

**PROJECT NARRATIVE – PWSA W.A.S.U. APPLICATION  
ROSE STREET TOWNHOMES  
2117-2127 ROSE STREET  
5TH WARD, CITY OF PITTSBURGH  
ALLEGHENY COUNTY, PENNSYLVANIA**

**Prepared for:  
ROSE STREET VENTURES  
186 42ND STREET, SUITE 40227  
PITTSBURGH, PA 15201**

***Prepared by:*  
KU RESOURCES, INC.  
22 SOUTH LINDEN STREET  
DUQUESNE, PENNSYLVANIA 15110**

**JANUARY 2023**

## DESCRIPTION OF PROPOSED DEVELOPMENT

Rose Street Ventures is developing a lot at parcel numbers 10-P-186 through 10-P-190 located in the 5<sup>th</sup> Ward of the City of Pittsburgh, Allegheny County, Pennsylvania. The proposed development will facilitate construction of two new buildings, each with 3-stories and three units in each building for a total of six new townhomes.

Site is currently a vacant lot. According to the Federal Emergency Management Agency, the site is not within a floodway. The existing utilities include an 8-inch water line along Rose Street and 15" combination line in an unfinished alley between Rose Street and Hemans Street.

## EXISTING SANITARY FLOWS

The existing site contains one single-family home.

### Total Sanitary: 400 GPD

Single Family Dwelling:

1 units @ 400 GPD each = 400 GPD

TOTAL = 400 GPD

400 GPD / 400 GPD/EDU = 1 EDUs

### Total Water: 400 GPD

Single Family Dwelling:

1 units @ 400 GPD each = 400 GPD

TOTAL = 400 GPD

400 GPD / 400 GPD/EDU = 1 EDUs

## PROPOSED SANITARY DESIGN

PA DEP Code Chapter 73.17 indicates that for single-family residential townhomes the effluent sanitary flows are 400 gallons per day per unit.

Effluent will ultimately be sent to the Allegheny County Sanitation Authority (ALCOSAN). See the attached Pittsburgh Water and Sewer Authority (PWSA) Sewer System map with the route to ALCOSAN highlighted.

## PLANNING MODULE CALCULATIONS

Total Sanitary: 2,400 GPD

Townhomes:

6 units @ 400 GPD each = 2,400 GPD

TOTAL = 2,400 GPD

2,400 GPD / 400 GPD/EDU = 6 EDUs

Total Water: 2,400 GPD

Townhomes:

6 units @ 400 GPD each = 2,400 GPD

TOTAL = 2,400 GPD

2,400 GPD / 400 GPD/EDU = 6 EDUs

**Net Flow** = Proposed flow – Existing flow

**Net Flow** = 2,400 gpd – 400 gpd = **2,000 gpd = 5 EDUs**

## ALTERNATIVE SEWAGE FACILITIES ANALYSIS

1. Describe the chosen disposal method, its location, the daily flow proposed and if the method is an interim method (to be replaced by the ultimate method in 5 years or less), or is an ultimate method (to serve the development in the long term, for 5 years or more). Provide a description of how the chosen method will provide compliance with effluent limitations. Also provide the number of lots or EDU's that will be served.

ALCOSAN Treatment Facility. Credit for previous flows have not been considered, therefore there are 5 new EDUs.

2. Describe the types of land uses adjacent to the project area (Agricultural, Residential, Commercial etc.) and the type of sewage disposal method serving each of those land uses. Properties adjacent to the project must be described by indicating present land uses and zoning designations. Describe the sewage disposal methods being used for each of those adjacent land uses (onlot, municipal treatment, etc.) and if those methods are intended for interim or ultimate use.

The adjacent land uses are of residential. Sanitary flows from the existing location ultimately flow into the same interceptor.

3. Indicate if the sewage facilities described in (2) are in need of improvement due to noncompliance with effluent limitations, high rates of on-lot malfunction or overloaded public sewers. Is there a potential for a combined public/private project?

Adjacent infrastructure is new. No potential for combined public/private project.

4. Determine and indicate what sewage disposal method is proposed for the development area in the municipality's Official Sewage Facilities Plan (such as: on-lot disposal systems, public sewers, etc.).

Public sewers (ALCOSAN).

5. Describe any existing sewage management program(s) in the area, and/or any sewage management program(s) that this project would be required to participate in, and that program's requirements.

ALCOSAN's Wet Weather Plan (WWP).

6. Describe any potential alternative sewage disposal methods that are available for the project. Consider all reasonable possibilities for sewage disposal, such as a stream discharge or an alternate method of land disposal. The municipality, delegated local agency or DEP may also require consideration of particular types of sewage disposal methods in the analysis. The chosen method must assure that applicable water quality standards are attained.

None.

7. Describe why the proposed method was chosen over any of the other methods described in the alternatives analysis. Environmental, administrative, and financial concerns may be addressed. Also indicate how the chosen method will guarantee adequate sewage disposal, including compliance with applicable water quality standards and effluent limitations, for the development in both the short-term (up to 5 years) and long-term (beyond 5 years) by describing the adequacy of the proposed facilities (organic and hydraulic loading) and the ability of the facility to accept additional flows or loads.

NA

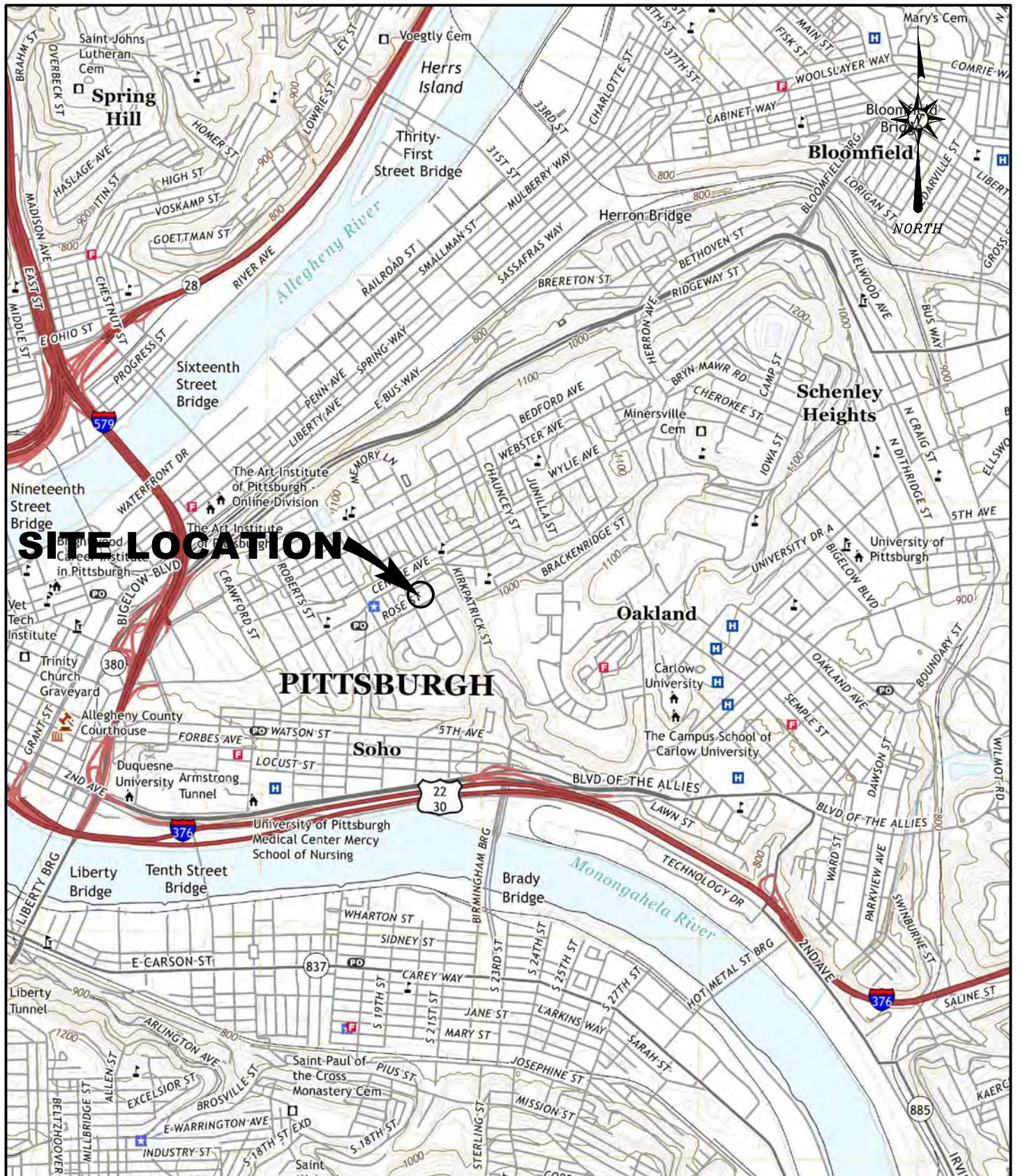
8. Indicate who will be the owner of the facility, and who will be responsible for operation and maintenance of the facility and ultimately compliance with applicable water quality standards and effluent limitations.

Public sewers (ALCOSAN).

9. Finally, the applicant may use the narrative to describe any special considerations or provide any additional information that supports the choice of disposal method. The alternatives analysis must be attached to the planning module package for review by the municipality and approving agency.

NA





REFERENCE:  
 USGS 7.5-MIN TOPOGRAPHIC  
 QUADRANGLE PITTSBURGH - EAST,  
 PENNSYLVANIA, DATED AUGUST 2019.

SCALE - FEET



FIGURE 1

SITE LOCATION MAP  
 ROSE STREET TOWNHOMES

CITY OF PITTSBURGH - 5TH WARD  
 ALLEGHENY COUNTY, PENNSYLVANIA

PREPARED FOR

ROSE STREET VENTURES  
 PITTSBURGH, PENNSYLVANIA

APPROVED	RLS 04/15/2021
CHECKED	RLS 04/15/2021
DRAWN	APB 04/15/2021
CAD FILE NO.	21212A001
PROJECT NO.	RSTV21212TH



**KU Resources, Inc.**  
 22 South Linden Street  
 Duquesne, PA 15110  
 412.469.9331  
 412.469.9336 fax  
[www.kuresources.com](http://www.kuresources.com)

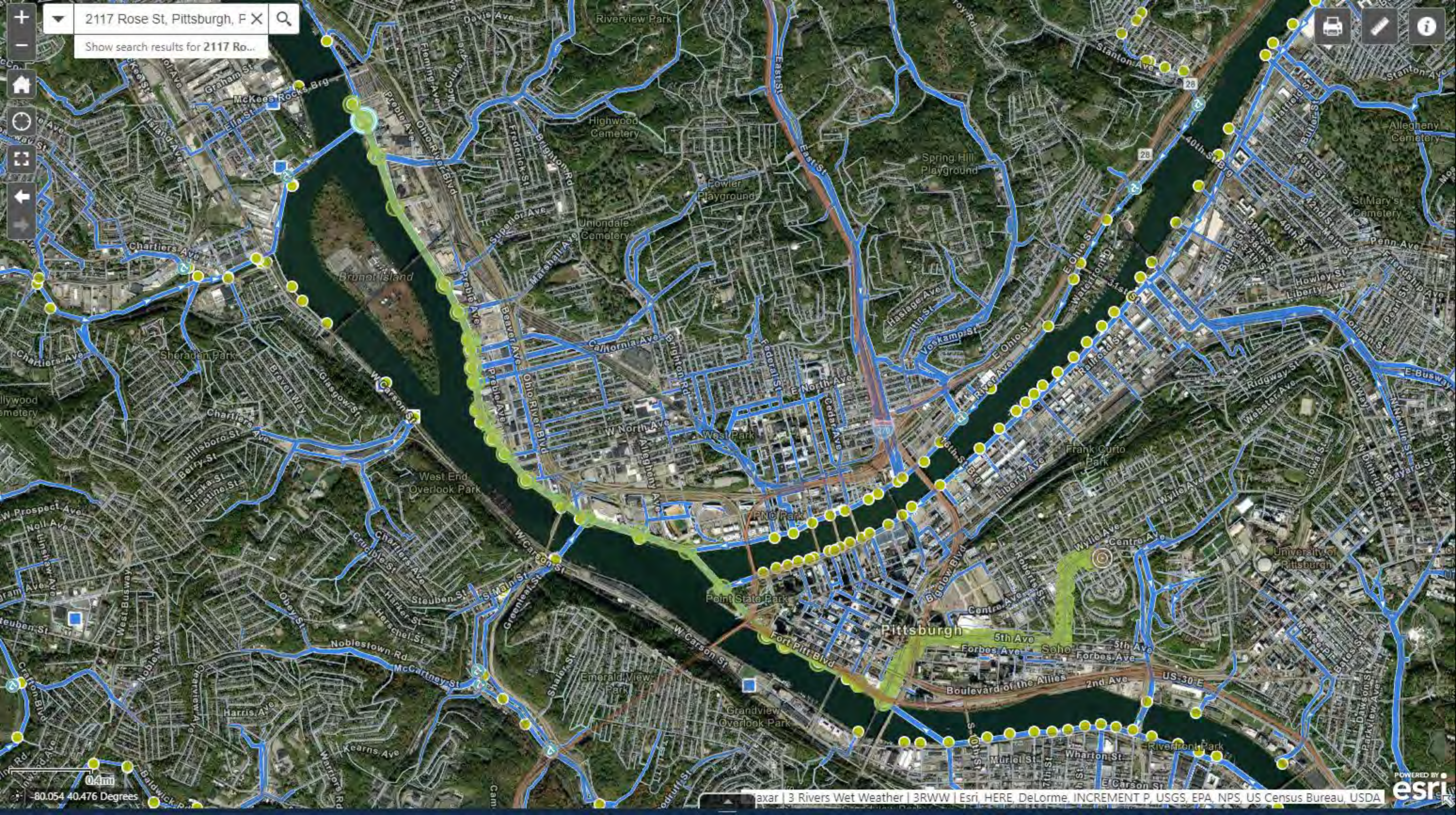




2117 Rose St, Pittsburgh, F X



Show search results for 2117 Ro...

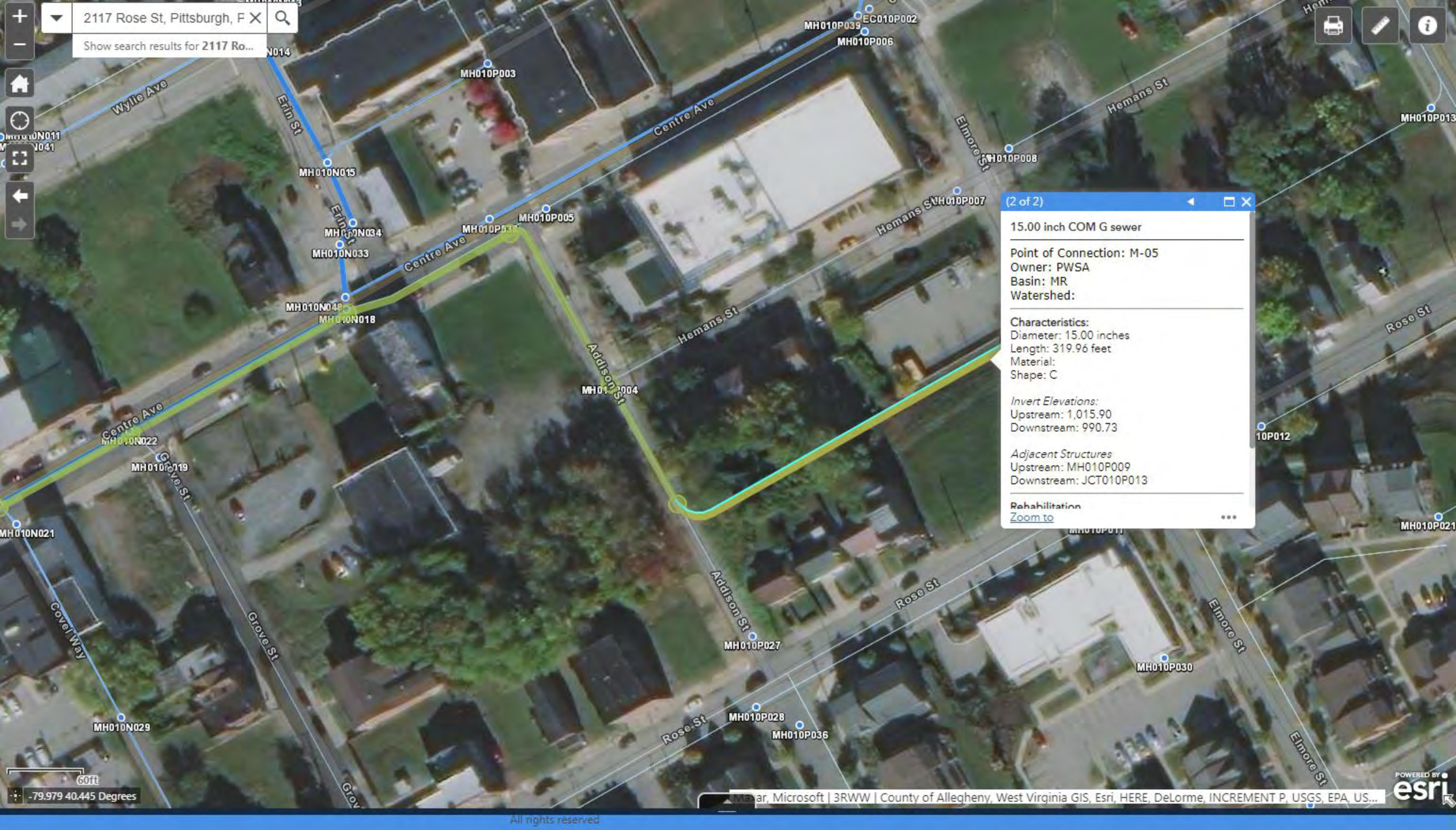


0.4mi

-80.054 40.476 Degrees







(2 of 2)

**15.00 inch COM G sewer**

---

Point of Connection: M-05  
 Owner: PWSA  
 Basin: MR  
 Watershed:

---

**Characteristics:**  
 Diameter: 15.00 inches  
 Length: 319.96 feet  
 Material:  
 Shape: C

**Invert Elevations:**  
 Upstream: 1,015.90  
 Downstream: 990.73

**Adjacent Structures**  
 Upstream: MH010P009  
 Downstream: JCT010P013

---

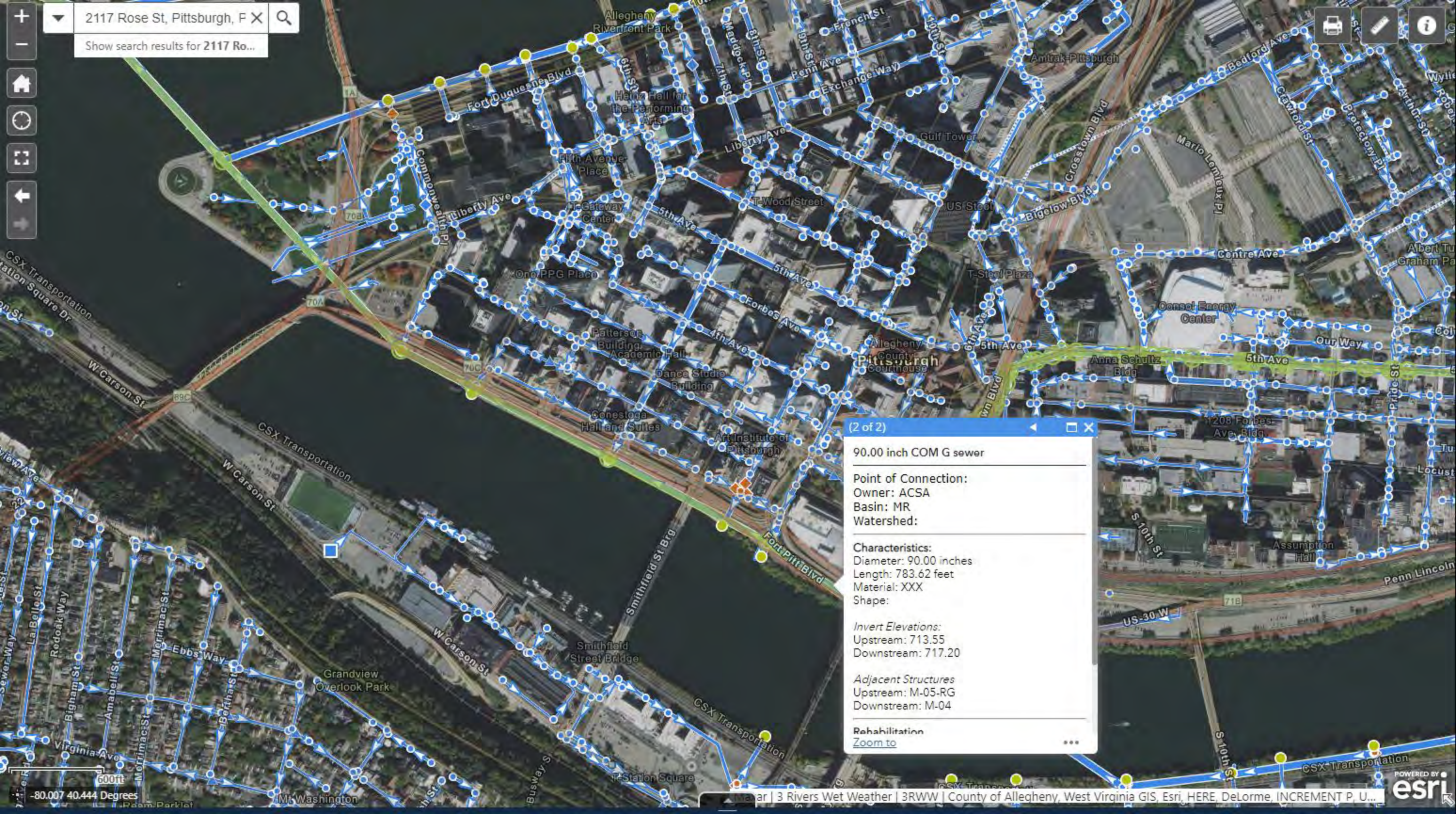
**Rehabilitation**  
[Zoom to](#) ...





2117 Rose St, Pittsburgh, F X

Show search results for 2117 Ro...



(2 of 2)

90.00 inch COM G sewer

---

Point of Connection:  
 Owner: ACSA  
 Basin: MR  
 Watershed:

---

Characteristics:  
 Diameter: 90.00 inches  
 Length: 783.62 feet  
 Material: XXX  
 Shape:

---

Invert Elevations:  
 Upstream: 713.55  
 Downstream: 717.20

---

Adjacent Structures  
 Upstream: M-05-RG  
 Downstream: M-04

---

Rehabilitation  
[Zoom to](#) ...

600ft  
-80.007 40.444 Degrees

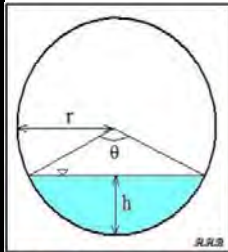


**Sewage Facilities Planning Module**  
**Chapter 94 Consistency Determination**  
**Hydraulic Calculations Spreadsheet for Peak Present Flow Measurements**

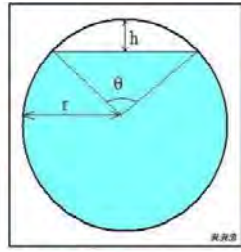
**PROJECT NAME:** 2127 Rose Street  
**PWSA PROJECT NUMBER:** DEV-125-0622  
**PWSA REVIEWER:** Shannon Connell, EIT  
**DATE:** February 16, 2023

**LEGEND:** Input Data Output Data

**Section A: Manning Equation for Partially Filled Pipes**



Partially Full Pipe Flow Parameters  
(Less Than Half Full)



Partially Full Pipe Flow Parameters  
(More Than Half Full)

Variable	Units	Description
Q	ft <sup>3</sup>	Volumetric flowrate
n	Unitless	Manning Roughness Coeff.
A	ft <sup>2</sup>	Cross-Sectional Area of Flow
R	ft	Hydraulic Radius
S	ft/ft	Slope of Hydraulic Grade Line
P	ft	Wetted Perimeter of "A"
r	ft	Radius
h	ft	Depth of Flow or Headspace
θ	radians	Central Angle

$$Q = \left(\frac{1.49}{n}\right) \times A \times R^{2/3} \times S^{1/2} \qquad R = \frac{A}{P} \qquad \theta = 2 \times \cos^{-1} \left(\frac{r-h}{r}\right)$$

$$A_{<50\% Full} = \frac{r^2(\theta - \sin \theta)}{2} \qquad \text{OR} \qquad A_{>50\% Full} = \pi \times r^2 - \frac{r^2(\theta - \sin \theta)}{2}$$

$$P_{<50\% Full} = r \times \theta \qquad P_{>50\% Full} = (2 \times \pi \times r) - (r \times \theta)$$

**Section B: Data for Calculations**

Peaking Factor, P.F.	
Sanitary Sewers	3
Combined Sewers	3.5

Proposed Project Flows		
Variable	Value	Units
Q <sub>p</sub>	2,000	gpd

Variable	Value	Units
Material	VCP	
n	0.015	unitless
S	0.079	ft/ft
h	0.150	ft
D	1.25	ft
P.F.	3.5	unitless

**Section C: Calculations for Design and/or Permitted Capacities**

Variable	Description	Definition
Q <sub>d, avg</sub>	Design Capacity, Average	= full pipe flow conditions / peaking factor
Q <sub>d, peak</sub>	Design Capacity, Peak	full pipe flow conditions

Design Capacity, Average

Design Capacity, Peak



Variable	Value	Unit
Q <sub>d, avg</sub>	2,908,058	gpd

Variable	Value	Unit
D	1.250	ft
r	0.625	ft
A	1.227	ft <sup>2</sup>
P	3.927	ft
R	0.313	ft
Q <sub>d, peak</sub>	16	cfs
Q <sub>d, peak</sub>	10,178,204	gpd

#### Section D: Calculations for Present Flows

Variable	Description	Definition
Q <sub>ex, avg</sub>	Present Flows, Average	= Q <sub>ex, peak</sub> / P.F.
Q <sub>ex, peak</sub>	Present Flows, Peak	existing flow conditions per site investigations

Present Flows, Average		
Variable	Value	Unit
Q <sub>ex, avg</sub>	88,943	gpd

Present Flows, Peak		
Variable	Value	Unit
D	1.250	ft
r	0.625	ft
θ	1.41	rad
h/D	0.12	ft/ft
A	0.08	ft <sup>2</sup>
P	0.88	ft
R	0.094	ft
Q <sub>ex, peak</sub>	0	cfs
Q <sub>ex, peak</sub>	311,302	gpd

#### Section E: Calculations for Projected Flows in Five (5) Years

Variable	Description	Definition
Q <sub>proj, avg</sub>	Projected Flows in Five (5) Years, Average	= Q <sub>proj, peak</sub> ÷ P.F.
Q <sub>proj, peak</sub>	Projected Flows in Five (5) Years, Peak	= (Q <sub>ex, peak</sub> + Q <sub>p</sub> ) x 1.05

Projected Flow Calculations		
Variable	Value	Unit
Q <sub>proj, avg</sub>	93,991	gpd
Q <sub>proj, peak</sub>	328,967	gpd

#### Section F: Compare Results with Applicant's Submission

Variable	PWSA, gpd	Applicant, gpd	Difference, gpd	Difference, %
Q <sub>d, avg</sub>	2,908,058	2,908,058	0	0%
Q <sub>d, peak</sub>	10,178,204	10,178,204	0	0%
Q <sub>ex, avg</sub>	88,943	88,943	0	0%
Q <sub>ex, peak</sub>	311,302	311,302	0	0%
Q <sub>proj, avg</sub>	93,991	93,991	0	0%
Q <sub>proj, peak</sub>	328,967	328,967	0	0%





March 9, 2023

**Members of the Board**

- Sylvia C. Wilson  
*Chair Person*
- Shannah Tharp-Gilliam, Ph.D.
- Harry Readshaw
- Emily Kinkead
- Paul Klein
- Theresa Kail-Smith
- Darrin Kelly

Arletta Scott Williams  
*Executive Director*

Douglas A. Jackson, P.E.  
*Director  
Operations & Maintenance*

Michelle M. Buys, P.E.  
*Director  
Environmental Compliance*

Kimberly N. Kennedy, P.E.  
*Director  
Engineering & Construction*

Karen Fantoni, CPA, CGMA  
*Director  
Finance*

Michael Lichte, P.E.  
*Director  
Regional Conveyance*

Jeanne K. Clark  
*Director  
Governmental Affairs*

Joseph Vallarian  
*Director  
Communications*

Julie Motley-Williams  
*Director  
Administration*

Phil Cole  
*Chief Information Officer  
Information Technology*

Adam Ballish, E.I.T.  
KU Resources, Inc.  
23 South Linden Street  
Duquesne, PA 15110

**Re: Rose Street Residences – 2117 -2127 Rose Street  
City of Pittsburgh– Allegheny County  
PA DEP Sewage Facilities Planning Module  
ALCOSAN Regulator Structure M-05-00**

Dear Mr. Ballish,

We have reviewed the Component 3 Planning Module for the referenced project to be located at 2117 – 2127 Rose Street – City of Pittsburgh. The project will generate a peak flow of 2,000 gpd in the ALCOSAN Monogahela River Interceptor and Woods Run Treatment Plant.

The capacity of the ALCOSAN M-05-00 regulator structure is 20.6 MGD. The estimated peak dry weather flow is approximately 3.26 MGD. Therefore, dry weather capacity exists for this connection. However, the Monongahela River Interceptor and the Woods Run Treatment Plant do not have the capacity for the flows generated during wet weather periods. This limitation will be addressed as ALCOSAN implements its Clean Water Plan.

ALCOSAN requests that this letter be made part of the planning module submission. The signed Component 3 Planning Module is attached. If you have any questions regarding this matter, please contact me at 412-734-8735.

Sincerely,

**ALLEGHENY COUNTY SANITARY AUTHORITY**

  
Joe Fedor

Attachment

cc: C. Dean (w/o attachment) Robert Herring/PWSA (w/o attachment)  
D. Thornton (w/o attachment) Mahuba Iasmin/PADEP (w/o attachment)  
M. Lichte (w/o attachment) Gina Caliguri/ACHD (w/o attachment)





## SEWAGE FACILITIES PLANNING MODULE

### Component 3. Sewage Collection and Treatment Facilities

(Return completed module package to appropriate municipality)

DEP USE ONLY				
DEP CODE #	CLIENT ID #	SITE ID #	APS ID #	AUTH ID #

This planning module component is used to fulfill the planning requirements of Act 537 for the following types of projects: (1) a subdivision to be served by sewage collection, conveyance or treatment facilities, (2) a tap-in to an existing collection system with flows on a lot of 2 EDU's or more, or (3) the construction of, or modification to, wastewater collection, conveyance or treatment facilities that will require DEP to issue or modify a Clean Streams Law permit. Planning for any project that will require DEP to issue or modify a permit cannot be processed by a delegated agency. Delegated agencies must send their projects to DEP for final planning approval.

This component, along with any other documents specified in the cover letter, must be completed and submitted to the municipality with jurisdiction over the project site for review and approval. All required documentation must be attached for the Sewage Facilities Planning Module to be complete. Refer to the instructions for help in completing this component.

**REVIEW FEES:** Amendments to the Sewage Facilities Act established fees to be paid by the developer for review of planning modules for land development. These fees may vary depending on the approving agency for the project (DEP or delegated local agency). Please see section R and the instructions for more information on these fees.

**NOTE:** All projects must complete Sections A through I, and Sections O through R. Complete Sections J, K, L, M and/or N if applicable or marked .

#### A. PROJECT INFORMATION (See Section A of instructions)

1. Project Name Rose Street Residences

2. Brief Project Description Townhomes

#### B. CLIENT (MUNICIPALITY) INFORMATION (See Section B of instructions)

Municipality Name	County	City	Boro	Twp
City of Pittsburgh	Allegheny	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Municipality Contact Individual - Last Name	First Name	MI	Suffix	Title
Prendagrast	Kyla			Senior Environmental Planner
Additional Individual Last Name	First Name	MI	Suffix	Title
Municipality Mailing Address Line 1	Mailing Address Line 2			
Department of City Planning	200 Ross St. 4 <sup>th</sup> Floor			
Address Last Line -- City	State	ZIP+4		
Pittsburgh	PA	15219-2014		
Area Code + Phone + Ext.	FAX (optional)	Email (optional)		



**C. SITE INFORMATION** (See Section C of instructions)

**Site (Land Development or Project) Name**

Rose Street Residences

Site Location Line 1

2117-2127 Rose Street

Site Location Line 2

Site Location Last Line -- City

Pittsburgh

State

PA

ZIP+4

15219

Latitude

40.444020

Longitude

-79.977319

Detailed Written Directions to Site

Description of Site Existing lot with single-family dwelling

**Site Contact (Developer/Owner)**

Last Name

Johnson

First Name

Steffan

MI Suffix

Phone

651-336-0050

Ext.

Site Contact Title

Site Contact Firm (if none, leave blank)

FAX

Email

sjohnson@rkyndalldevgroup.com

Mailing Address Line 1

186 42<sup>nd</sup> Street

Mailing Address Line 2

Suite 40227

Mailing Address Last Line -- City

Pittsburgh

State

PA

ZIP+4

15201

**D. PROJECT CONSULTANT INFORMATION** (See Section D of instructions)

Last Name

Ballish

First Name

Adam

MI

Suffix

Title

Engineer

Consulting Firm Name

KU Resources, Inc

Mailing Address Line 1

22 South Linden Street

Mailing Address Line 2

Address Last Line -- City

Duquesne

State

PA

ZIP+4

15110

Country

Email

aballish@kuresources.com

Area Code + Phone

412-469-9331

Ext.

Area Code + FAX

**E. AVAILABILITY OF DRINKING WATER SUPPLY**

The project will be provided with drinking water from the following source: (Check appropriate box)

- Individual wells or cisterns.
- A proposed public water supply.
- An existing public water supply.

If existing public water supply is to be used, provide the name of the water company and attach documentation from the water company stating that it will serve the project.

Name of water company: PWSA

**F. PROJECT NARRATIVE** (See Section F of instructions)

- A narrative has been prepared as described in Section F of the instructions and is attached.

The applicant may choose to include additional information beyond that required by Section F of the instructions.



**G. PROPOSED WASTEWATER DISPOSAL FACILITIES** (See Section G of instructions)

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter 93 (relating to wastewater treatment requirements).

**1. COLLECTION SYSTEM**

a. Check appropriate box concerning collection system

- New collection system     Pump Station     Force Main  
 Grinder pump(s)     Extension to existing collection system     Expansion of existing facility

Clean Streams Law Permit Number \_\_\_\_\_

b. Answer questions below on collection system

Number of EDU's and proposed connections to be served by collection system. EDU's 5

Connections 1

Name of:

existing collection or conveyance system 15" Combined VCP on Festus Way

owner Pittsburgh Water and Sewer Authority

existing interceptor Monongahela Interceptor

owner ALCOSAN

**2. WASTEWATER TREATMENT FACILITY**

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter(s) 91 (relating to general provisions), 92 (relating to national Pollution Discharge Elimination System permitting, monitoring and compliance) and 93 (relating to water quality standards).

a. Check appropriate box and provide requested information concerning the treatment facility

- New facility     Existing facility     Upgrade of existing facility     Expansion of existing facility

Name of existing facility ALCOSAN Woods Run WWTP

NPDES Permit Number for existing facility ~~25984~~ 2596854

Clean Streams Law Permit Number \_\_\_\_\_

Location of discharge point for a new facility. Latitude \_\_\_\_\_ Longitude \_\_\_\_\_

b. The following certification statement must be completed and signed by the wastewater treatment facility permittee or their representative.

As an authorized representative of the permittee, I confirm that the ALCOSAN WOODS RUN (Name from above) sewage treatment facilities can accept sewage flows from this project without adversely affecting the facility's ability to achieve all applicable technology and water quality based effluent limits (see Section I) and conditions contained in the NPDES permit identified above.

Name of Permittee Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent Joe Fedor

Agent Signature Joe Fedor Date 3-9-23

(Also see Section I. 4.)



**G. PROPOSED WASTEWATER DISPOSAL FACILITIES (Continued)**

**3. PLOT PLAN**

The following information is to be submitted on a plot plan of the proposed subdivision.

- a. Existing and proposed buildings.
- b. Lot lines and lot sizes.
- c. Adjacent lots.
- d. Remainder of tract.
- e. Existing and proposed sewerage facilities. Plot location of discharge point, land application field, spray field, COLDS, or LVCOLDS if a new facility is proposed.
- f. Show tap-in or extension to the point of connection to existing collection system (if applicable).
- g. Existing and proposed water supplies and surface water (wells, springs, ponds, streams, etc.)
- h. Existing and proposed rights-of-way.
- i. Existing and proposed buildings, streets, roadways, access roads, etc.
- j. Any designated recreational or open space area.
- k. Wetlands - from National Wetland Inventory Mapping and USGS Hydric Soils Mapping.
- l. Flood plains or Flood prone areas, floodways, (Federal Flood Insurance Mapping)
- m. Prime Agricultural Land.
- n. Any other facilities (pipelines, power lines, etc.)
- o. Orientation to north.
- p. Locations of all site testing activities (soil profile test pits, slope measurements, permeability test sites, background sampling, etc. (if applicable).
- q. Soils types and boundaries when a land based system is proposed.
- r. Topographic lines with elevations when a land based system is proposed

**4. WETLAND PROTECTION**

YES NO

- a.   Are there wetlands in the project area? If yes, ensure these areas appear on the plot plan as shown in the mapping or through on-site delineation.
- b.   Are there any construction activities (encroachments, or obstructions) proposed in, along, or through the wetlands? If yes, identify any proposed encroachments on wetlands and identify whether a General Permit or a full encroachment permit will be required. If a full permit is required, address time and cost impacts on the project. Note that wetland encroachments should be avoided where feasible. Also note that a feasible alternative **MUST BE SELECTED** to an identified encroachment on an exceptional value wetland as defined in Chapter 105. Identify any project impacts on streams classified as HQ or EV and address impacts of the permitting requirements of said encroachments on the project.

**5. PRIME AGRICULTURAL LAND PROTECTION**

YES NO

- Will the project involve the disturbance of prime agricultural lands?  
If yes, coordinate with local officials to resolve any conflicts with the local prime agricultural land protection program. The project must be consistent with such municipal programs before the sewage facilities planning module package may be submitted to DEP.  
If no, prime agricultural land protection is not a factor to this project.
- Have prime agricultural land protection issues been settled?

**6. HISTORIC PRESERVATION ACT**

YES NO

- Sufficient documentation is attached to confirm that this project is consistent with DEP Technical Guidance 012-0700-001 *Implementation of the PA State History Code* (available online at the DEP website at [www.dep.state.pa.us](http://www.dep.state.pa.us), select "subject" then select "technical guidance"). As a minimum this includes copies of the completed Cultural Resources Notice



(CRN), a return receipt for its submission to the PHMC and the PHMC review letter.

**7. PROTECTION OF RARE, ENDANGERED OR THREATENED SPECIES**

Check one:

- The "Pennsylvania Natural Diversity Inventory (PNDI) Project Environmental Review Receipt" resulting from my search of the PNDI database and all supporting documentation from jurisdictional agencies (when necessary) is/are attached.
- A completed "Pennsylvania Natural Diversity Inventory (PNDI) Project Planning & Environmental Review Form," (PNDI Form) available at [www.naturalheritage.state.pa.us](http://www.naturalheritage.state.pa.us), and all required supporting documentation is attached. I request DEP staff to complete the required PNDI search for my project. I realize that my planning module will be considered incomplete upon submission to the Department and that the DEP review will not begin, and that processing of my planning module will be delayed, until a "PNDI Project Environmental Review Receipt" and all supporting documentation from jurisdictional agencies (when necessary) is/are received by DEP.

Applicant or Consultant Initials APB

**H. ALTERNATIVE SEWAGE FACILITIES ANALYSIS** (See Section H of instructions)

- An alternative sewage facilities analysis has been prepared as described in Section H of the attached instructions and is attached to this component.  
The applicant may choose to include additional information beyond that required by Section H of the attached instructions.

**I. COMPLIANCE WITH WATER QUALITY STANDARDS AND EFFLUENT LIMITATIONS** (See Section I of instructions) (Check and complete all that apply.)

**1. Waters designated for Special Protection**

- The proposed project will result in a new or increased discharge into special protection waters as identified in Title 25, Pennsylvania Code, Chapter 93. The Social or Economic Justification (SEJ) required by Section 93.4c. is attached.

**2. Pennsylvania Waters Designated As Impaired**

- The proposed project will result in a new or increased discharge of a pollutant into waters that DEP has identified as being impaired by that pollutant. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss water quality based discharge limitations.

**3. Interstate and International Waters**

- The proposed project will result in a new or increased discharge into interstate or international waters. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss effluent limitations necessary to meet the requirements of the interstate or international compact.

**4. Tributaries To The Chesapeake Bay**

- The proposed project result in a new or increased discharge of sewage into a tributary to the Chesapeake Bay. This proposal for a new sewage treatment facility or new flows to an existing facility includes total nitrogen and total phosphorus in the following amounts: \_\_\_\_\_ pounds of TN per year, and \_\_\_\_\_ pounds of TP per year. Based on the process design and effluent limits, the total nitrogen treatment capacity of the wastewater treatment facility is \_\_\_\_\_ pounds per year and the total phosphorus capacity is \_\_\_\_\_ pounds per year as determined by the wastewater treatment facility permittee. The permittee has determined that the additional TN and TP to be contributed by this project (as modified by credits and/or offsets to be provided) will not cause the discharge to exceed the annual total mass limits for these parameters. Documentation of compliance with nutrient allocations is attached.

Name of Permittee Agency, Authority, Municipality \_\_\_\_\_

Initials of Responsible Agent (See Section G 2.b) \_\_\_\_\_

See *Special Instructions* (Form 3800-FM-BPNPSM0353-1) for additional information on Chesapeake Bay watershed requirements.



**J. CHAPTER 94 CONSISTENCY DETERMINATION** (See Section J of instructions)

Projects that propose the use of existing municipal collection, conveyance or wastewater treatment facilities, or the construction of collection and conveyance facilities to be served by existing municipal wastewater treatment facilities must be consistent with the requirements of Title 25, Chapter 94 (relating to Municipal Wasteload Management). If not previously included in Section F, include a general map showing the path of the sewage to the treatment facility. If more than one municipality or authority will be affected by the project, please obtain the information required in this section for each. Additional sheets may be attached for this purpose.

1. Project Flows 2000 \_\_\_\_\_ gpd
2. Total Sewage Flows to Facilities (pathway from point of origin through treatment plant)

When providing "treatment facilities" sewage flows, use Annual Average Daily Flow for "average" and Maximum Monthly Average Daily Flow for "peak" in all cases. For "peak flows" in "collection" and "conveyance" facilities, indicate whether these flows are "peak hourly flow" or "peak instantaneous flow" and how this figure was derived (i.e., metered, measured, estimated, etc.).

- a. Enter average and peak sewage flows for each proposed or existing facility as designed or permitted.
- b. Enter the average and peak sewage flows for the most restrictive sections of the existing sewage facilities.
- c. Enter the average and peak sewage flows, projected for 5 years (2 years for pump stations) through the most restrictive sections of the existing sewage facilities. Include existing, proposed (this project) and future project (other approved projects) flows.

To complete the table, refer to the instructions, Section J.

	a. Design and/or Permitted Capacity (gpd)		b. Present Flows (gpd)		c. Projected Flows in 5 years (gpd) (2 years for P.S.)	
	Average	Peak	Average	Peak	Average	Peak
Collection	2908058	10178204	88943	311302	93991	328967
Conveyance		20,600,000	3,000,000	3,260,000	3,034,000	3,297,000
Treatment	250,000,000	250,000,000	194,200,000	250,000,000	248,800,000	295,000,000

3. Collection and Conveyance Facilities

The questions below are to be answered by the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities. These questions should be answered in coordination with the latest Chapter 94 annual report and the above table. The individual(s) signing below must be legally authorized to make representation for the organization.

YES NO

- a.  YES  NO This project proposes sewer extensions or tap-ins. Will these actions create a hydraulic overload within five years on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until all inconsistencies with Chapter 94 are resolved or unless there is an approved Corrective Action Plan (CAP) granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the module package.

If no, a representative of the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not affect that status.

b. Collection System

Name of Agency, Authority, Municipality Pittsburgh Water and Sewer Authority

Name of Responsible Agent Robert Herring

Agent Signature  Robert Herring 2023.02.28 09:23:09 -05'00' Date 2/28/2023



**J. CHAPTER 94 CONSISTENCY DETERMINATION** (See Section J of instructions)

c. Conveyance System

Name of Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent Joe Fedor

Agent Signature Joe Fedor

Date 3-9-23

4. Treatment Facility

The questions below are to be answered by a representative of the facility permittee in coordination with the information in the table and the latest Chapter 94 report. The individual signing below must be legally authorized to make representation for the organization.

YES NO

- a.  YES  NO This project proposes the use of an existing wastewater treatment plant for the disposal of sewage. Will this action create a hydraulic or organic overload within 5 years at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this inconsistency with Chapter 94 is resolved or unless there is an approved CAP granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the planning module.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not impact that status.

- b. Name of Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent Joe Fedor

Agent Signature Joe Fedor

Date 3-9-23

**K. TREATMENT AND DISPOSAL OPTIONS** (See Section K of instructions)

This section is for land development projects that propose construction of wastewater treatment facilities. Please note that, since these projects require permits issued by DEP, these projects may **NOT** receive final planning approval from a delegated local agency. Delegated local agencies must send these projects to DEP for final planning approval.

Check the appropriate box indicating the selected treatment and disposal option.

- 1. Spray irrigation (other than individual residential spray systems (IRSIS)) or other land application is proposed, and the information requested in Section K.1. of the planning module instructions are attached.
- 2. Recycle and reuse is proposed and the information requested in Section K-2 of the planning module instructions is attached.
- 3. A discharge to a dry stream channel is proposed, and the information requested in Section K.3. of the planning module instructions are attached.
- 4. A discharge to a perennial surface water body is proposed, and the information requested in Section K.4. of the planning module instructions are attached.

**L. PERMEABILITY TESTING** (See Section L of instructions)

- The information required in Section L of the instructions is attached.

**M. PRELIMINARY HYDROGEOLOGIC STUDY** (See Section M of instructions)

- The information required in Section M of the instructions is attached.



**N. DETAILED HYDROGEOLOGIC STUDY** (See Section N of instructions)

The detailed hydrogeologic information required in Section N. of the instructions is attached.

**O. SEWAGE MANAGEMENT** (See Section O of instructions)

(1-3 for completion by the developer(project sponser), 4-5 for completion by the non-municipal facility agent and 6 for completion by the municipality)

Yes No

1.   Is connection to, or construction of, a DEP permitted, non-municipal sewage facility or a local agency permitted, community onlot sewage facility proposed.

If Yes, respond to the following questions, attach the supporting analysis, and an evaluation of the options available to assure long-term proper operation and maintenance of the proposed non-municipal facilities. If No, skip the remainder of Section O.

2. Project Flows 2000 \_\_\_\_\_ gpd

Yes No

3.   Is the use of nutrient credits or offsets a part of this project?

If yes, attach a letter of intent to purchase the necessary credits and describe the assurance that these credits and offsets will be available for the remaining design life of the non-municipal sewage facility;

(For completion by non-municipal facility agent)

4. Collection and Conveyance Facilities

The questions below are to be answered by the organization/individual responsible for the non-municipal collection and conveyance facilities. The individual(s) signing below must be legally authorized to make representation for the organization.

Yes No

- a.   If this project proposes sewer extensions or tap-ins, will these actions create a hydraulic overload on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, a representative of the organization responsible for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with Chapter 71 §71.53(d)(3) and that this proposal will not affect that status.

- b. Collection System

Name of Responsible Organization \_\_\_\_\_

Name of Responsible Agent \_\_\_\_\_

Agent Signature \_\_\_\_\_

Date \_\_\_\_\_

- c. Conveyance System

Name of Responsible Organization \_\_\_\_\_

Name of Responsible Agent \_\_\_\_\_

Agent Signature \_\_\_\_\_

Date \_\_\_\_\_

5. Treatment Facility

The questions below are to be answered by a representative of the facility permittee. The individual signing below must be legally authorized to make representation for the organization.

Yes No

- a.   If this project proposes the use of an existing non-municipal wastewater treatment plant for the disposal of sewage, will this action create a hydraulic or organic overload at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with §71.53(d)(3) and that this proposal will not impact that status.

- b. Name of Facility \_\_\_\_\_  
Name of Responsible Agent \_\_\_\_\_  
Agent Signature \_\_\_\_\_  
Date \_\_\_\_\_

(For completion by the municipality)

6.  The **SELECTED OPTION** necessary to assure long-term proper operation and maintenance of the proposed non-municipal facilities is clearly identified with documentation attached in the planning module package.

---

**P. PUBLIC NOTIFICATION REQUIREMENT** (See Section P of instructions)

---

This section must be completed to determine if the applicant will be required to publish facts about the project in a newspaper of general circulation to provide a chance for the general public to comment on proposed new land development projects. This notice may be provided by the applicant or the applicant's agent, the municipality or the local agency by publication in a newspaper of general circulation within the municipality affected. Where an applicant or an applicant's agent provides the required notice for publication, the applicant or applicant's agent shall notify the municipality or local agency and the municipality and local agency will be relieved of the obligation to publish. The required content of the publication notice is found in Section P of the instructions.

To complete this section, each of the following questions must be answered with a "yes" or "no". Newspaper publication is required if any of the following are answered "yes".

Yes No

1.   Does the project propose the construction of a sewage treatment facility ?
2.   Will the project change the flow at an existing sewage treatment facility by more than 50,000 gallons per day?
3.   Will the project result in a public expenditure for the sewage facilities portion of the project in excess of \$100,000?
4.   Will the project lead to a major modification of the existing municipal administrative organizations within the municipal government?
5.   Will the project require the establishment of *new* municipal administrative organizations within the municipal government?
6.   Will the project result in a subdivision of 50 lots or more? (onlot sewage disposal only)
7.   Does the project involve a major change in established growth projections?
8.   Does the project involve a different land use pattern than that established in the municipality's Official Sewage Plan?



**P. PUBLIC NOTIFICATION REQUIREMENT cont'd.** (See Section P of instructions)

- 9.   Does the project involve the use of large volume onlot sewage disposal systems (Flow > 10,000 gpd)?
- 10.   Does the project require resolution of a conflict between the proposed alternative and consistency requirements contained in §71.21(a)(5)(i), (ii), (iii)?
- 11.   Will sewage facilities discharge into high quality or exceptional value waters?
- Attached is a copy of:
  - the public notice,
  - all comments received as a result of the notice,
  - the municipal response to these comments.
- No comments were received. A copy of the public notice is attached.

**Q. FALSE SWEARING STATEMENT** (See Section Q of instructions)

I verify that the statements made in this component are true and correct to the best of my knowledge, information and belief. I understand that false statements in this component are made subject to the penalties of 18 PA C.S.A. §4904 relating to unsworn falsification to authorities.

Adam Ballish	<u>Adam Ballish</u>
Name (Print)	Signature
Engineer	2/1/23
Title	Date
22 South Linden Street, Duquesne PA 15110	412-469-9331
Address	Telephone Number

**R. REVIEW FEE** (See Section R of instructions)

The Sewage Facilities Act establishes a fee for the DEP planning module review. DEP will calculate the review fee for the project and invoice the project sponsor **OR** the project sponsor may attach a self-calculated fee payment to the planning module prior to submission of the planning package to DEP. (Since the fee and fee collection procedures may vary if a "delegated local agency" is conducting the review, the project sponsor should contact the "delegated local agency" to determine these details.) Check the appropriate box.

- I request DEP calculate the review fee for my project and send me an invoice for the correct amount. I understand DEP's review of my project will not begin until DEP receives the correct review fee from me for the project.
- I have calculated the review fee for my project using the formula found below and the review fee guidance in the instructions. I have attached a check or money order in the amount of \$\_\_\_\_\_ payable to "Commonwealth of PA, DEP". Include DEP code number on check. I understand DEP will not begin review of my project unless it receives the fee and determines the fee is correct. If the fee is incorrect, DEP will return my check or money order, send me an invoice for the correct amount. I understand DEP review will NOT begin until I have submitted the correct fee.
- I request to be exempt from the DEP planning module review fee because this planning module creates **only** one new lot and is the **only** lot subdivided from a parcel of land as that land existed on December 14, 1995. I realize that subdivision of a second lot from this parcel of land shall disqualify me from this review fee exemption. I am furnishing the following deed reference information in support of my fee exemption.

County Recorder of Deeds for \_\_\_\_\_ County, Pennsylvania

Deed Volume \_\_\_\_\_ Book Number \_\_\_\_\_

Page Number \_\_\_\_\_ Date Recorded \_\_\_\_\_

---

**R. REVIEW FEE** (continued)

---

Formula:

1. For a new collection system (with or without a Clean Streams Law Permit), a collection system extension, or individual tap-ins to an existing collection system use this formula.

$$\#5 \text{ _____ Lots (or EDUs) X } \$50.00 = \$ \underline{250}$$

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
  - For community sewer system projects, one EDU is equal to a sewage flow of 400 gallons per day.
2. For a surface or subsurface discharge system, use the appropriate one of these formulae.

- A. A new surface discharge greater than 2000 gpd will use a flat fee:

$$\begin{aligned} & \$ 1,500 \text{ per submittal (non-municipal)} \\ & \$ 500 \text{ per submittal (municipal)} \end{aligned}$$

- B. An increase in an existing surface discharge will use:

$$\# \text{ _____ Lots (or EDUs) X } \$35.00 = \$ \text{ _____}$$

to a maximum of \$ 1,500 per submittal (non-municipal) or \$ 500 per submittal (municipal)

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
- For community sewage system projects one EDU is equal to a sewage flow of 400 gallons per day.
- For non-single family residential projects, EDUs are calculated using projected population figures

- C. A sub-surface discharge system that requires a permit under The Clean Streams Law will use a flat fee:

$$\begin{aligned} & \$ 1,500 \text{ per submittal (non-municipal)} \\ & \$ 500 \text{ per submittal (municipal)} \end{aligned}$$



COUNTY OF



ALLEGHENY

RICH FITZGERALD  
COUNTY EXECUTIVE

April 6, 2023

Adam Ballish  
KU Resources, Inc.  
22 South Linden Street  
Duquesne, PA 15110

**RE: SEWAGE FACILITIES PLANNING MODULE; ALLEGHENY COUNTY  
Rose Street Residences, City of Pittsburgh**

Dear Mr. Ballish:

Enclosed is a signed copy of Component 4C, County or Joint County Health Department Review, for the above-referenced development. This Planning Module Component was received on April 5, 2023. The project proposes the following:

Project Description:	Rose Street Residences project proposing to develop construction of two buildings each with three stories and three units (6 new townhomes) on a vacant lot located in the 5 <sup>th</sup> Ward of the City of Pittsburgh
Sewage Flow:	2000 GPD
Conveyance:	The flow from this site will be conveyed to the Pittsburgh Water & Sewer Authority (PWSA) collection system via a 15" combined VCP on Festus Way (ALCOSAN M-05 Regulator) to the ALCOSAN Monongahela Interceptor, and then to the ALCOSAN Treatment Plant at Woods Run
Sewer's Owner:	PWSA (collection) & ALCOSAN (interceptor)
Sewage Treatment Plant:	ALCOSAN



**ALLEGHENY COUNTY HEALTH DEPARTMENT**  
**WATER POLLUTION CONTROL & SOLID WASTE MANAGEMENT**  
3901 PENN AVENUE • BUILDING 5 • PITTSBURGH, PA 15224-1318  
PHONE: 412.578.8040 • FAX: 412.578.8053  
[WWW.ALLEGHENYCOUNTY.US/HEALTHDEPARTMENT](http://WWW.ALLEGHENYCOUNTY.US/HEALTHDEPARTMENT)



Mr. Adam Ballish  
April 6, 2023  
Page 2

Please be advised that a permit must be obtained from the Allegheny County Health Department's (ACHD) Plumbing Section prior to commencing any plumbing work for the proposed project. Plumbing work for which an ACHD Plumbing Permit must be obtained includes any plumbing work done on the site and any sewers, which will not be owned and operated by a municipality or a sewer authority.

In addition, it should be noted that the approval of this sewage facilities planning module does not include approval of pipe size and/or type. Approval for pipe size and/or type must be obtained by filing a specific plumbing plan with the ACHD's Plumbing Section. If you should have any questions relative to ACHD's plumbing requirements, you can contact Drew Grese, Plumbing Program Manager at 412-578-8055.

The ACHD has no objection to the approval of this project. If you have any questions, please call me at 412-578-8388.

Sincerely,

A handwritten signature in dark ink, appearing to read 'Gina Caliguri', written over a thin horizontal line.

Gina Caliguri  
Environmental Health Administrator II / Compliance Officer  
Water Pollution Control & Solid Waste Management

Enclosure

cc: Mahbuba Iasmin, PA Department of Environmental Protection w/attachment (electronically)  
Drew Grese, ACHD w/attachment (electronically)





## INSTRUCTIONS FOR COMPLETING COMPONENT 4C COUNTY OR JOINT HEALTH DEPARTMENT REVIEW

---

*Remove and recycle these instructions prior to mailing component to the approving agency (DEP or delegated local agency).*

---

### Background

This component, Component 4, is used to obtain the comments of planning agencies and/or health departments having jurisdiction over the project area. It is used in conjunction with other planning module components appropriate to the characteristics of the project proposed.

### Who Should Complete the Component?

The component should be completed by any existing municipal planning agency, county planning agency, planning agency with areawide jurisdiction, and/or health department having jurisdiction over the project site. It is divided into sections to allow for convenient use by the appropriate agencies.

The project sponsor must forward copies of this component, along with supporting components and data, to the appropriate planning agency or agencies and health department(s) (if any) having jurisdiction over the development site. These agencies are responsible for responding to the questions in their respective sections of Component 4, as well as providing whatever additional comments they may wish to provide on the project plan. After the agencies have completed their review, the component will be returned to the applicant. The agencies have 60 days in which to provide comments to the applicant. If the agencies fail to comment within this 60 day period, the applicant may proceed to the next stage of the review without the comments. The use of registered mail or certified mail (return receipt requested) by the applicant when forwarding the module package to the agencies will document a date of receipt.

After receipt of the completed Component 4 from the planning agencies, or following expiration of the 60 day period without comments, the applicant must submit the entire component package to the municipality having jurisdiction over the project area for review and action. If approved by the municipality, the proposed plan, along with the municipal action, will be forwarded to the approving agency (DEP or delegated local agency). The approving agency, in turn, will either approve the proposed plan, return it as incomplete, or disapprove the plan, based upon the information provided.

---

### *Instructions for Completing Planning Agency and/or Health Department Review Component*

---

#### Section A. Project Name

Enter the project name as it appears on the accompanying sewage facilities planning module component (Component 2, 3, 3s or 3m).

---

#### Section B. Review Schedule

Enter the date the package was received by the reviewing agency, and the date that the review was completed.

---

#### Section C. Agency Review

1. Answer the yes/no questions and provide any descriptive information necessary on the lines provided. Attach additional sheets, if necessary.
  2. Complete the name, title, and signature block.
- 

#### Section D. Additional Comments

The Agency may provide whatever additional comment it deems necessary, as described in the form. Attach additional sheets, if necessary.





**SEWAGE FACILITIES PLANNING MODULE  
COMPONENT 4C - COUNTY OR JOINT HEALTH DEPARTMENT REVIEW**

**Note to Project Sponsor:** To expedite the review of your proposal, one copy of your completed planning module package and one copy of this *Planning Agency Review Component* should be sent to the county or joint county health department for their comments.

**SECTION A. PROJECT NAME** (See Section A of instructions)

Project Name

Rose Street Residences

**SECTION B. REVIEW SCHEDULE** (See Section B of instructions)

1. Date plan received by county or joint-county health department. April 5, 2023

Agency name Allegheny County Health Department (ACHD)

2. Date review completed by agency April 6, 2023

**SECTION C. AGENCY REVIEW** (See Section C of instructions)

Yes No

1. Is the proposed plan consistent with the municipality's Official Sewage Facilities Plan?

If no, what are the inconsistencies? \_\_\_\_\_

2. Are there any waste water disposal needs in the area adjacent to the new land development that should be considered by the municipality?

If yes, describe \_\_\_\_\_

3. Is there any known groundwater degradation in the area of the proposed subdivision?

If yes, describe \_\_\_\_\_

4. The county or joint county health department recommendation concerning this proposed plan is as follows: ACHD recommends approval. See attached letter.

5. Name, title and signature of person completing this section:

Name: Gina Caliguri

Title: Environmental Health Administrator II / Compliance Officer

Signature: 

Date: April 6, 2023

Name of County Health Department: ACHD

Address: 301 39<sup>th</sup> St, Building #5, Pittsburgh PA 15224-1318

Telephone Number: 412-578-8388

**SECTION D. ADDITIONAL COMMENTS** (See Section D of instructions)

This Component does not limit county planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The county planning agency must complete this Component within 60 days.

This Component and any additional comments are to be returned to the applicant.



## 1. PROJECT INFORMATION

Project Name: **Rose Street Townhomes**

Date of Review: **2/2/2023 02:18:20 PM**

Project Category: **Development, Residential, Subdivision containing more than 2 lots and/or 2 single-family units**

Project Area: **0.48 acres**

County(s): **Allegheny**

Township/Municipality(s): **PITTSBURGH**

ZIP Code:

Quadrangle Name(s): **PITTSBURGH EAST**

Watersheds HUC 8: **Lower Monongahela**

Watersheds HUC 12: **Streets Run-Monongahela River**

Decimal Degrees: **40.443998, -79.977164**

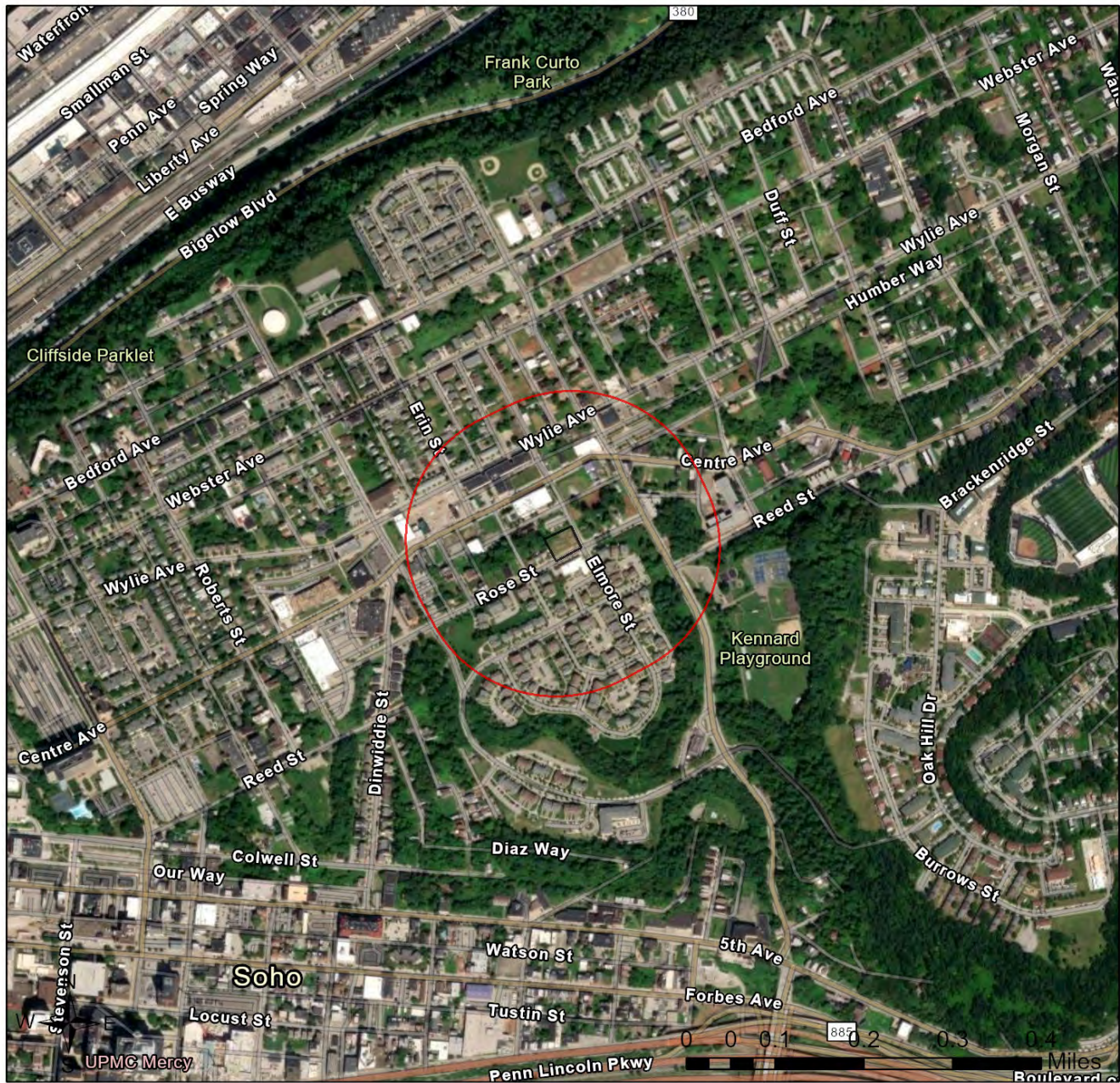
Degrees Minutes Seconds: **40° 26' 38.3918" N, 79° 58' 37.7915" W**



## 2. SEARCH RESULTS

Agency	Results	Response
PA Game Commission	No Known Impact	No Further Review Required
PA Department of Conservation and Natural Resources	No Known Impact	No Further Review Required
PA Fish and Boat Commission	No Known Impact	No Further Review Required
U.S. Fish and Wildlife Service	No Known Impact	No Further Review Required

As summarized above, Pennsylvania Natural Diversity Inventory (PNDI) records indicate no known impacts to threatened and endangered species and/or special concern species and resources within the project area. Therefore, based on the information you provided, no further coordination is required with the jurisdictional agencies. This response does not reflect potential agency concerns regarding impacts to other ecological resources, such as wetlands.

## Rose Street Townhomes



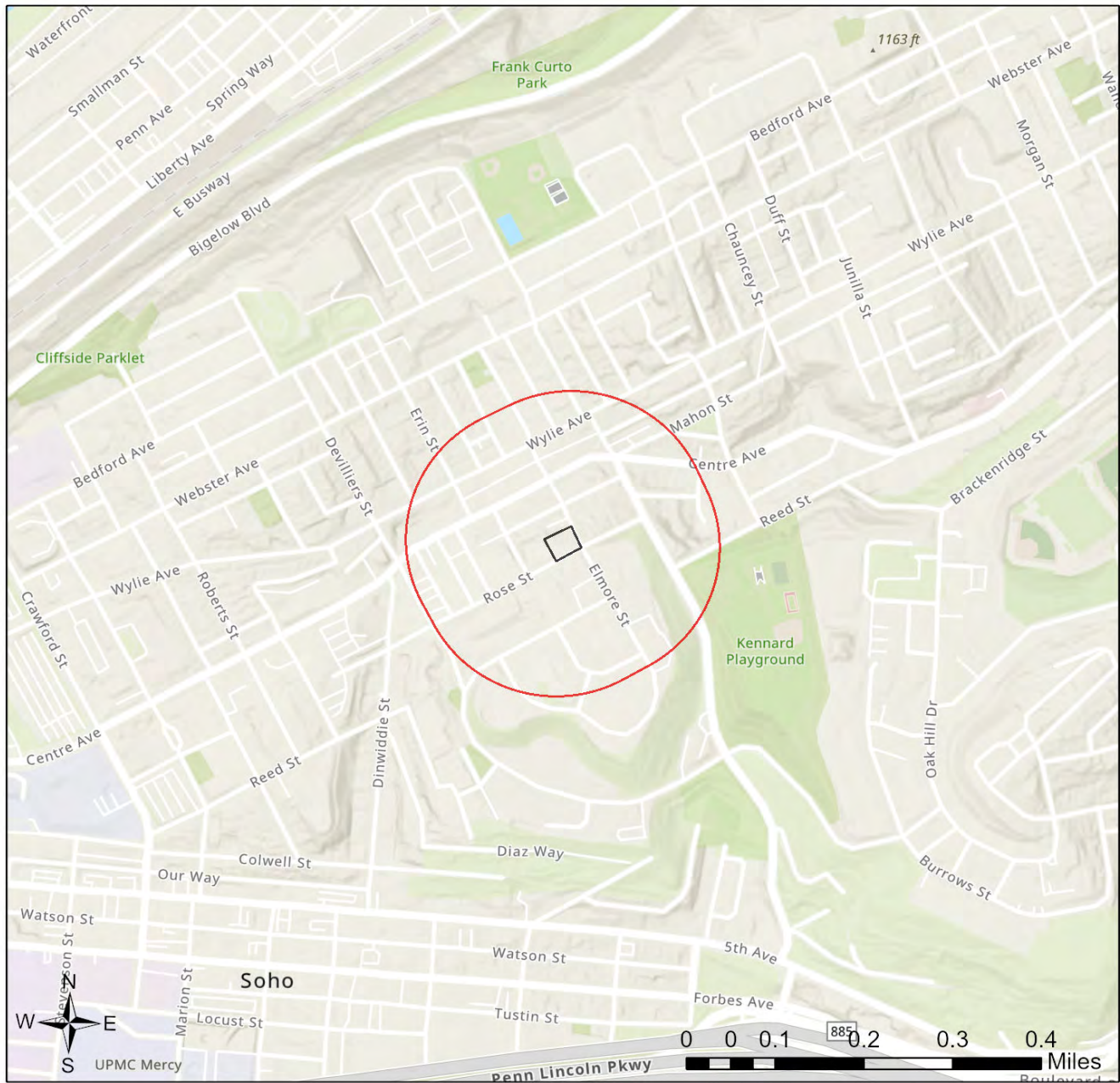
-  Buffered Project Boundary
-  Project Boundary





Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community



## Rose Street Townhomes



-  Buffered Project Boundary
-  Project Boundary



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community

## RESPONSE TO QUESTION(S) ASKED

**Q1:** The proposed project is in the range of the Indiana bat. Describe how the project will affect bat habitat (forests, woodlots and trees) and indicate what measures will be taken in consideration of this. Round acreages up to the nearest acre (e.g., 0.2 acres = 1 acre).

**Your answer is:** No forests, woodlots or trees will be affected by the project.

**Q2:** Is tree removal, tree cutting or forest clearing of 40 acres or more necessary to implement all aspects of this project?

**Your answer is:** No

### 3. AGENCY COMMENTS

Regardless of whether a DEP permit is necessary for this proposed project, any potential impacts to threatened and endangered species and/or special concern species and resources must be resolved with the appropriate jurisdictional agency. In some cases, a permit or authorization from the jurisdictional agency may be needed if adverse impacts to these species and habitats cannot be avoided.

These agency determinations and responses are **valid for two years** (from the date of the review), and are based on the project information that was provided, including the exact project location; the project type, description, and features; and any responses to questions that were generated during this search. If any of the following change: 1) project location, 2) project size or configuration, 3) project type, or 4) responses to the questions that were asked during the online review, the results of this review are not valid, and the review must be searched again via the PNDI Environmental Review Tool and resubmitted to the jurisdictional agencies. The PNDI tool is a primary screening tool, and a desktop review may reveal more or fewer impacts than what is listed on this PNDI receipt. The jurisdictional agencies **strongly advise against** conducting surveys for the species listed on the receipt prior to consultation with the agencies.

#### PA Game Commission

##### RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

#### PA Department of Conservation and Natural Resources

##### RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

#### PA Fish and Boat Commission

##### RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

#### U.S. Fish and Wildlife Service

##### RESPONSE:

No impacts to **federally** listed or proposed species are anticipated. Therefore, no further consultation/coordination under the Endangered Species Act (87 Stat. 884, as amended; 16 U.S.C. 1531 et seq. is required. Because no take of federally listed species is anticipated, none is authorized. This response does not reflect potential Fish and Wildlife Service concerns under the Fish and Wildlife Coordination Act or other authorities.



## 4. DEP INFORMATION

The Pa Department of Environmental Protection (DEP) requires that a signed copy of this receipt, along with any required documentation from jurisdictional agencies concerning resolution of potential impacts, be submitted with applications for permits requiring PNDI review. Two review options are available to permit applicants for handling PNDI coordination in conjunction with DEP's permit review process involving either T&E Species or species of special concern. Under sequential review, the permit applicant performs a PNDI screening and completes all coordination with the appropriate jurisdictional agencies prior to submitting the permit application. The applicant will include with its application, both a PNDI receipt and/or a clearance letter from the jurisdictional agency if the PNDI Receipt shows a Potential Impact to a species or the applicant chooses to obtain letters directly from the jurisdictional agencies. Under concurrent review, DEP, where feasible, will allow technical review of the permit to occur concurrently with the T&E species consultation with the jurisdictional agency. The applicant must still supply a copy of the PNDI Receipt with its permit application. The PNDI Receipt should also be submitted to the appropriate agency according to directions on the PNDI Receipt. The applicant and the jurisdictional agency will work together to resolve the potential impact(s). See the DEP PNDI policy at <https://conservationexplorer.dcnr.pa.gov/content/resources>.



## 5. ADDITIONAL INFORMATION

The PNDI environmental review website is a preliminary screening tool. There are often delays in updating species status classifications. Because the proposed status represents the best available information regarding the conservation status of the species, state jurisdictional agency staff give the proposed statuses at least the same consideration as the current legal status. If surveys or further information reveal that a threatened and endangered and/or special concern species and resources exist in your project area, contact the appropriate jurisdictional agency/agencies immediately to identify and resolve any impacts.

For a list of species known to occur in the county where your project is located, please see the species lists by county found on the PA Natural Heritage Program (PNHP) home page ([www.naturalheritage.state.pa.us](http://www.naturalheritage.state.pa.us)). Also note that the PNDI Environmental Review Tool only contains information about species occurrences that have actually been reported to the PNHP.

## 6. AGENCY CONTACT INFORMATION

### PA Department of Conservation and Natural Resources

Bureau of Forestry, Ecological Services Section  
400 Market Street, PO Box 8552  
Harrisburg, PA 17105-8552  
Email: [RA-HeritageReview@pa.gov](mailto:RA-HeritageReview@pa.gov)

### PA Fish and Boat Commission

Division of Environmental Services  
595 E. Rolling Ridge Dr., Bellefonte, PA 16823  
Email: [RA-FBPACENOTIFY@pa.gov](mailto:RA-FBPACENOTIFY@pa.gov)

### U.S. Fish and Wildlife Service

Pennsylvania Field Office  
Endangered Species Section  
110 Radnor Rd; Suite 101  
State College, PA 16801  
Email: [IR1\\_ESPenn@fws.gov](mailto:IR1_ESPenn@fws.gov)  
NO Faxes Please

### PA Game Commission

Bureau of Wildlife Management  
Division of Environmental Review  
2001 Elmerton Avenue, Harrisburg, PA 17110-9797  
Email: [RA-PGC\\_PNDI@pa.gov](mailto:RA-PGC_PNDI@pa.gov)  
NO Faxes Please

## 7. PROJECT CONTACT INFORMATION

Name: Adam Ballish  
Company/Business Name: KU Resources, Inc.  
Address: 22 South Linden Street  
City, State, Zip: Duquesne, PA, 15110  
Phone: (412) 469-9331 Fax: ( )  
Email: aballish@kuresources.com

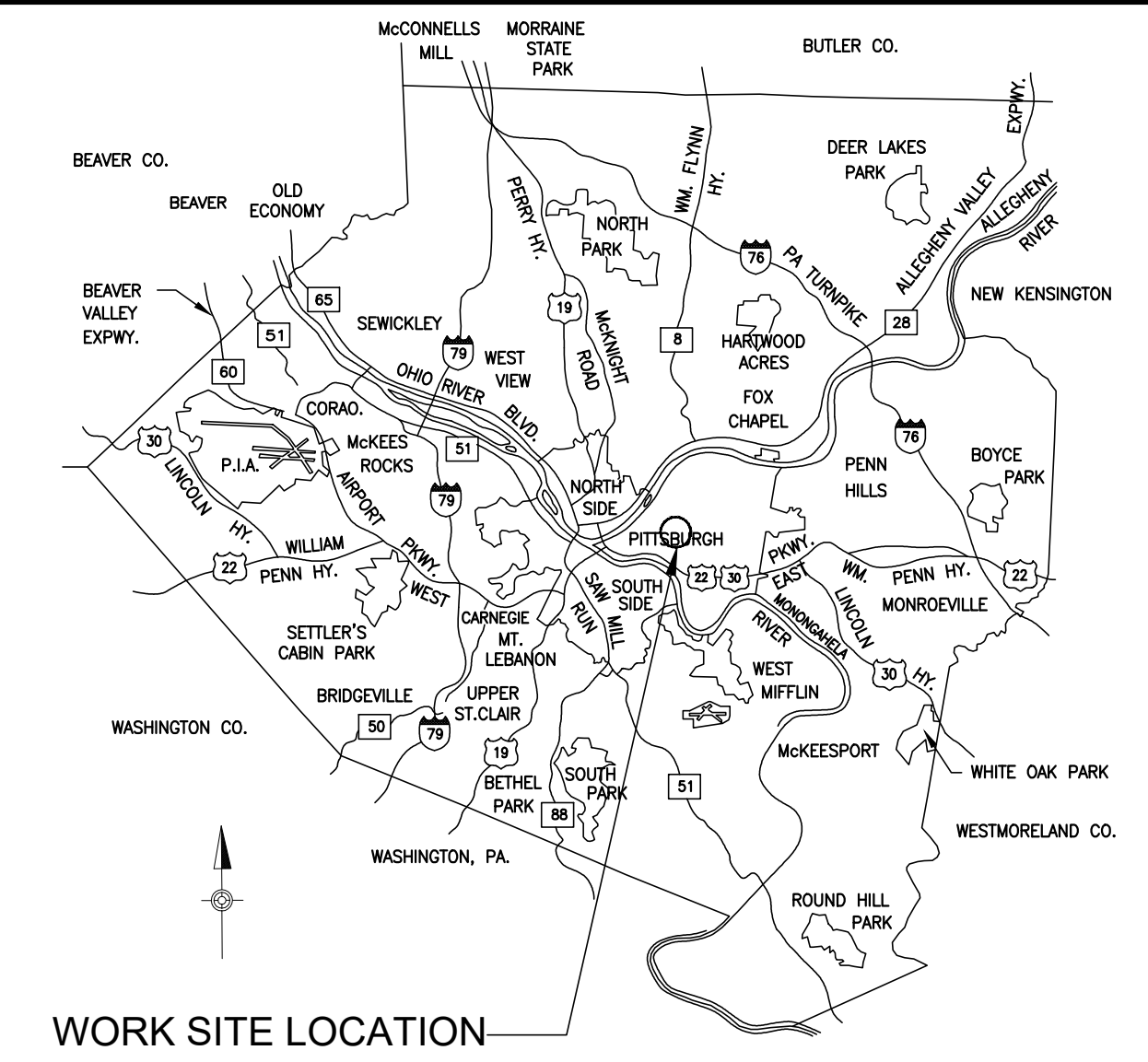
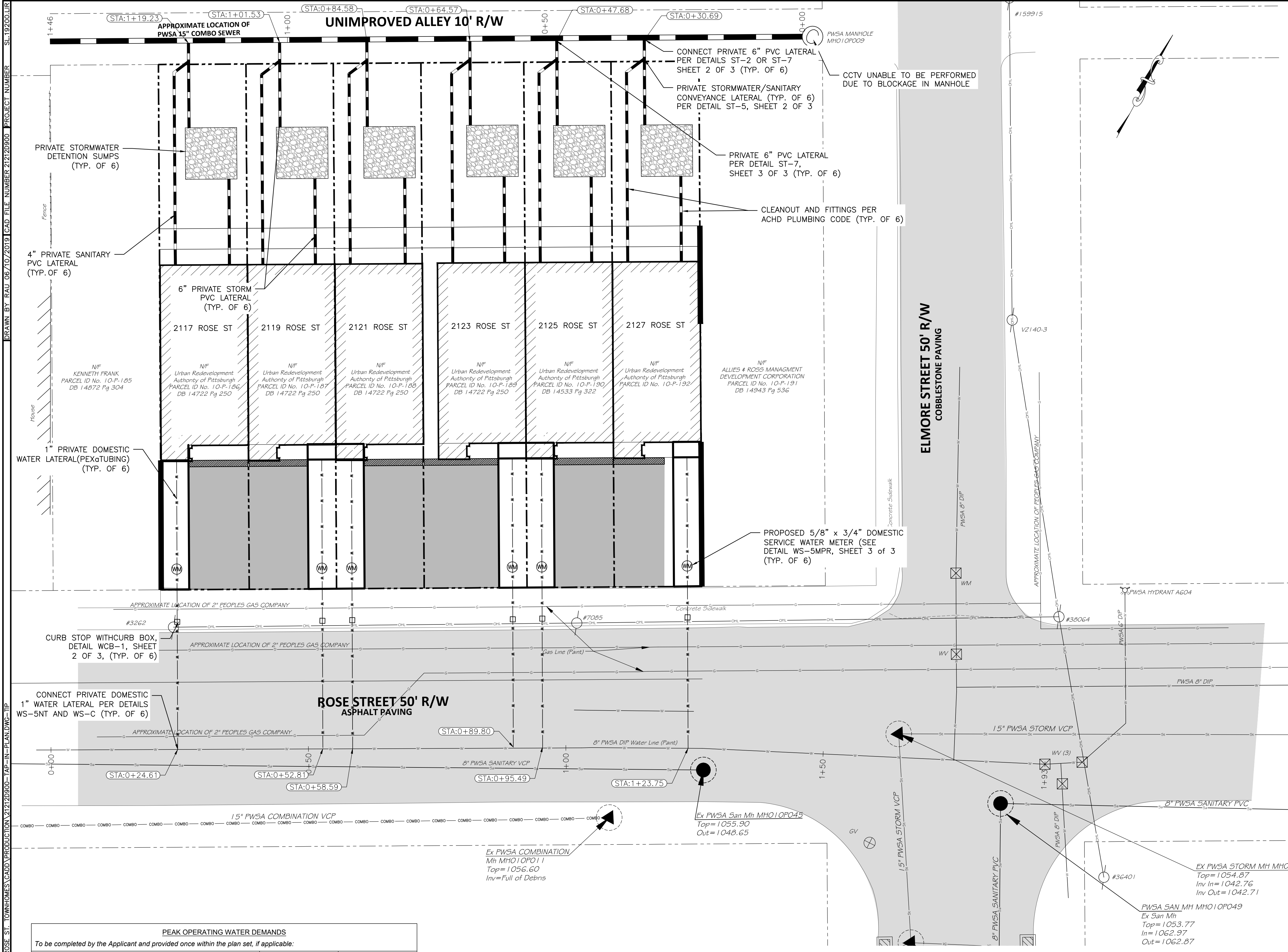
## 8. CERTIFICATION

I certify that ALL of the project information contained in this receipt (including project location, project size/configuration, project type, answers to questions) is true, accurate and complete. In addition, if the project type, location, size or configuration changes, or if the answers to any questions that were asked during this online review change, I agree to re-do the online environmental review.

  
applicant/project proponent signature

2/2/2023  
date





**THE PITTSBURGH WATER & SEWER AUTHORITY APPROVAL BLOCK**  
 To be completed by the Applicant and provided on each sheet within the plan set:

(Check all that apply)

- NEW WATER CONNECTION(S)
- NEW SEWER CONNECTION(S)
- REUSE EXISTING WATER CONNECTION(S)
- REUSE EXISTING SEWER CONNECTION(S)
- TERMINATE EXISTING WATER CONNECTION(S)
- TERMINATE EXISTING SEWER CONNECTION(S)
- PRIVATE CONSTRUCTION OF PUBLIC FACILITIES

To be completed by the PWSA:  
 (Required for ALL approvals)

REVIEWER, DEPT. OF ENGINEERING AND CONSTRUCTION

SENIOR PROJECT MANAGER, DEPT. OF ENGINEERING AND CONSTRUCTION

DIRECTOR OF OPERATIONS

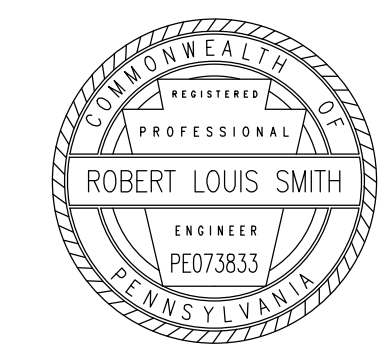
(Required for "Private Construction of Public Facilities" ONLY)

DIRECTOR, DEPT. OF ENGINEERING AND CONSTRUCTION

PWSA PROJECT NUMBER DEV-125-0622

TAP C RECORD NUMBER

The PWSA approval was based on information provided by others under the assumption that this information was accurate and complete. Please refer to the PWSA Developer's Manual for detailed information on the regulations and procedures for obtaining water and sewer service.



**PEAK OPERATING WATER DEMANDS**  
 To be completed by the Applicant and provided once within the plan set, if applicable:

METER INFORMATION				DOMESTIC SYSTEM		FIRE SYSTEM	
QUANTITY	SIZE	TYPE	USE	FLOW, GPM	PRESSURE, PSI	FLOW, GPM	PRESSURE, PSI
6	5/8x3/4"	POSITIVE DISPLACEMENT	DOMESTIC	20	20	-	-

METER SIZE: 1/2", 3/4", 1", 1 1/2", 2", 3", 4", 6", 8", 10", 12", 16"  
 METER TYPE: POSITIVE DISPLACEMENT, COMPOUND, ELECTROMAGNETIC, ULTRASONIC, TURBINE  
 METER USE: DOMESTIC, FIRE, COMBINATION

**PEAK DAILY SANITARY FLOW DEMANDS**  
 To be completed by the Applicant and provided once within the plan set, if applicable:

PROJECT FLOW, GPD	2,400
EXISTING FLOW, GPD	400
NET FLOW, GPD	2,000

PREPARED BY: **KU Resources, Inc.**  
 22 South Linden Street  
 Duquesne, PA 15110  
 412.469.9331  
 412.469.9336 fax

CALL BEFORE YOU DIG! SERIAL #20203162811  
 PENNSYLVANIA LAW REQUIRES 3 WORKING NOTICE CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL PennAware One Call System, Inc.

ROSE STREET VENTURES  
 186 42nd STREET, SUITE 40227  
 PITTSBURGH, PA 15201  
 WATER & SEWER SERVICE TAP-IN

**ROSE STREET TOWNHOMES**  
 2117-2119, 2123, 2125, 2127 ROSE STREET  
 PITTSBURGH, PA 15219

PLAN SCALE: 1" = 10'

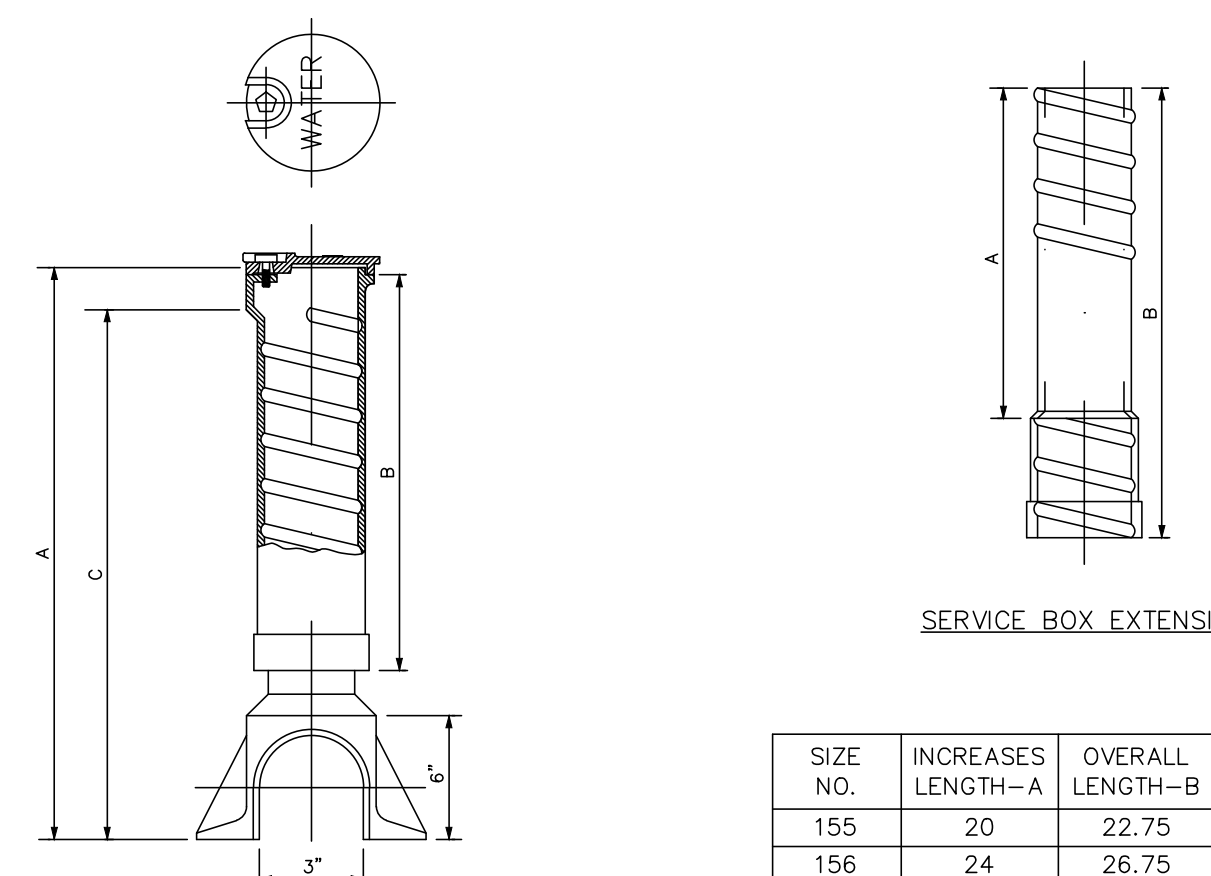
DATE: JUNE 2021  
 REV 1: FEBRUARY 3, 2023  
 REV 2: MARCH 3, 2023  
 REV 3: MARCH 17, 2023

SHEET 1 OF 3  
 CASE NO. \_\_\_\_\_

DRAWN BY: RAU 06/10/2019 CAD FILE NUMBER: 212120900 PROJECT NUMBER: SL19200001R  
 K:\CLIENTS\ROSE STREET VENTURES\212120900-TAP-IN-PLAN.DWG-TIP



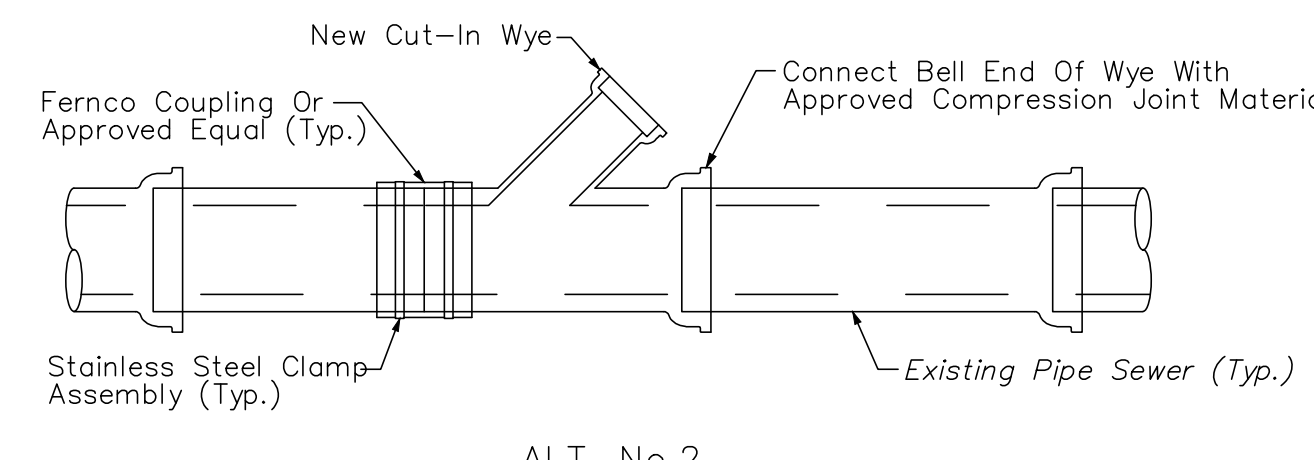
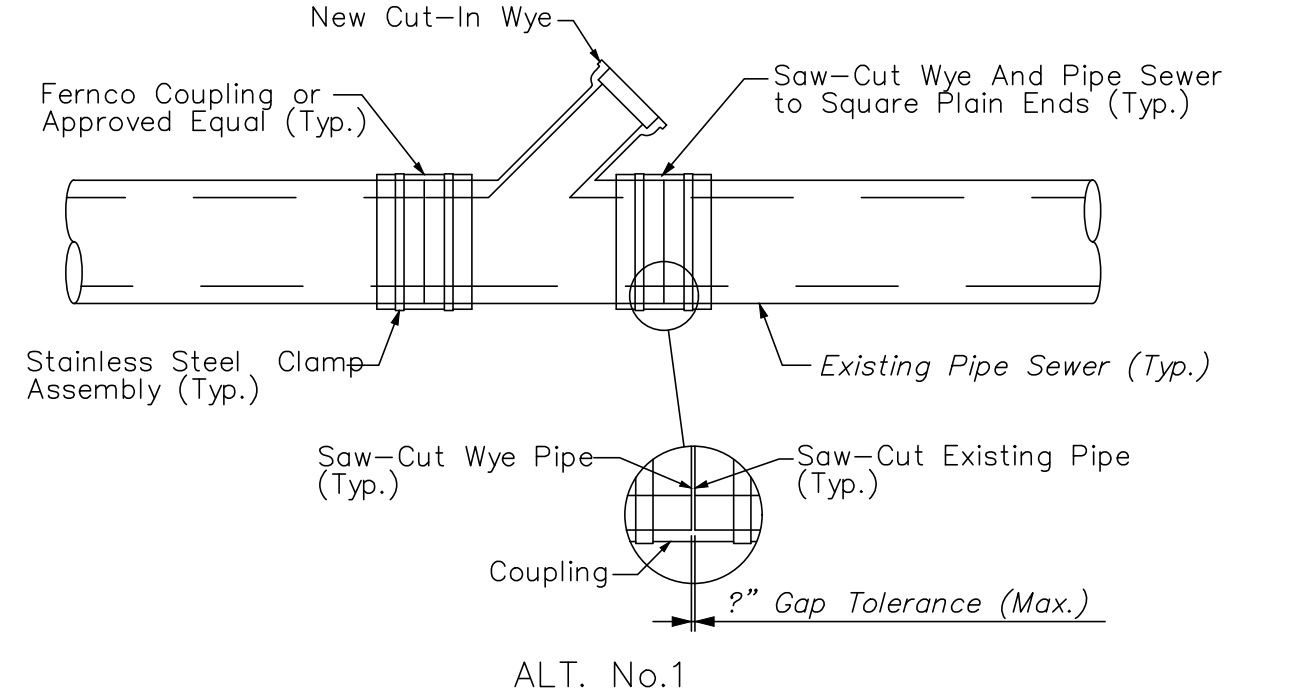
DRAWN BY: KRA 05/25/2021 CAD FILE NUMBER: 212120900 PROJECT NUMBER: 212120900



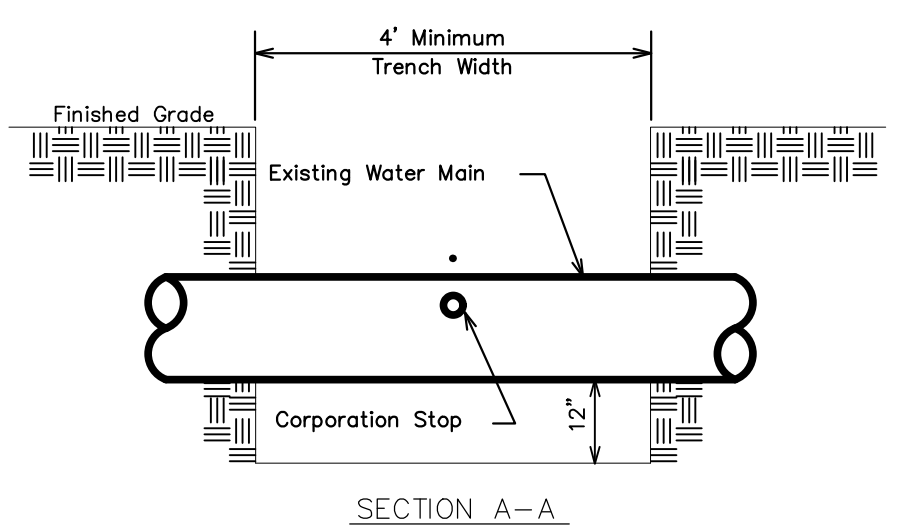
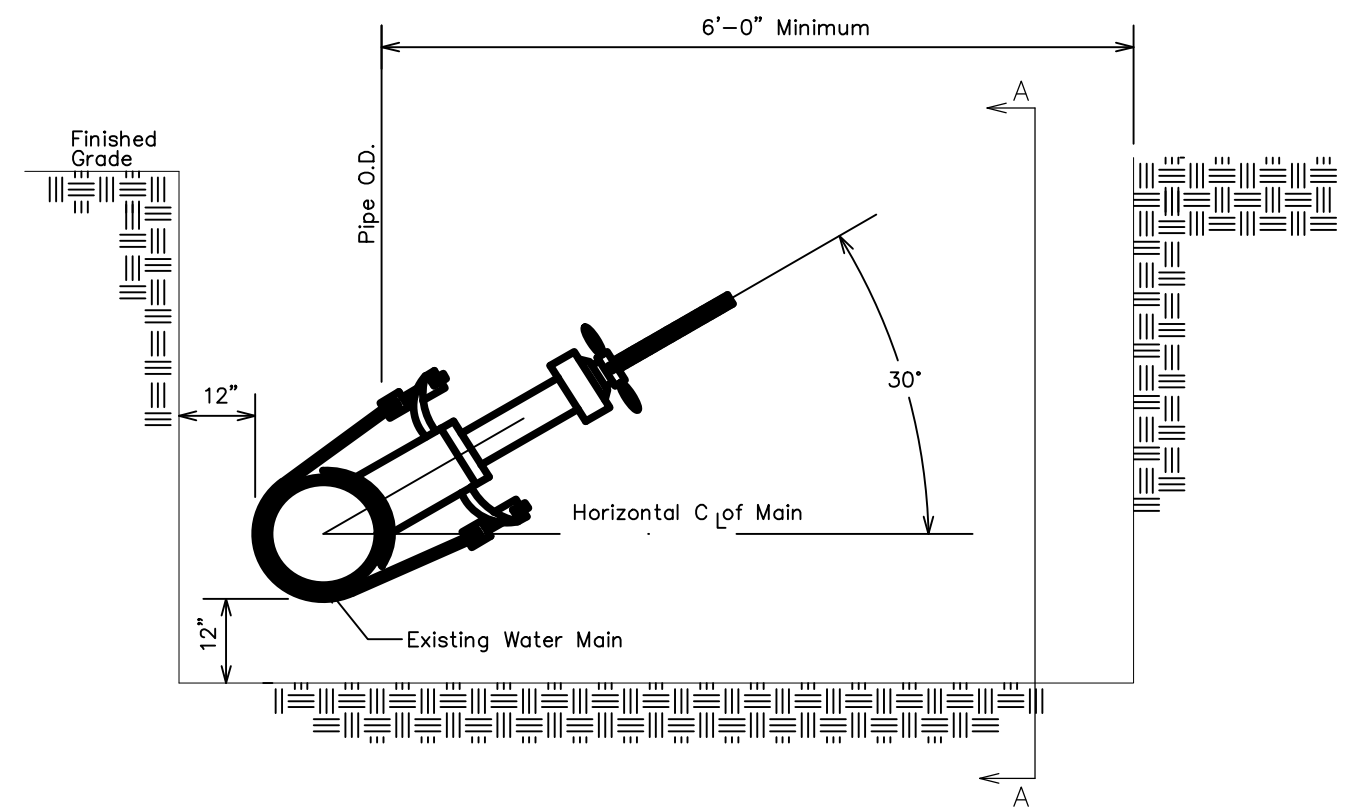
SIZE NO.	INCREASES LENGTH-A	OVERALL LENGTH-B	WEIGHT
155	20	22.75	13.1
156	24	26.75	17.7

SIZE NO.	EXTENSION RANGE - A	TOP SECTION & COVER NO.	TOP SECTION & COVER WEIGHT	TOP SECTION & COVER DIM. B	BOTTOM SECTION NO.	BOTTOM SECTION WEIGHT	BOTTOM SECTION DIM. C	TOTAL WEIGHT
2	24" - 39"	9	19.6	18	2	14.1	23.0	32.7

- NOTES:
- SERVICE BOX SHALL BE BINGHAM & TAYLOR BUFFALO STYLE (3" OLD STYLE), No. 4930 OR APPROVED EQUAL.
  - DIMENSIONS IN INCHES; WEIGHT IN POUNDS.
  - LABEL "WATER" ON THE COVER.



- NOTES:
- SAW-CUT EXISTING PIPE SEWER, NO BREAK-IN OR HAMMER CONNECTIONS PERMITTED. JOINTS MUST BE INSPECTED BY PWSA BEFORE AND AFTER FLEXIBLE COUPLINGS ARE INSTALLED.
  - WYE MATERIAL WILL MATCH SEWER MAIN MATERIAL.
  - PIPE MAIN I.D. OF NEW WYE SECTION WILL MATCH I.D. OF EXISTING PIPE SEWER MAIN.
  - WYE LOCATION WILL BE LOCATED AT 2 O'CLOCK OR 10 O'CLOCK ON BARRREL OF PIPE SEWER.



- NOTE:
- PWSA will make the actual tap.
  - Excavation and shoring required as per current OSHA standards.

REVISIONS

**PGH<sub>2</sub>O**

The Pittsburgh Water and Sewer Authority

**3" Curb Service Box**

Scale: N.T.S. Supplemental Detail Drawing: WCB-1

Approved by: Pittsburgh Water & Sewer Authority

REVISIONS

**PGH<sub>2</sub>O**

The Pittsburgh Water and Sewer Authority

**Cut-In Wye Pipe Transition**

Scale: N.T.S. Supplemental Detail Drawing: ST-7

Approved by: Pittsburgh Water & Sewer Authority

REVISIONS

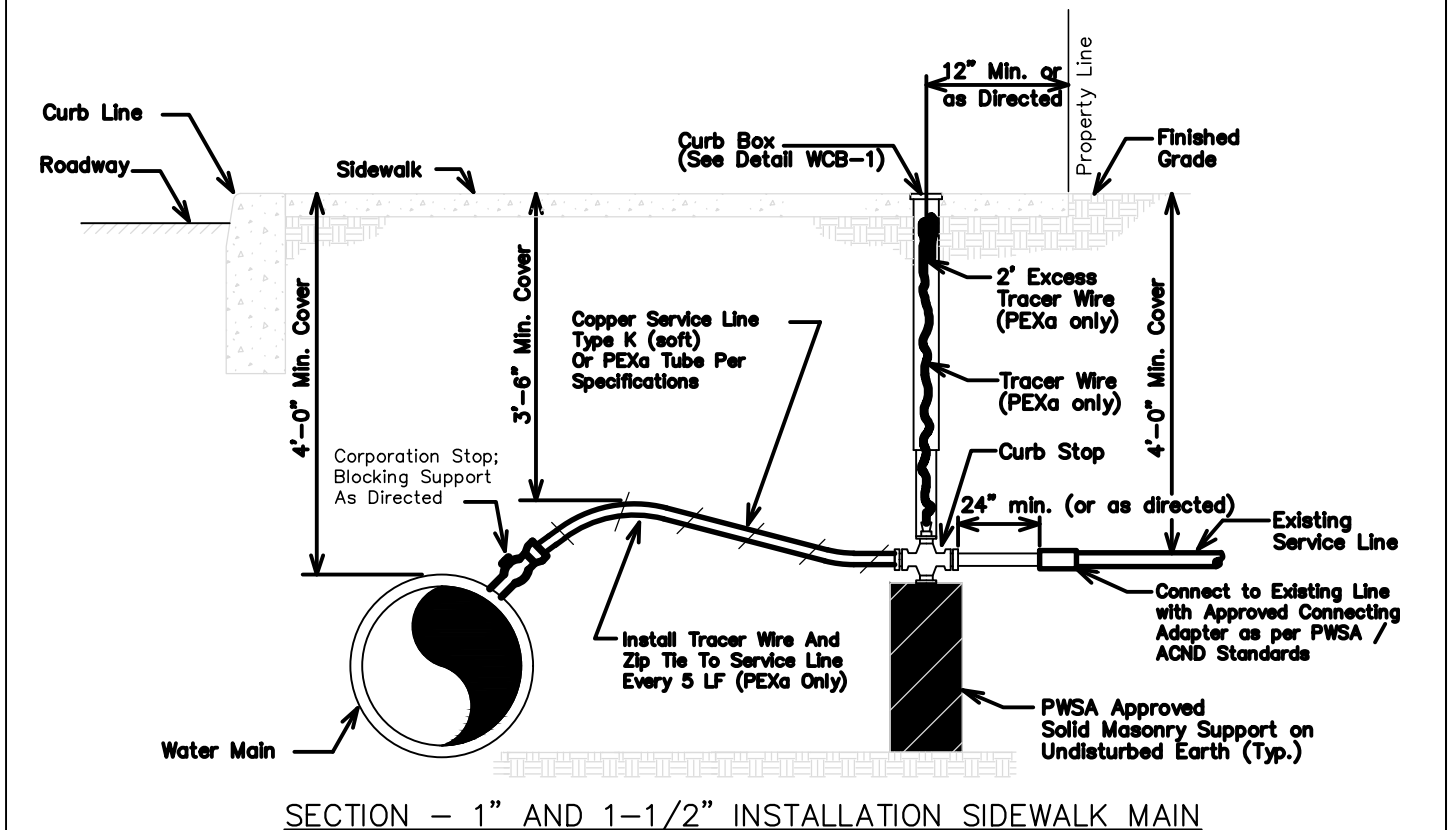
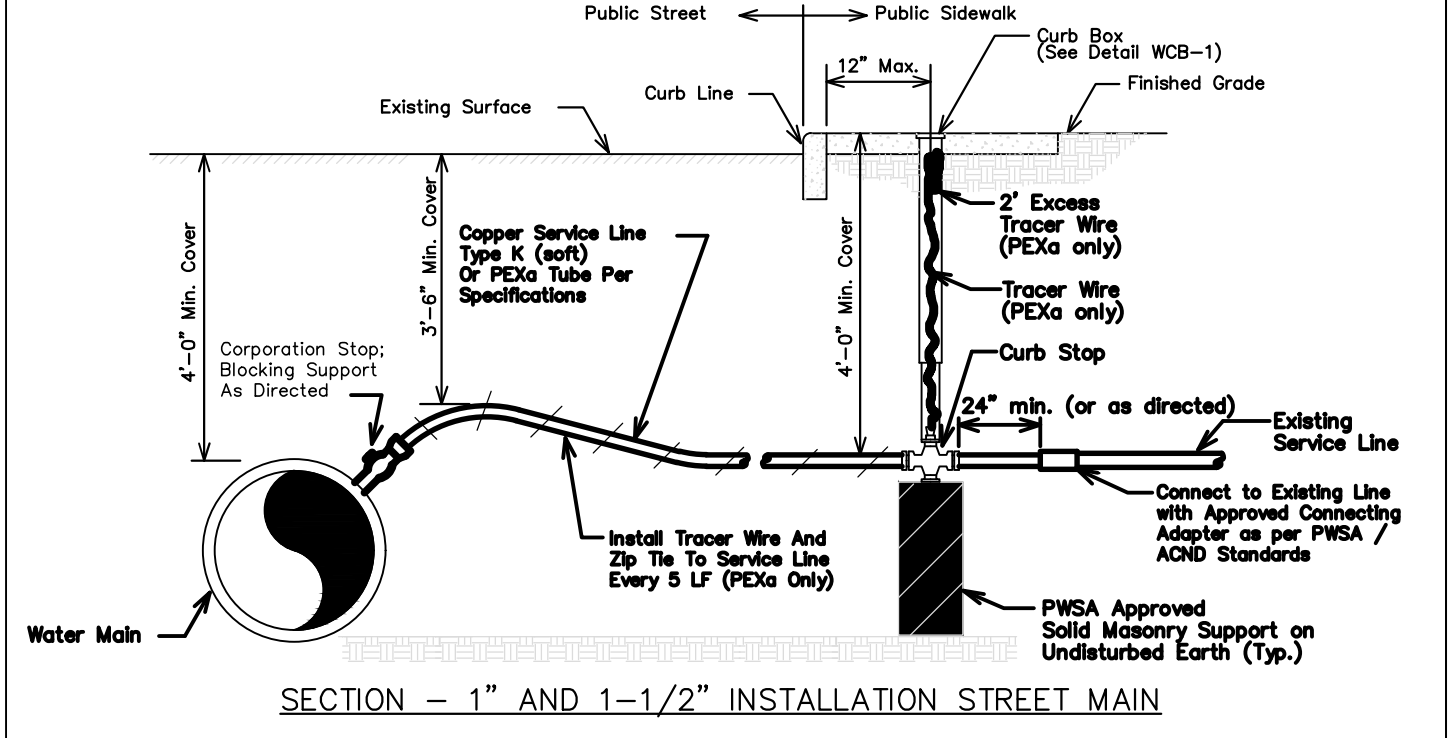
**PGH<sub>2</sub>O**

The Pittsburgh Water and Sewer Authority

**Trench Requirements For 1", 1-1/2" And 2" Water Service Tap**

Scale: N.T.S. Supplemental Detail Drawing: WS-C

Approved by: Pittsburgh Water & Sewer Authority



- NOTES:
- Only one PWSA meter will be installed per each service tap.
  - Domestic Service is 1" min. from PWSA main to meter.
  - Install PEXa pipe and tracer wire per specification 02515 - Water Service Connections.
  - Polywrap all metallic pipe, fittings and valves.

REVISIONS

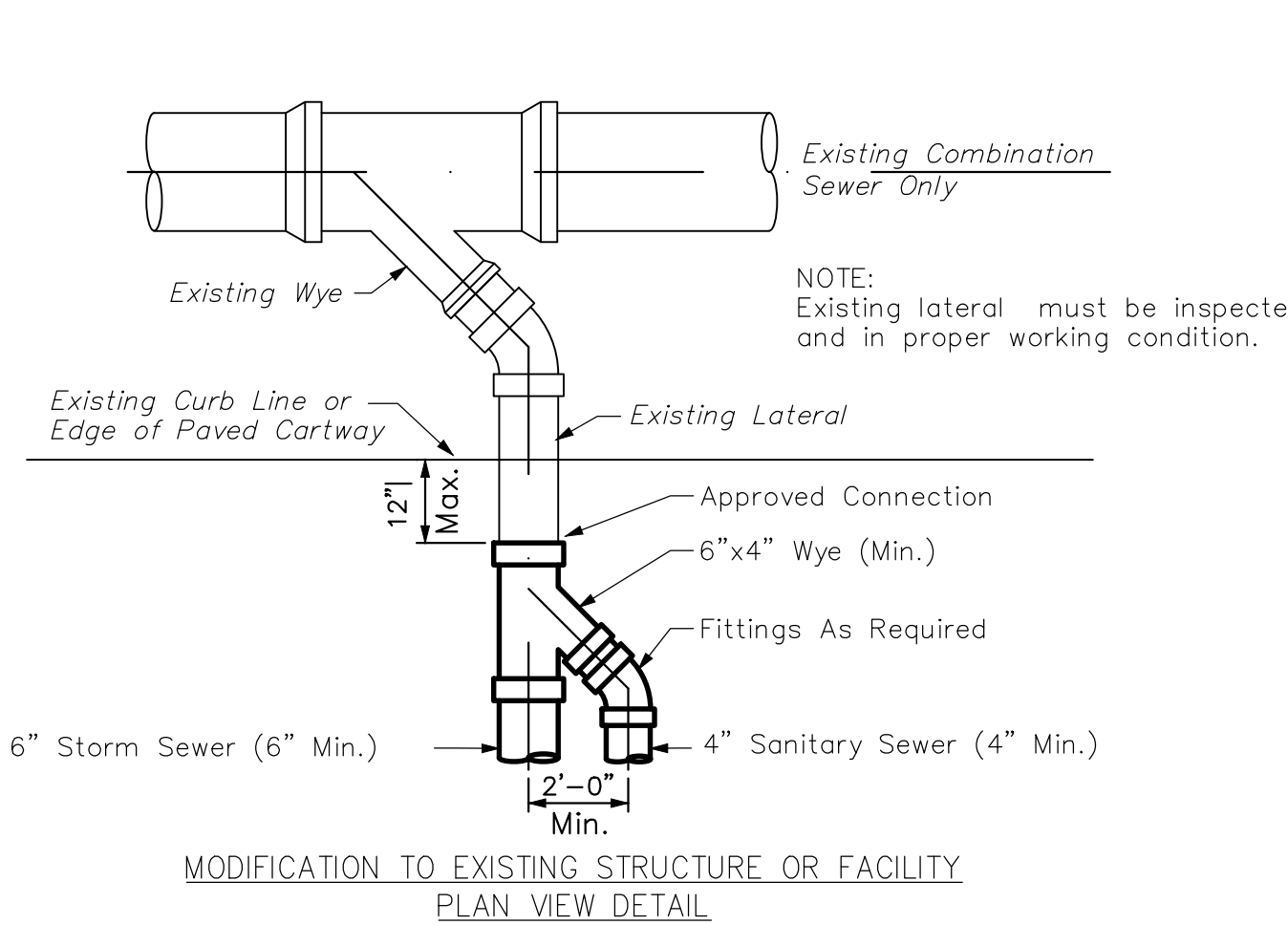
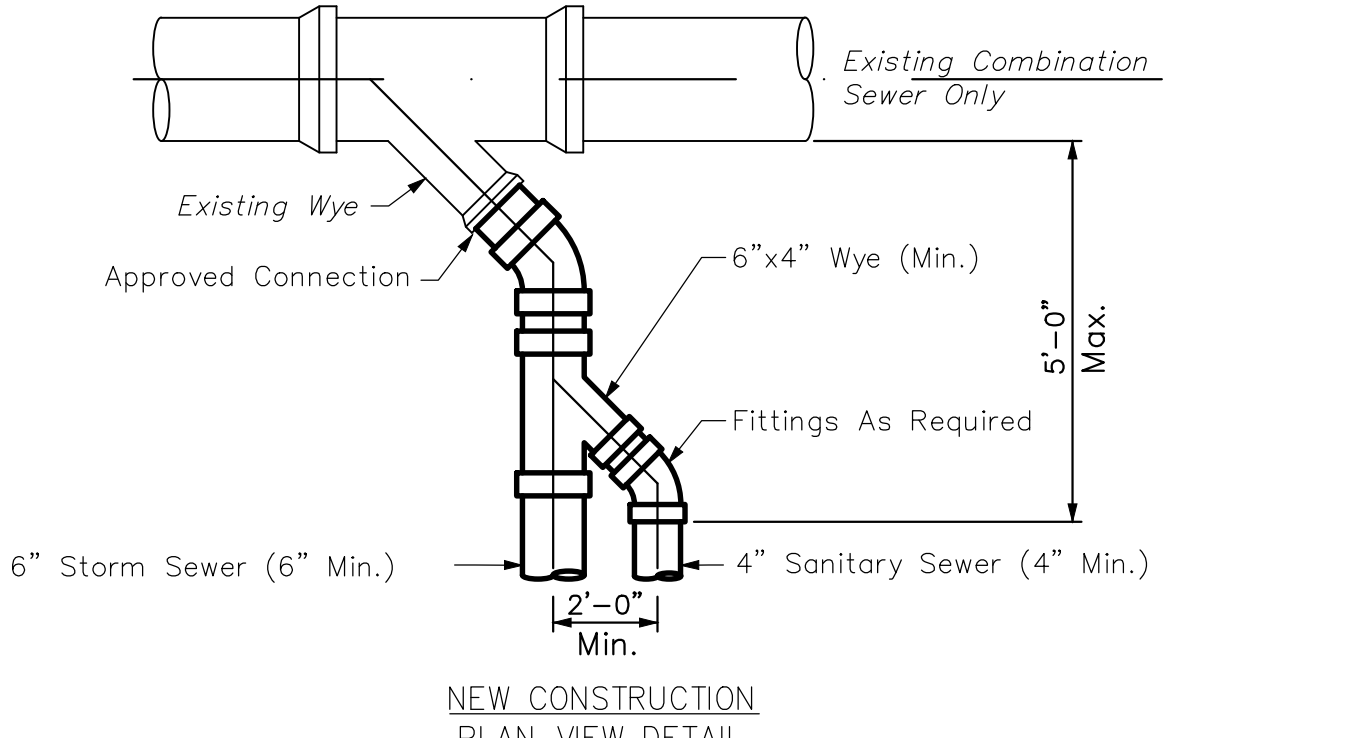
**PGH<sub>2</sub>O**

The Pittsburgh Water and Sewer Authority

**Water Service Line 1" And 1-1/2" Domestic / Fire New Installation**

Scale: N.T.S. Supplemental Detail Drawing: WS-5NT

Approved by: Pittsburgh Water & Sewer Authority



- NOTE:
- Existing lateral must be inspected and in proper working condition.

REVISIONS

**PGH<sub>2</sub>O**

The Pittsburgh Water and Sewer Authority

**Separated House Lateral One Connection To Main**

Scale: N.T.S. Supplemental Detail Drawing: ST-5

Approved by: Pittsburgh Water & Sewer Authority

THE PITTSBURGH WATER & SEWER AUTHORITY APPROVAL BLOCK

To be completed by the Applicant and provided on each sheet within the plan set:

(Check all that apply)

NEW WATER CONNECTION(S)

NEW SEWER CONNECTION(S)

REUSE EXISTING WATER CONNECTION(S)

REUSE EXISTING SEWER CONNECTION(S)

TERMINATE EXISTING WATER CONNECTION(S)

TERMINATE EXISTING SEWER CONNECTION(S)

PRIVATE CONSTRUCTION OF PUBLIC FACILITIES

To be completed by the PWSA:

(Required for ALL approvals)

REVIEWER, DEPT. OF ENGINEERING AND CONSTRUCTION

SENIOR PROJECT MANAGER, DEPT. OF ENGINEERING AND CONSTRUCTION

DIRECTOR OF OPERATIONS

(Required for "Private Construction of Public Facilities" ONLY)

DIRECTOR, DEPT. OF ENGINEERING AND CONSTRUCTION

PWSA PROJECT NUMBER DEV-125-0622

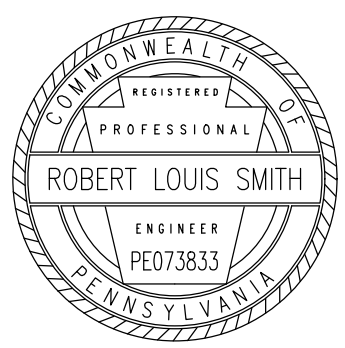
TAP C RECORD NUMBER \_\_\_\_\_

The PWSA approval was based on information provided by others under the assumption that this information was accurate and complete. Please refer to the PWSA Developer's Manual for detailed information on the regulations and procedures for obtaining water and sewer service.

CALL BEFORE YOU DIG! SERIAL #20203162811

PENNSYLVANIA LINE REQUIRES 3 WORKING NOTICE CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL Pennsylvania One Call System, Inc.

PENNSYLVANIA ACT 187 (1986) NOTIFICATION OF EXCAVATORS, DEEPENERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH SHALL PENNSYLVANIA ONE CALL SYSTEM, INC. AT 1-800-424-1779 BEFORE ANY DISTURBANCE.



**PGH<sub>2</sub>O**

Pittsburgh Water & Sewer Authority

PREPARED BY: **KU Resources, Inc.**  
 22 South Linden Street  
 Duquesne, PA 15110  
 412.469.9331  
 www.kuresources.com 412.469.9336 fax

ROSE STREET VENTURES  
 186 42nd STREET, SUITE 40227  
 PITTSBURGH, PA 15201  
 WATER & SEWER SERVICE TAP-IN

ROSE STREET TOWNHOMES  
 2117-2119, 2123, 2125, 2127 ROSE STREET  
 PITTSBURGH, PA 15219

PLAN SCALE: N.T.S.

DATE: JUNE 2021 SHEET \_\_\_\_\_ ACCESSION NO. \_\_\_\_\_

REV 1: FEBRUARY 3, 2023 2 OF 3

REV 2: MARCH 3, 2023 CASE NO. \_\_\_\_\_

REV 3: MARCH 17, 2023



DRAWN BY: KRA 05/25/2021 CAD FILE NUMBER: 212120900 PROJECT NUMBER: 212120900

**THE PITTSBURGH WATER & SEWER AUTHORITY APPROVAL BLOCK**  
 To be completed by the Applicant and provided on each sheet within the plan set:  
 (Check all that apply)  
 NEW WATER CONNECTION(S)  
 NEW SEWER CONNECTION(S)  
 REUSE EXISTING WATER CONNECTION(S)  
 REUSE EXISTING SEWER CONNECTION(S)  
 TERMINATE EXISTING WATER CONNECTION(S)  
 TERMINATE EXISTING SEWER CONNECTION(S)  
 PRIVATE CONSTRUCTION OF PUBLIC FACILITIES

To be completed by the PWSA:  
 (Required for ALL approvals)

REVIEWER, DEPT. OF ENGINEERING AND CONSTRUCTION

SENIOR PROJECT MANAGER, DEPT. OF ENGINEERING AND CONSTRUCTION

DIRECTOR OF OPERATIONS

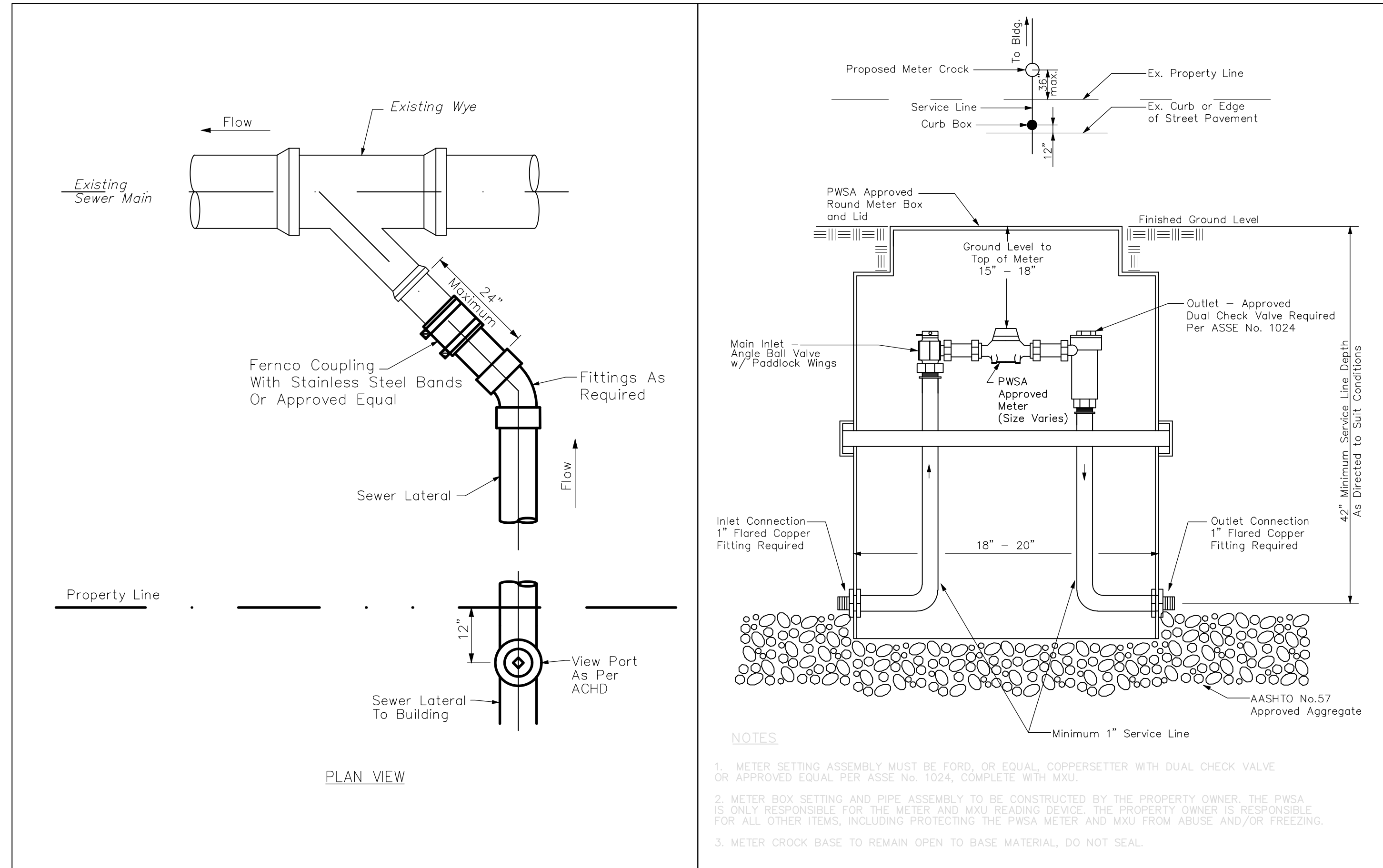
(Required for "Private Construction of Public Facilities" ONLY)

DIRECTOR, DEPT. OF ENGINEERING AND CONSTRUCTION

PWSA PROJECT NUMBER DEV-125-0622

TAP C RECORD NUMBER \_\_\_\_\_

The PWSA approval was based on information provided by others under the assumption that this information was accurate and complete. Please refer to the PWSA Developer's Manual for detailed information on the regulations and procedures for obtaining water and sewer service.



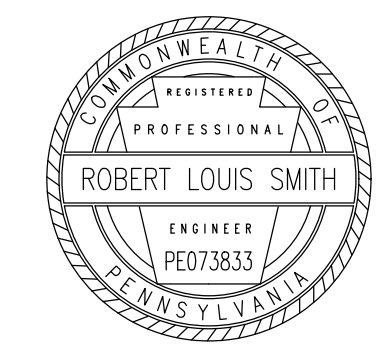
**NOTES**

- METER SETTING ASSEMBLY MUST BE FORD, OR EQUAL, COPPERSETTER WITH DUAL CHECK VALVE OR APPROVED EQUAL PER ASSE No. 1024, COMPLETE WITH MXU.
- METER BOX SETTING AND PIPE ASSEMBLY TO BE CONSTRUCTED BY THE PROPERTY OWNER. THE PWSA IS ONLY RESPONSIBLE FOR THE METER AND MXU READING DEVICE. THE PROPERTY OWNER IS RESPONSIBLE FOR ALL OTHER ITEMS, INCLUDING PROTECTING THE PWSA METER AND MXU FROM ABUSE AND/OR FREEZING.
- METER CROCK BASE TO REMAIN OPEN TO BASE MATERIAL, DO NOT SEAL.

<b>REVISIONS</b>	<b>PGH<sub>2</sub>O</b>	The Pittsburgh Water and Sewer Authority		<b>REVISIONS</b>	<b>PGH<sub>2</sub>O</b>	The Pittsburgh Water and Sewer Authority	
		Pittsburgh Water & Sewer Authority				Residential Domestic Service External Setting 5/8" - 1" Meter	
Approved by:		Scale: N.T.S.	Supplemental Detail Drawing: ST-2	Approved by:		Scale: N.T.S.	Supplemental Detail Drawing: WS-5MPR

CALL BEFORE YOU DIG! SERIAL #20203162811  
PENNSYLVANIA LAW REQUIRES 3 WORKING NOTICE CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL Pennsylvania One Call System, Inc.

PENNSYLVANIA ACT 187 (1986) NOTIFICATION OF EXCAVATORS, DEEPENERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH, CALL PENNSYLVANIA ONE CALL SYSTEM, INC. AT 1-800-424-1778 BEFORE ANY DISTURBANCE.



**PGH<sub>2</sub>O**

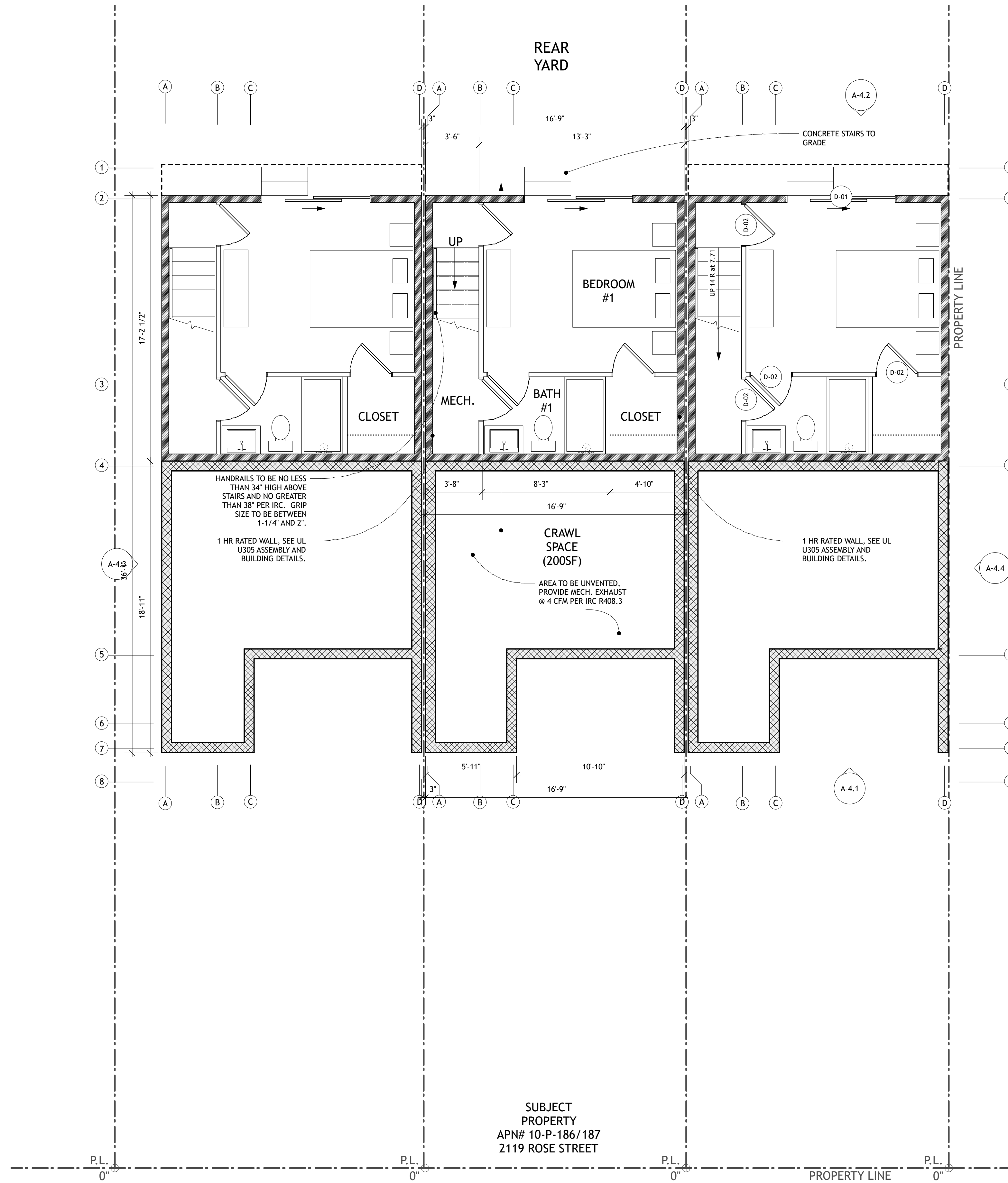
**Pittsburgh Water & Sewer Authority**

PREPARED BY: **KU Resources, Inc.**  
 22 South Linden Street  
 Duquesne, PA 15110  
 412.469.9331  
 412.469.9336 fax  
[www.kuresources.com](http://www.kuresources.com)

ROSE STREET VENTURES  
 186 42nd STREET, SUITE 40227  
 PITTSBURGH, PA 15201  
 WATER & SEWER SERVICE TAP-IN

ROSE STREET TOWNHOMES  
 2117-2119, 2123, 2125, 2127 ROSE STREET  
 PITTSBURGH, PA 15219

PLAN SCALE: N.T.S.  
 DATE: JUNE 2021 SHEET \_\_\_\_\_ ACCESSION NO. \_\_\_\_\_  
 REV 1: FEBRUARY 3, 2023 3 OF 3  
 REV 2: MARCH 3, 2023 CASE NO. \_\_\_\_\_  
 REV 3: MARCH 17, 2023



SUBJECT  
PROPERTY  
APN# 10-P-186/187  
2119 ROSE STREET

**SCALE**

0 5 10 FT

**WALL TYPE LEGEND**

- NON-RATED NON LOAD BEARING INTERIOR: 2" X 4" 16" O.C. INTERIOR FRAMED WOOD WALL; 5/8" DRY WALL INTERIOR SIDES
- 1 HR RATED EXTERIOR (U305): 2" X 6" 16" O.C. EXTERIOR FRAMED WOOD WALLS WITH FIRE RATED BOARD WITH U305 DESIGN CRITERIA, 1/2" EXTERIOR SHEATHING COMPLIANT WITH U305 DESIGN CRITERIA ; 5/8" DRY WALL TYPE COMPLIANT WITH U305 DESIGN CRITERIA INTERIOR SIDE, R-21 INSULATION PER UL U305 SPECS @ EXTERIOR LOCATIONS; SEE CONSTRUCTION DETAILS FOR EXTERIOR WALL ASSEMBLIES; SEE A-0.5 FOR ADDITIONAL INFO.
- PLUMBING WALL: 2" X 6" 16" O.C. FRAMED WOOD PLUMBING WALL; 5/8" DRY WALL INTERIOR SIDES, WET LOCATION DRY WALL IN BATH AREAS
- FOUNDATION WALL: CMU FOUNDATION WALL, SEE FRAMING PLANS

ISSUE	DATE
PERMIT SET	2.23.2022

**ROSE STREET RESIDENCES**  
2119 ROSE STREET  
PITTSBURGH, PA 15219

GENERAL CONTRACTORS, SUB CONTRACTORS, AND ALL TRADESMEN ARE TO USE INSTALLATION REQUIREMENTS AS ISSUED BY THE MANUFACTURERS OF THE PRODUCTS INSTALLED, AS WELL AS ALL APPLICABLE BUILDING CODES. THESE DRAWINGS ARE GENERAL DESIGN INTENT AND DO NOT REPLACE TECHNICAL REQUIREMENTS OF WARRANTED INSTALLATIONS BY MANUFACTURERS OR BUILDING CODES.

CIPRIANI STUDIOS EXPRESSLY RESERVES COMMON LAW COPYRIGHT AND OTHER PROPRIETARY RIGHTS TO ALL DESIGNS & INFORMATION IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION OF CIPRIANI STUDIOS.

NAME : FLOOR PLANS

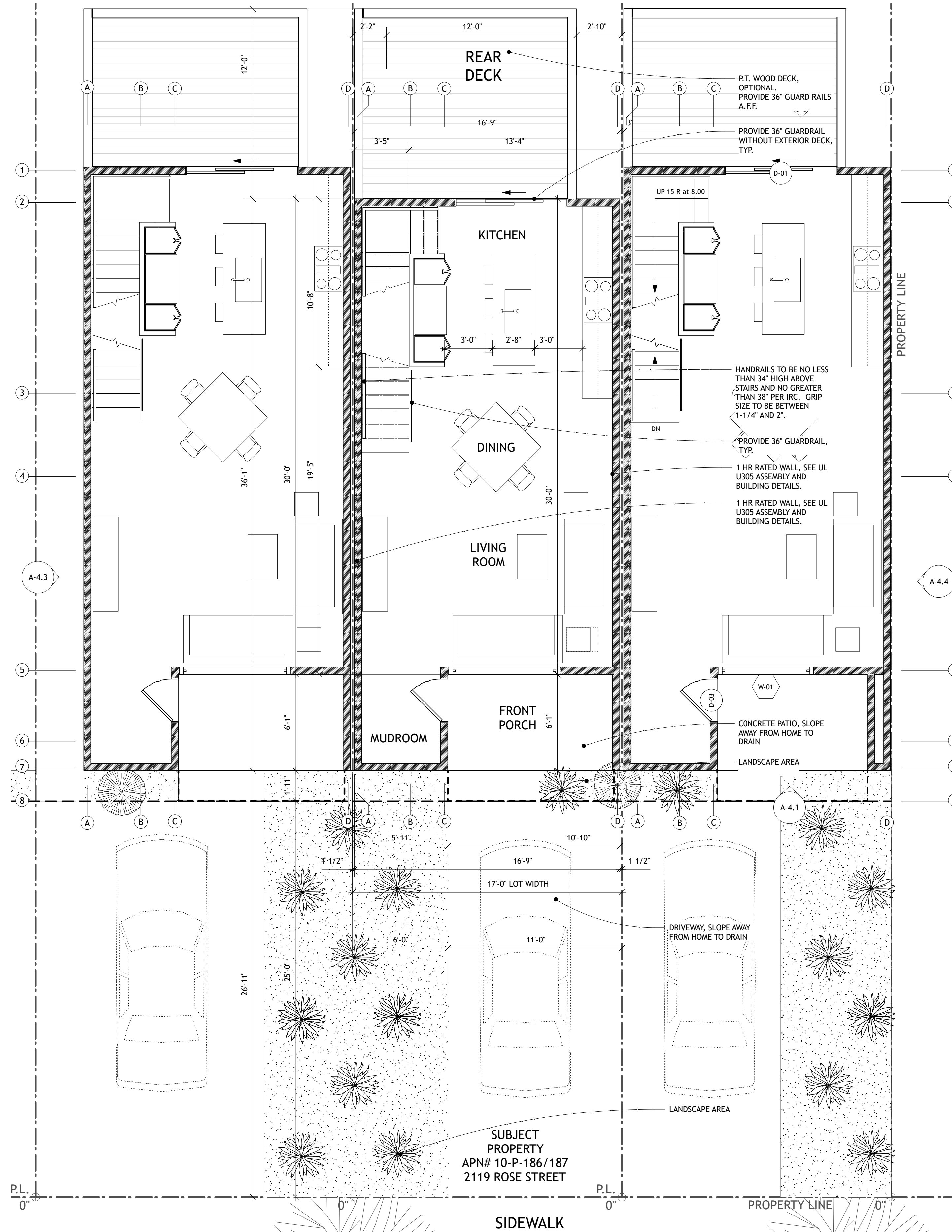


SCALE : 1/4"=1'-0"

**A2.1**

SHEET





**SCALE**

0 5 10 FT

**WALL TYPE LEGEND**

- NON-RATED NON LOAD BEARING INTERIOR: 2" X 4" 16" O.C. INTERIOR FRAMED WOOD WALL; 5/8" DRY WALL INTERIOR SIDES
- 1 HR RATED EXTERIOR (U305): 2" X 6" 16" O.C. EXTERIOR FRAMED WOOD WALLS WITH FIRE RATED BOARD WITH U305 DESIGN CRITERIA, 1/2" EXTERIOR SHEATHING COMPLIANT WITH U305 DESIGN CRITERIA ; 5/8" DRY WALL TYPE COMPLIANT WITH U305 DESIGN CRITERIA INTERIOR SIDE, R-21 INSULATION PER UL U305 SPECS @ EXTERIOR LOCATIONS; SEE CONSTRUCTION DETAILS FOR EXTERIOR WALL ASSEMBLIES; SEE A-0.5 FOR ADDITIONAL INFO.
- PLUMBING WALL: 2" X 6" 16" O.C. FRAMED WOOD PLUMBING WALL; 5/8" DRY WALL INTERIOR SIDES, WET LOCATION DRY WALL IN BATH AREAS
- FOUNDATION WALL: CMU FOUNDATION WALL, SEE FRAMING PLANS

ISSUE	DATE
PERMIT SET	2.23.2022

**ROSE STREET RESIDENCES**  
2119 ROSE STREET  
PITTSBURGH, PA 15219

GENERAL CONTRACTORS, SUB CONTRACTORS, AND ALL TRADESMEN ARE TO USE INSTALLATION REQUIREMENTS AS ISSUED BY THE MANUFACTURERS OF THE PRODUCTS INSTALLED, AS WELL AS ALL APPLICABLE BUILDING CODES. THESE DRAWINGS ARE GENERAL DESIGN INTENT AND DO NOT REPLACE TECHNICAL REQUIREMENTS OF WARRANTED INSTALLATIONS BY MANUFACTURERS OR BUILDING CODES.

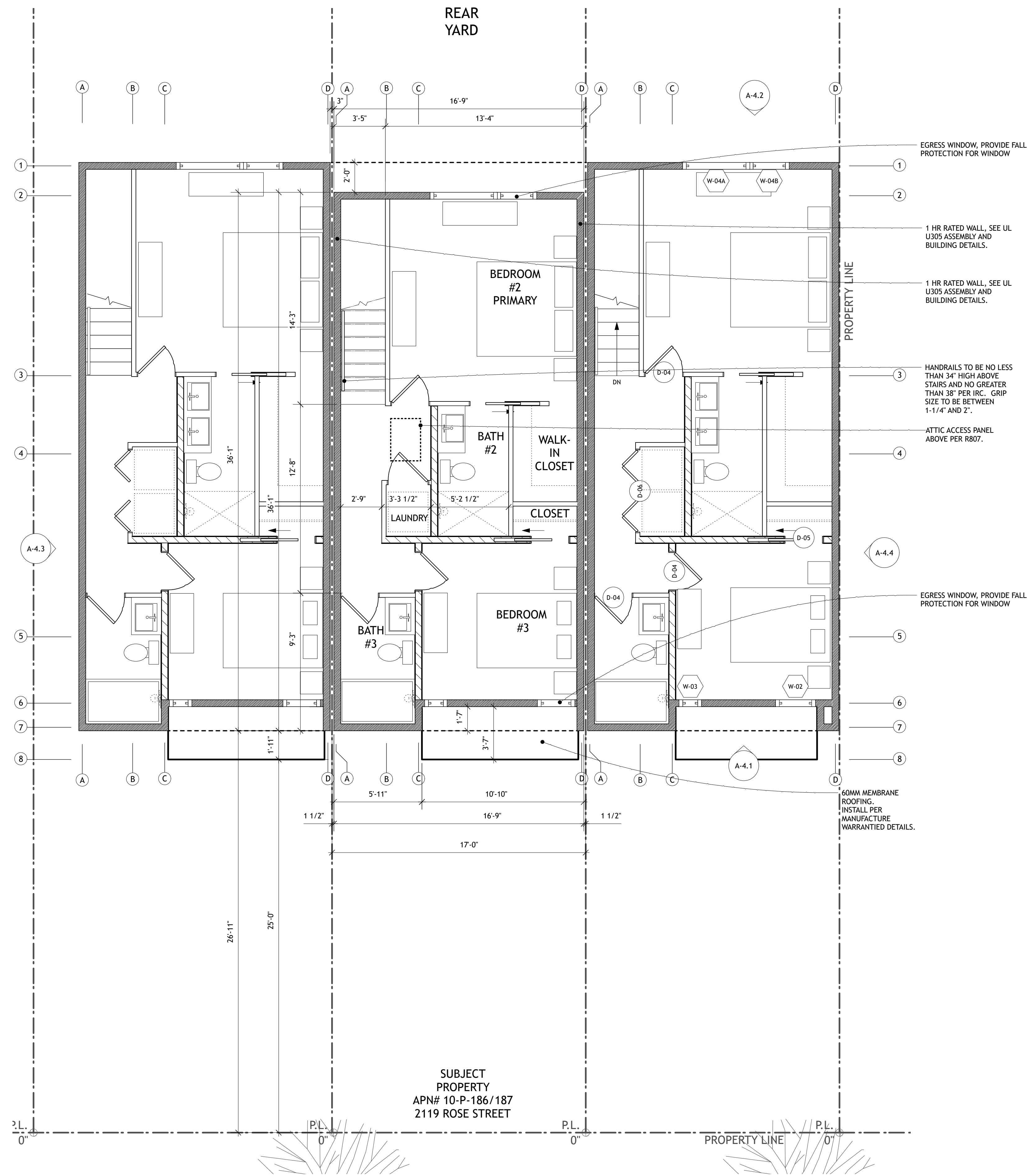
CIPRIANI STUDIOS EXPRESSLY RESERVES COMMON LAW COPYRIGHT AND OTHER PROPRIETARY RIGHTS TO ALL DESIGNS & INFORMATION IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST BEING ASSIGNED THE EXPRESS WRITTEN PERMISSION OF CIPRIANI STUDIOS.

NAME : FLOOR PLANS



SCALE : 1/4"=1'-0"

MAIN LEVEL FLOOR PLAN



EGRESS WINDOW, PROVIDE FALL PROTECTION FOR WINDOW

1 HR RATED WALL, SEE UL U305 ASSEMBLY AND BUILDING DETAILS.

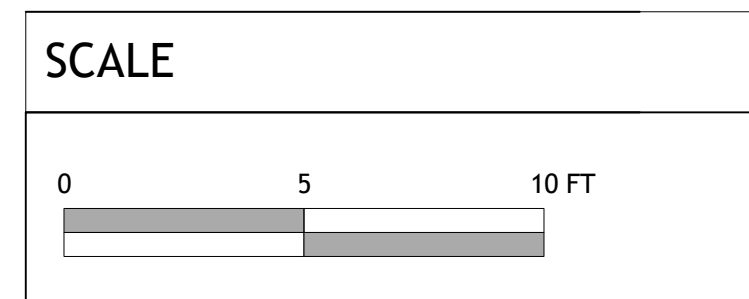
1 HR RATED WALL, SEE UL U305 ASSEMBLY AND BUILDING DETAILS.

HANDRAILS TO BE NO LESS THAN 34" HIGH ABOVE STAIRS AND NO GREATER THAN 38" PER IRC. GRIP SIZE TO BE BETWEEN 1-1/4" AND 2".

ATTIC ACCESS PANEL ABOVE PER R807.

EGRESS WINDOW, PROVIDE FALL PROTECTION FOR WINDOW

60MM MEMBRANE ROOFING. INSTALL PER MANUFACTURE WARRANTED DETAILS.



**WALL TYPE LEGEND**

	NON-RATED NON LOAD BEARING INTERIOR: 2" X 4" 16" O.C. INTERIOR FRAMED WOOD WALL; 5/8" DRY WALL INTERIOR SIDES
	1 HR RATED EXTERIOR (U305): 2" X 6" 16" O.C. EXTERIOR FRAMED WOOD WALLS WITH FIRE RATED BOARD WITH U305 DESIGN CRITERIA, 1/2" EXTERIOR SHEATHING COMPLIANT WITH U305 DESIGN CRITERIA ; 5/8" DRY WALL TYPE COMPLIANT WITH U305 DESIGN CRITERIA INTERIOR SIDE, R-21 INSULATION PER UL U305 SPECS @ EXTERIOR LOCATIONS; SEE CONSTRUCTION DETAILS FOR EXTERIOR WALL ASSEMBLIES; SEE A-0.5 FOR ADDITIONAL INFO.
	PLUMBING WALL: 2" X 6" 16" O.C. FRAMED WOOD PLUMBING WALL; 5/8" DRY WALL INTERIOR SIDES, WET LOCATION DRY WALL IN BATH AREAS
	FOUNDATION WALL: CMU FOUNDATION WALL, SEE FRAMING PLANS

ISSUE	DATE
PERMIT SET	2.23.2022

**ROSE STREET RESIDENCES**  
2119 ROSE STREET  
PITTSBURGH, PA 15219

GENERAL CONTRACTORS, SUB CONTRACTORS, AND ALL TRADESMEN ARE TO USE INSTALLATION REQUIREMENTS AS ISSUED BY THE MANUFACTURERS OF THE PRODUCTS INSTALLED, AS WELL AS ALL APPLICABLE BUILDING CODES. THESE DRAWINGS ARE GENERAL DESIGN INTENT AND DO NOT REPLACE TECHNICAL REQUIREMENTS OF WARRANTED INSTALLATIONS BY MANUFACTURERS OR BUILDING CODES.

CIPRIANI STUDIOS EXPRESSLY RESERVES COMMON LAW COPYRIGHT AND OTHER PROPRIETARY RIGHTS TO ALL DESIGNS & INFORMATION IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION OF CIPRIANI STUDIOS.

NAME : FLOOR PLANS



SCALE : 1/4"=1'-0"

UPPER LEVEL FLOOR PLAN



ALL SIGNATURES MUST BE MADE WITH A BLUE INK PEN

**PROPERTY OWNER**

KNOW ALL MEN BY THESE PRESENTS: THAT THE URBAN REDEVELOPMENT AUTHORITY OF PITTSBURGH, A REDEVELOPMENT AUTHORITY ESTABLISHED AND EXISTING UNDER THE REDEVELOPMENT LAW, 35 P.S. § 1701 ET SEQ., AS AMENDED, DOES HEREBY ADOPT THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY, SITUATED IN THE 5TH WARD, CITY OF PITTSBURGH, ALLEGHENY COUNTY, PENNSYLVANIA.

IN WITNESS WHEREOF THE CORPORATE SEAL TO BE AFFIXED BY THE HAND OF ITS EXECUTIVE DIRECTOR AND THE SAME TO BE ATTESTED BY ITS ASSISTANT SECRETARY, THIS 31st DAY OF November, 2022

ATTEST:  
 URBAN REDEVELOPMENT AUTHORITY OF PITTSBURGH  
 ASSISTANT SECRETARY  
 EXECUTIVE DIRECTOR

**NOTARY PUBLIC**  
 COMMONWEALTH OF PENNSYLVANIA ) SS;  
 COUNTY OF ALLEGHENY ) SS;

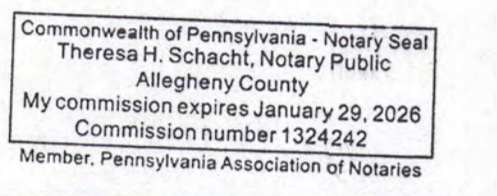
ON THIS THE 31st DAY OF November, 2022, BEFORE ME, THE UNDERSIGNED OFFICER PERSONALLY APPEARED GREG FLISRAM, WHO ACKNOWLEDGED HIMSELF TO BE THE EXECUTIVE DIRECTOR OF THE URBAN AUTHORITY OF PITTSBURGH, A REDEVELOPMENT AUTHORITY, AND THAT HE AS SUCH EXECUTIVE OFFICER, BEING AUTHORIZED TO DO SO, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSE THEREIN CONTAINED BY THE SIGNING IN THE NAME OF THE CORPORATION BY HIMSELF AS EXECUTIVE DIRECTOR.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND OFFICIAL SEAL. SWORN TO AND SUBSCRIBED BEFORE ME THE DAY AND DATE ABOVE WRITTEN.

WITNESS MY HAND AND NOTARIAL SEAL THIS 31st DAY OF November, 2022

MY COMMISSION EXPIRES THE 29th DAY OF January, 2026.

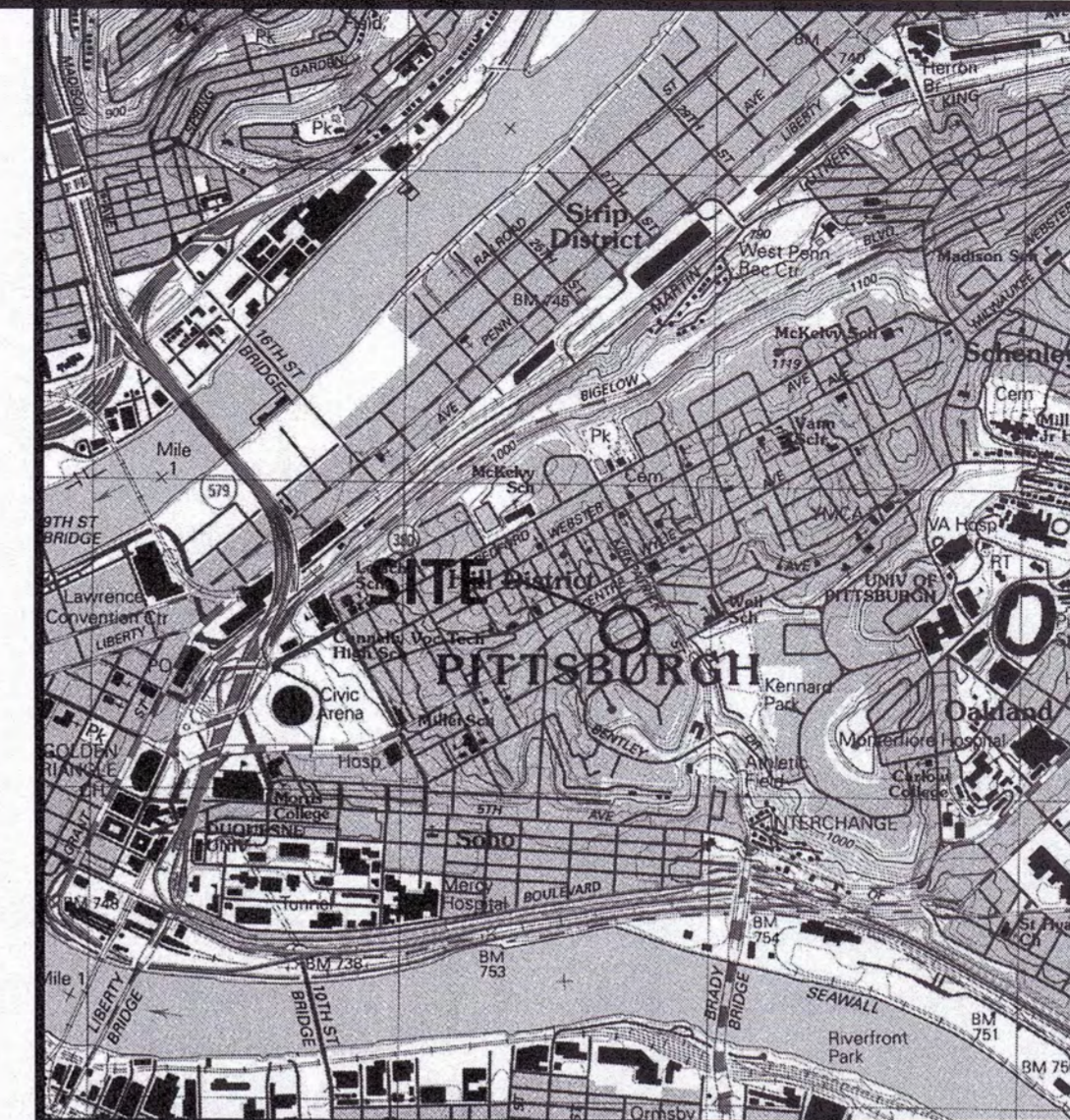
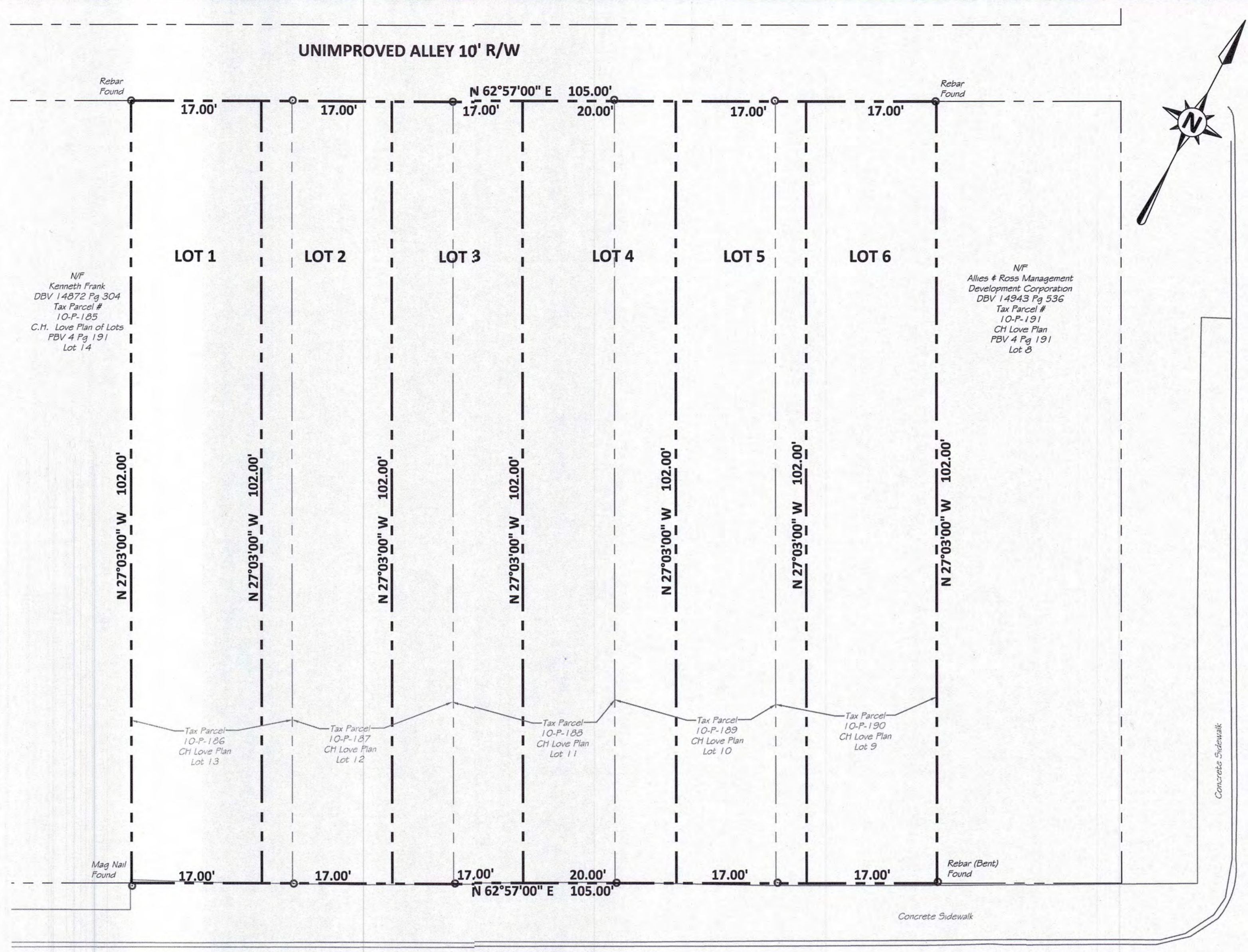
NOTARY PUBLIC  
 COMMONWEALTH OF PENNSYLVANIA



**CERTIFICATION OF TITLE AND NO MORTGAGE**

WE THE URBAN REDEVELOPMENT AUTHORITY OF PITTSBURGH, OWNER OF ROSE RESIDENCE PLAN OF LOTS, DO HEREBY CERTIFY THAT THE TITLE OF THIS PROPERTY IS IN THE NAME OF THE URBAN REDEVELOPMENT AUTHORITY OF PITTSBURGH, AS RECORDED IN DEED BOOK VOLUME 14722 PAGE 250 AND DEED BOOK VOLUME 14533 PAGE 322 IN THE RECORDERS OF DEEDS OFFICE.

URBAN REDEVELOPMENT AUTHORITY OF PITTSBURGH  
 WITNESS  
 EXECUTIVE DIRECTOR



LOCATION MAP  
 1"=2000'

**CALL BEFORE YOU DIG!**  
 PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL

**PA1** POCS SERIAL NUMBER  
 1-800-242-1776 20203162811-000

CITY OF PITTSBURGH  
 DEPARTMENT OF CITY PLANNING  
 APPROVED: \_\_\_\_\_  
 CITY PLANNING COMMISSION  
 CHAIRMAN  
 ATTEST: \_\_\_\_\_  
 SECRETARY

Application No DCP-LOT-2022-00297 was APPROVED by Pittsburgh's Planning Commission on March 22, 2022

**ROSE STREET 50' R/W ASPHALT PAVING**

**PROPOSED AREA SUMMARY**

PARCEL	SQ. FT.	ACRE(S)
LOT 1	1,734.00	0.0398
LOT 2	1,734.00	0.0398
LOT 3	1,734.00	0.0398
LOT 4	2,040.00	0.0468
LOT 5	1,734.00	0.0398
LOT 6	1,734.00	0.0398
TOTAL AREA	10,710.00	0.2459

**EXISTING AREA SUMMARY**

PARCEL	SQ. FT.	ACRE(S)
10-P-186	2,142.00	0.0492
10-P-187	2,142.00	0.0492
10-P-188	2,142.00	0.0492
10-P-189	2,142.00	0.0492
10-P-190	2,142.00	0.0492
TOTAL AREA	10,710.00	0.2459

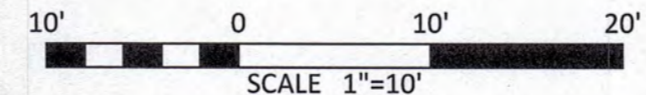
**ZONING DISTRICT RM-M MULTI-UNIT RESIDENTIAL MEDIUM DENSITY**

	REQUIRED	PROPOSED
MINIMUM LOT SIZE	3,200 S.F.	10,710.00 S.F.
MINIMUM LOT SIZE PER UNIT	1,800 S.F.	1699.32 S.F.
MINIMUM FRONT SETBACK	25'	25'
MINIMUM REAR SETBACK	25'	>25'
MINIMUM EXTERIOR SIDE SETBACK	0'	0'
MINIMUM INTERIOR SIDE SETBACK	0' (W/PARTYWALL)	0' (W/PARTYWALL)
MAXIMUM BUILDING HEIGHT	55' NOT TO EXCEED 4 STORIES	40' 3 STORIES

BEING A CORRECTION TO ROSE RESIDENCES AS RECORDED IN PLAN BOOK VOLUME 312 PAGE 161 TO SHOW THE CORRECT OWNER INFORMATION

BEING A RE-SUBDIVISION OF LOTS 9 THROUGH 13 IN THE C.H. LOVE PLAN OF LOTS AS RECORDED IN PLAN BOOK VOLUME 4 PAGE 191.

**RECORD OWNER**  
 THE URBAN REDEVELOPMENT AUTHORITY OF PITTSBURGH  
 412 BOULEVARD OF THE ALLIES  
 SUITE 901  
 PITTSBURGH, PA 15219

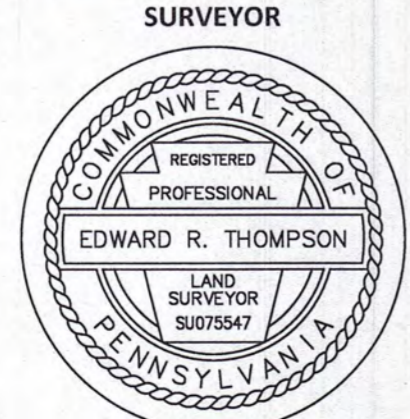
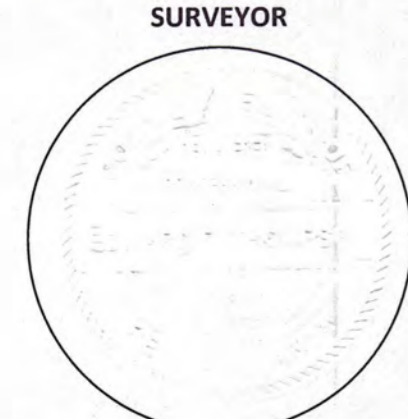


COMMONWEALTH OF PENNSYLVANIA )  
 COUNTY OF ALLEGHENY ) SS:

RECORDED IN THE OFFICE OF THE DEPARTMENT OF REAL ESTATE OF THE COUNTY OF ALLEGHENY, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 315, PAGE(S) 32.

GIVEN UNDER MY HAND AND SEAL THIS 10 DAY OF Nov, 2022.  
 JERRY TYSKIEWICZ, MANAGER  
 Jessica Garofalo

EDWARD R. THOMPSON, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.  
 DATE 11/09/2022  
 EDWARD R. THOMPSON  
 REG. NO. SU075547



No.	Date	Description	By
1	10/19/22	Revised to show correct owner information.	RT

**ROSE RESIDENCES**  
 SITUATE IN 5th WARD  
 CITY OF PITTSBURGH  
 ALLEGHENY COUNTY, PENNSYLVANIA

Drawn By: WTS  
 Checked By: ERT  
 Approved By: ERT

Date: APRIL 7, 2021

Drawing No. 21212 SUBDIVISION  
 Sheet No. 1 of 1  
 Filename: RSTV21212TH.01

**Mittal Division**  
 of KU Resources, Inc.  
 117 SAGAMORE HILL ROAD  
 TEL: (724) 327-7474  
 PITTSBURGH, PA 15239  
 FAX: (724) 325-2734

ALL SIGNATURES MUST BE MADE WITH A BLUE INK PEN

Plotted: 10/19/2022 2:02 PM  
 Layout: 10-18-22.dwg  
 User: Edward R. Thompson  
 Layer: 10-18-22.dwg