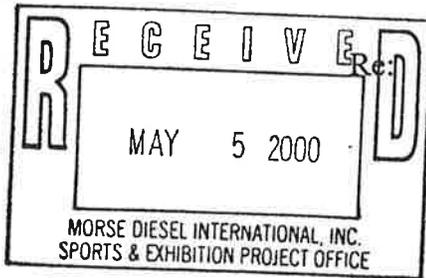
400 Waterfront Drive
Pittsburgh, PA 15222-4745
April 19, 2000

Southwest Regional Office

412-442-4000
Fax 412-442-4328

CC: LAW/SFW
SCAN/PF
JAS
S. KRAMER
KBT
CAD
C. MEYERS - M.D.

Don Waldorf
The Pittsburgh Water and Sewer Authority
441 Smithfield Street
Second Floor
Pittsburgh, PA 15222



Re: Planning Module for New Land Development
North Short Infrastructure Project
DEP Code No. 02001-99-012
City of Pittsburgh
Allegheny County

Dear Mr. Waldorf:

The Department of Environmental Protection (Department) has reviewed the proposed Official Plan revision submitted for the North Short Infrastructure Project. The proposed development is located in the City of Pittsburgh.

The plan revision is approved with the following conditions:

The approved project will require a Clean Streams Law (CSL) permit for the construction and operation of the proposed sewerage facilities. Approval of this planning module is only approval of the preliminary concept of the proposed project and does not assure that a permit application will be acted upon favorably by the Department. Issuance of a CSL permit will be based upon a technical evaluation of the permit application and supporting information. Starting construction prior to obtaining a permit is a violation of The Clean Streams Law

Instructions and applications may be obtained from the Department's Southwest Regional Office, Water Management Program, at the letterhead address.

Please note the Department has a fee schedule for PMC reviews. This fee schedule applies to most projects that require planning. A separate letter has been sent to the developer of this project assessing the appropriate fee for review of the PMC.

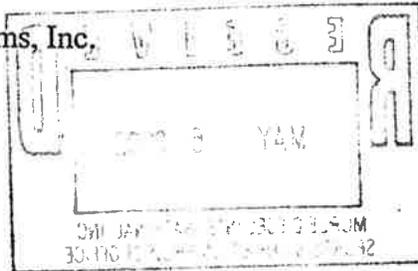
April 19, 2000

If you have any questions concerning this matter, please call me at 412-442-4047.

Sincerely,

Thomas E. Flanagan
Sewage Facilities Planning Specialist
Water Management

- cc: Allegheny County Health Department
- ALCOSAN
- Linda M. Johnson Wasler, City of Pittsburgh
- Steven Kramer, Michael Baker, Jr., Inc.
- Bruce Chambers, Advanced Technology Systems, Inc.



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TABLE IV

ITEM #	Block Number	Total Area (SQ FT)	Number of Units	Population	Factor for Commercial Appendix B	Per Capital Flow GDP	Unit for Total Population	EDU	Total GPD	Total Flow cfs	Peak Fac = 2.8 Peak Flow cfs		
	Sewer @ W. General Robinson St. Ext.												
1	Entertainment Development	216	100000					51.428571	18000	0.027850122	0.0698253		
2	Office	216	150000	500	1		25	35.714286	12500	0.019340362	0.0483509		
3	Parking Garage	216	200000					17.142857	6000	0.009283374	0.0232084		
4	Support Retail	216	75000					10.714286	3750	0.005802109	0.0145053		
								TOTAL FLOWS FROM BLOCK 216		115	40250	0.062275987	0.1556899
5	Amphitheater	215		6000	1		50	857.14286	300000	0.4641687	1.1604217		
6	Retail	215	75000					10.714286	3750	0.005802109	0.0145053		
7	Office	215	50000	167	1		25	11.928571	4175	0.006459681	0.0161492		
8	Housing	215		300	3		100	257.14286	90000	0.13925061	0.3481265		
								TOTAL FLOWS FROM BLOCK 215		1136.9286	397925	0.6156811	1.5392027
	TOTAL FLOWS FROM BLOCK 216 & 215								1251.9286	438175	0.677957067	1.6948927	
	Sewer @ West General Robinson												
9	Retail	201	100000					14.285714	5000	0.007736145	0.0193404		
10	Parking Garage	201	200000					17.142857	6000	0.009283374	0.0232084		
								TOTAL FLOWS FROM BLOCK 201		31.428571	11000	0.017019519	0.0425488
11	Office	202	50000	167	1		25	11.928571	4175	0.006459681	0.0161492		
12	North Shore Hotel	202		300	2		100	171.42857	60000	0.09283374	0.2320843		
13	Hotel Parking	202	100000					8.5714286	3000	0.004641687	0.0116042		
14	Retail	202	85000					12.142857	4250	0.006575723	0.0164393		
15	Housing	202		300	3		100	257.14286	90000	0.13925061	0.3481265		
								TOTAL FLOWS FROM BLOCK 202		461.21429	161425	0.249761441	0.6244036
	TOTAL FLOWS FROM BLOCK 201 & 202								492.64286	172425	0.26678098	0.6669524	
	Sewer Receiving Flows From General Robinson Street												
	TOTAL								1744.5714	610600	0.944738027	2.3618451	
	Potential Development North of Reedsdale												
16	Clark Building	211	210600	702	1		25	50.142857	17550	0.027153869	0.0678847		
17	New building	211	210600	702	1		25	50.142857	17550	0.027153869	0.0678847		
17	New building	211	210600	702	1		25	50.142857	17550	0.027153869	0.0678847		
	TOTAL FLOWS FROM BLOCK 211								150.42857	52650	0.081461607	0.203854	
	Sewer Receiving Flows From West General Robinson Street (New)												
	TOTAL PROJECT								1895	663250	1.026199834	2.5654991	

FLOW CALCULATION CHART

APPENDIX L

Completeness Checklist

Checklist



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF POINT AND NON-POINT SOURCE MANAGEMENT

Completeness Checklist

The individual completing the component should use the checklist below to assure that all items are included in the module package. The municipality should confirm that the required items have been included within 10 days of receipt, and if complete, sign and date the checklist.

Sewage Collection and Treatment Facilities

- Name and Address of land development project.
- U.S.G.S. 7.5 minute topographic map with development area plotted.
- Project Narrative.
- Letter from water company (if applicable).
- Alternative Analysis Narrative.
- Details of chosen financial assurance method.
- Proof of Public Notification (if applicable).
- Name of existing collection and conveyance facilities.
- Name and NPDES number of existing treatment facility to serve proposed development.
- Plot plan of project with required information.
- Total sewage flows to facilities table.
- Signature of existing collection and/or conveyance Chapter 94 report preparer.
- Signature of existing treatment facility Chapter 94 report preparer.
- Letter granting allocation to project (if applicable).
- Signature acknowledging False Swearing Statement.
- Completed Component 4 (Planning Agency Review) for each existing planning agency and health department.
- Information on selected treatment and disposal option.
- Permeability information (if applicable).
- Preliminary hydrogeology (if applicable).
- Detailed hydrogeology (if applicable).

Municipal Action

- Component 3 (Sewage Collection and Treatment Facilities).
- Component 4 (Planning Agency Comments and Responses).
- Proof of Public Notification.
- Long-term operation and maintenance option selection.
- Comments, and responses to comments generated by public notification.
- Transmittal Letter

Signature of Municipal Official

Date submittal determined complete