

January 5, 2024

City of Pittsburgh
414 Grant St.,
Pittsburgh, PA 15219

Re: South Side Clean Express Auto Wash
Sewage Planning Module Application
BL Project No. 2101007

Dear City of Pittsburgh:

On behalf of Clean Express Auto Wash, BL Companies is pleased to submit the Sewer Facility Planning Module Component 4A, Component 3, Transmittal and Resolution for the South Side Clean Express Auto Wash development at 3045 Sarah St., Pittsburgh, Allegheny County, Pennsylvania. As you know, the Sewer Facility Planning Module Component 3 and 4A require feedback and documentation from the City of Pittsburgh and the Transmittal and Resolution require approval from the Board of Commissioners. We have provided this information for your review and comment and ask to be placed on the agenda for the Board of Commissioners as soon as possible for submission to DEP. The following items are included as part of this submission:

- DEP Transmittal Letter
- DEP Resolution Letter
- SPM Component 3
- SPM Component 4A
- Project Narrative
- Project Alternative Sewage Facilities Analysis
- Sewer Flow Calculations
- Sewer Collector Flow Map
- Project Location Map
- Site Development Plan
- PNDI Receipt
- DEP Completeness Checklist

If you have any questions or require any addition information, please do not hesitate to contact me by phone at 412-435-3907 or by email at tdamico@blcompanies.com.

Sincerely,

BL COMPANIES



Travis D'Amico, P.E.
Regional Manager

SEWAGE FACILITIES PLANNING MODULE

Component 3. Sewage Collection and Treatment Facilities

(Return completed module package to appropriate municipality)

DEP USE ONLY

DEP CODE #	CLIENT ID #	SITE ID #	APS ID #	AUTH ID #

This planning module component is used to fulfill the planning requirements of Act 537 for the following types of projects: (1) a subdivision to be served by sewage collection, conveyance or treatment facilities, (2) a tap-in to an existing collection system with flows on a lot of 2 EDU's or more, or (3) the construction of, or modification to, wastewater collection, conveyance or treatment facilities that will require DEP to issue or modify a Clean Streams Law permit. Planning for any project that will require DEP to issue or modify a permit cannot be processed by a delegated agency. Delegated agencies must send their projects to DEP for final planning approval.

This component, along with any other documents specified in the cover letter, must be completed and submitted to the municipality with jurisdiction over the project site for review and approval. All required documentation must be attached for the Sewage Facilities Planning Module to be complete. Refer to the instructions for help in completing this component.

REVIEW FEES: Amendments to the Sewage Facilities Act established fees to be paid by the developer for review of planning modules for land development. These fees may vary depending on the approving agency for the project (DEP or delegated local agency). Please see section R and the instructions for more information on these fees.

NOTE: All projects must complete Sections A through I, and Sections O through R. Complete Sections J, K, L, M and/or N if applicable or marked .

A. PROJECT INFORMATION (See Section A of instructions)

1. Project Name South Side Clean Express Auto Wash
2. Brief Project Description Development of a proposed Car Wash with associated parking and stormwater facilities.

B. CLIENT (MUNICIPALITY) INFORMATION (See Section B of instructions)

Municipality Name	County	City	Boro	Twp
City of Pittsburgh	Allegheny	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Municipality Contact Individual - Last Name	First Name	MI	Suffix	Title
Prendergast	Kyla			Senior Env. Planner
Additional Individual Last Name	First Name	MI	Suffix	Title
Municipality Mailing Address Line 1		Mailing Address Line 2		
414 Grant St.				
Address Last Line -- City		State	ZIP+4	
Pittsburgh		PA	15219	
Area Code + Phone + Ext.	FAX (optional)	Email (optional)		
		kyla.prendergast@pittsburghpa.gov		

C. SITE INFORMATION (See Section C of instructions)

Site (Land Development or Project) Name

South Side Clean Express Auto Wash

Site Location Line 1

3045 Sarah St

Site Location Line 2

Site Location Last Line -- City

Pittsburgh

State

PA

ZIP+4

15203

Latitude

40.424324°

Longitude

-79.963388°

Detailed Written Directions to Site Heading southeast on PA route 837, from the intersection of PA route 837 and Hot Metal St. Continue heading southeast on Pa route 837 approximately 500 ft from the intersection the site is located on the right hand side at an open vacant lot.

Description of Site The site is currently characterized as a vacant commercial lot with overgrown vegetation in areas.

Site Contact (Developer/Owner)

Last Name

Bertucci

First Name

Joe

MI

Suffix

Phone

412-337-9274

Ext.

Site Contact Title

Director of Development

Site Contact Firm (if none, leave blank)

Clean Express Auto Wash

FAX

Email

joe@expresswashconcepts.com

Mailing Address Line 1

4867 William Flynn Hwy

Mailing Address Line 2

Mailing Address Last Line -- City

Allison Park

State

PA

ZIP+4

15101

D. PROJECT CONSULTANT INFORMATION (See Section D of instructions)

Last Name

D'Amico

First Name

Travis

MI

Suffix

Title

Regional Manager

Consulting Firm Name

BL Companies

Mailing Address Line 1

51 Dutilh Road, Suite 210

Mailing Address Line 2

Address Last Line -- City

Cranberry Township

State

PA

ZIP+4

16066

Country

USA

Email

tdamico@blcompanies.com

Area Code + Phone

412-435-3900

Ext.

Area Code + FAX

E. AVAILABILITY OF DRINKING WATER SUPPLY

The project will be provided with drinking water from the following source: (Check appropriate box)

- Individual wells or cisterns.
- A proposed public water supply.
- An existing public water supply.

If existing public water supply is to be used, provide the name of the water company and attach documentation from the water company stating that it will serve the project.

Name of water company: PWSA

F. PROJECT NARRATIVE (See Section F of instructions)

- A narrative has been prepared as described in Section F of the instructions and is attached.

The applicant may choose to include additional information beyond that required by Section F of the instructions.

G. PROPOSED WASTEWATER DISPOSAL FACILITIES (See Section G of instructions)

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter 93 (relating to wastewater treatment requirements).

1. COLLECTION SYSTEM

a. Check appropriate box concerning collection system

- New collection system Pump Station Force Main
 Grinder pump(s) Extension to existing collection system Expansion of existing facility

Clean Streams Law Permit Number _____

b. Answer questions below on collection system

Number of EDU's and proposed connections to be served by collection system. EDU's 5

Connections 1

Name of:

existing collection or conveyance system Carson St. - 15 INCH PVC

owner The Pittsburgh Water and Sewer Authority

existing interceptor MONONGAHELA River Interceptor

owner The Allegheny County Sanitary Authority

2. WASTEWATER TREATMENT FACILITY

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter(s) 91 (relating to general provisions), 92 (relating to national Pollution Discharge Elimination System permitting, monitoring and compliance) and 93 (relating to water quality standards).

a. Check appropriate box and provide requested information concerning the treatment facility

- New facility Existing facility Upgrade of existing facility Expansion of existing facility

Name of existing facility ALCOSAN Woods Run

NPDES Permit Number for existing facility PA0025984

Clean Streams Law Permit Number PAG 136110

Location of discharge point for a new facility. Latitude _____ Longitude _____

b. The following certification statement must be completed and signed by the wastewater treatment facility permittee or their representative.

As an authorized representative of the permittee, I confirm that the ALCOSAN Woods Run (Name from above) sewage treatment facilities can accept sewage flows from this project without adversely affecting the facility's ability to achieve all applicable technology and water quality based effluent limits (see Section I) and conditions contained in the NPDES permit identified above.

Name of Permittee Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent Joe Fedor

Agent Signature Joe Fedor Date 11-20-23

(Also see Section I. 4.)

G. PROPOSED WASTEWATER DISPOSAL FACILITIES (Continued)

3. PLOT PLAN

The following information is to be submitted on a plot plan of the proposed subdivision.

- a. Existing and proposed buildings.
- b. Lot lines and lot sizes.
- c. Adjacent lots.
- d. Remainder of tract.
- e. Existing and proposed sewerage facilities. Plot location of discharge point, land application field, spray field, COLDS, or LVCOLDS if a new facility is proposed.
- f. Show tap-in or extension to the point of connection to existing collection system (if applicable).
- g. Existing and proposed water supplies and surface water (wells, springs, ponds, streams, etc.)
- h. Existing and proposed rights-of-way.
- i. Existing and proposed buildings, streets, roadways, access roads, etc.
- j. Any designated recreational or open space area.
- k. Wetlands - from National Wetland Inventory Mapping and USGS Hydric Soils Mapping.
- l. Flood plains or Flood prone areas, floodways, (Federal Flood Insurance Mapping)
- m. Prime Agricultural Land.
- n. Any other facilities (pipelines, power lines, etc.)
- o. Orientation to north.
- p. Locations of all site testing activities (soil profile test pits, slope measurements, permeability test sites, background sampling, etc. (if applicable).
- q. Soils types and boundaries when a land based system is proposed.
- r. Topographic lines with elevations when a land based system is proposed

4. WETLAND PROTECTION

YES NO

- a. Are there wetlands in the project area? If yes, ensure these areas appear on the plot plan as shown in the mapping or through on-site delineation.
- b. Are there any construction activities (encroachments, or obstructions) proposed in, along, or through the wetlands? If yes, Identify any proposed encroachments on wetlands and identify whether a General Permit or a full encroachment permit will be required. If a full permit is required, address time and cost impacts on the project. Note that wetland encroachments should be avoided where feasible. Also note that a feasible alternative **MUST BE SELECTED** to an identified encroachment on an exceptional value wetland as defined in Chapter 105. Identify any project impacts on streams classified as HQ or EV and address impacts of the permitting requirements of said encroachments on the project.

5. PRIME AGRICULTURAL LAND PROTECTION

YES NO

- Will the project involve the disturbance of prime agricultural lands?
If yes, coordinate with local officials to resolve any conflicts with the local prime agricultural land protection program. The project must be consistent with such municipal programs before the sewage facilities planning module package may be submitted to DEP.
If no, prime agricultural land protection is not a factor to this project.
- Have prime agricultural land protection issues been settled?

6. HISTORIC PRESERVATION ACT

YES NO

- Sufficient documentation is attached to confirm that this project is consistent with DEP Technical Guidance 012-0700-001 *Implementation of the PA State History Code* (available online at the DEP website at www.dep.state.pa.us, select "subject" then select "technical guidance"). As a minimum this includes copies of the completed Cultural Resources Notice

(CRN), a return receipt for its submission to the PHMC and the PHMC review letter.

7. PROTECTION OF RARE, ENDANGERED OR THREATENED SPECIES

Check one:

- The "Pennsylvania Natural Diversity Inventory (PNDI) Project Environmental Review Receipt" resulting from my search of the PNDI database and all supporting documentation from jurisdictional agencies (when necessary) is/are attached.
- A completed "Pennsylvania Natural Diversity Inventory (PNDI) Project Planning & Environmental Review Form," (PNDI Form) available at www.naturalheritage.state.pa.us, and all required supporting documentation is attached. I request DEP staff to complete the required PNDI search for my project. I realize that my planning module will be considered incomplete upon submission to the Department and that the DEP review will not begin, and that processing of my planning module will be delayed, until a "PNDI Project Environmental Review Receipt" and all supporting documentation from jurisdictional agencies (when necessary) is/are received by DEP.

Applicant or Consultant Initials _____.

H. ALTERNATIVE SEWAGE FACILITIES ANALYSIS (See Section H of instructions)

- An alternative sewage facilities analysis has been prepared as described in Section H of the attached instructions and is attached to this component.
The applicant may choose to include additional information beyond that required by Section H of the attached instructions.

I. COMPLIANCE WITH WATER QUALITY STANDARDS AND EFFLUENT LIMITATIONS (See Section I of instructions) (Check and complete all that apply.)

1. Waters designated for Special Protection

- The proposed project will result in a new or increased discharge into special protection waters as identified in Title 25, Pennsylvania Code, Chapter 93. The Social or Economic Justification (SEJ) required by Section 93.4c. is attached.

2. Pennsylvania Waters Designated As Impaired

- The proposed project will result in a new or increased discharge of a pollutant into waters that DEP has identified as being impaired by that pollutant. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss water quality based discharge limitations.

3. Interstate and International Waters

- The proposed project will result in a new or increased discharge into interstate or international waters. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss effluent limitations necessary to meet the requirements of the interstate or international compact.

4. Tributaries To The Chesapeake Bay

- The proposed project result in a new or increased discharge of sewage into a tributary to the Chesapeake Bay. This proposal for a new sewage treatment facility or new flows to an existing facility includes total nitrogen and total phosphorus in the following amounts: _____ pounds of TN per year, and _____ pounds of TP per year. Based on the process design and effluent limits, the total nitrogen treatment capacity of the wastewater treatment facility is _____ pounds per year and the total phosphorus capacity is _____ pounds per year as determined by the wastewater treatment facility permittee. The permittee has determined that the additional TN and TP to be contributed by this project (as modified by credits and/or offsets to be provided) will not cause the discharge to exceed the annual total mass limits for these parameters. Documentation of compliance with nutrient allocations is attached.

Name of Permittee Agency, Authority, Municipality _____

Initials of Responsible Agent (See Section G 2.b) _____

See *Special Instructions* (Form 3800-FM-BPNPSM0353-1) for additional information on Chesapeake Bay watershed requirements.

J. CHAPTER 94 CONSISTENCY DETERMINATION (See Section J of instructions)

Projects that propose the use of existing municipal collection, conveyance or wastewater treatment facilities, or the construction of collection and conveyance facilities to be served by existing municipal wastewater treatment facilities must be consistent with the requirements of Title 25, Chapter 94 (relating to Municipal Wasteload Management). If not previously included in Section F, include a general map showing the path of the sewage to the treatment facility. If more than one municipality or authority will be affected by the project, please obtain the information required in this section for each. Additional sheets may be attached for this purpose.

1. Project Flows 1707 gpd
2. Total Sewage Flows to Facilities (pathway from point of origin through treatment plant)

When providing "treatment facilities" sewage flows, use Annual Average Daily Flow for "average" and Maximum Monthly Average Daily Flow for "peak" in all cases. For "peak flows" in "collection" and "conveyance" facilities, indicate whether these flows are "peak hourly flow" or "peak instantaneous flow" and how this figure was derived (i.e., metered, measured, estimated, etc.).

- a. Enter average and peak sewage flows for each proposed or existing facility as designed or permitted.
- b. Enter the average and peak sewage flows for the most restrictive sections of the existing sewage facilities.
- c. Enter the average and peak sewage flows, projected for 5 years (2 years for pump stations) through the most restrictive sections of the existing sewage facilities. Include existing, proposed (this project) and future project (other approved projects) flows.

To complete the table, refer to the instructions, Section J.

	a. Design and/or Permitted Capacity (gpd)		b. Present Flows (gpd)		c. Projected Flows in 5 years (gpd) (2 years for P.S.)	
	Average	Peak	Average	Peak	Average	Peak
Collection	1282740	3848221	6160	18480	7625	22876
Conveyance	<u>2,820,000</u>	<u>2,820,000</u>	<u>30,900</u>	<u>32,700</u>	<u>35,000</u>	<u>37,000</u>
Treatment	<u>250,000,000</u>	<u>250,000,000</u>	<u>197,200,000</u>	<u>250,000,000</u>	<u>248,800,000</u>	<u>295,000,000</u>

3. Collection and Conveyance Facilities

The questions below are to be answered by the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities. These questions should be answered in coordination with the latest Chapter 94 annual report and the above table. The individual(s) signing below must be legally authorized to make representation for the organization.

YES NO

- a. YES NO This project proposes sewer extensions or tap-ins. Will these actions create a hydraulic overload within five years on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until all inconsistencies with Chapter 94 are resolved or unless there is an approved Corrective Action Plan (CAP) granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the module package.

If no, a representative of the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not affect that status.

b. Collection System

Name of Agency, Authority, Municipality PWSA

Name of Responsible Agent Robert Herring

Agent Signature *Robert Herring* Robert Herring Date 11/9/2023

2023.11.09
15:34:52 -05'00'

J. CHAPTER 94 CONSISTENCY DETERMINATION (See Section J of instructions)

c. Conveyance System

Name of Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent Joe Fedor

Agent Signature Joe Fedor

Date 11-20-23

4. Treatment Facility

The questions below are to be answered by a representative of the facility permittee in coordination with the information in the table and the latest Chapter 94 report. The individual signing below must be legally authorized to make representation for the organization.

YES NO

- a. This project proposes the use of an existing wastewater treatment plant for the disposal of sewage. Will this action create a hydraulic or organic overload within 5 years at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this inconsistency with Chapter 94 is resolved or unless there is an approved CAP granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the planning module.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not impact that status.

b. Name of Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent Joe Fedor

Agent Signature Joe Fedor

Date 11-20-23

K. TREATMENT AND DISPOSAL OPTIONS (See Section K of instructions)

This section is for land development projects that propose construction of wastewater treatment facilities. Please note that, since these projects require permits issued by DEP, these projects may **NOT** receive final planning approval from a delegated local agency. Delegated local agencies must send these projects to DEP for final planning approval.

Check the appropriate box indicating the selected treatment and disposal option.

1. Spray irrigation (other than individual residential spray systems (IRSIS)) or other land application is proposed, and the information requested in Section K.1. of the planning module instructions are attached.
2. Recycle and reuse is proposed and the information requested in Section K-2 of the planning module instructions is attached.
3. A discharge to a dry stream channel is proposed, and the information requested in Section K.3. of the planning module instructions are attached.
4. A discharge to a perennial surface water body is proposed, and the information requested in Section K.4. of the planning module instructions are attached.

L. PERMEABILITY TESTING (See Section L of instructions)

- The information required in Section L of the instructions is attached.

M. PRELIMINARY HYDROGEOLOGIC STUDY (See Section M of instructions)

- The information required in Section M of the instructions is attached.

N. DETAILED HYDROGEOLOGIC STUDY (See Section N of instructions)

The detailed hydrogeologic information required in Section N. of the instructions is attached.

O. SEWAGE MANAGEMENT (See Section O of instructions)

(1-3 for completion by the developer(project sponser), 4-5 for completion by the non-municipal facility agent and 6 for completion by the municipality)

Yes No

1. Is connection to, or construction of, a DEP permitted, non-municipal sewage facility or a local agency permitted, community onlot sewage facility proposed.

If Yes, respond to the following questions, attach the supporting analysis, and an evaluation of the options available to assure long-term proper operation and maintenance of the proposed non-municipal facilities. If No, skip the remainder of Section O.

2. Project Flows 1707 gpd

Yes No

3. Is the use of nutrient credits or offsets a part of this project?

If yes, attach a letter of intent to purchase the necessary credits and describe the assurance that these credits and offsets will be available for the remaining design life of the non-municipal sewage facility;

(For completion by non-municipal facility agent)

4. Collection and Conveyance Facilities

The questions below are to be answered by the organization/individual responsible for the non-municipal collection and conveyance facilities. The individual(s) signing below must be legally authorized to make representation for the organization.

Yes No

- a. If this project proposes sewer extensions or tap-ins, will these actions create a hydraulic overload on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, a representative of the organization responsible for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with Chapter 71 §71.53(d)(3) and that this proposal will not affect that status.

- b. Collection System

Name of Responsible Organization _____

Name of Responsible Agent _____

Agent Signature _____

Date _____

- c. Conveyance System

Name of Responsible Organization _____

Name of Responsible Agent _____

Agent Signature _____

Date _____

5. Treatment Facility

The questions below are to be answered by a representative of the facility permittee. The individual signing below must be legally authorized to make representation for the organization.

Yes No

- a. If this project proposes the use of an existing non-municipal wastewater treatment plant for the disposal of sewage, will this action create a hydraulic or organic overload at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with §71.53(d)(3) and that this proposal will not impact that status.

- b. Name of Facility _____
Name of Responsible Agent _____
Agent Signature _____
Date _____

(For completion by the municipality)

6. The **SELECTED OPTION** necessary to assure long-term proper operation and maintenance of the proposed non-municipal facilities is clearly identified with documentation attached in the planning module package.

P. PUBLIC NOTIFICATION REQUIREMENT (See Section P of instructions)

This section must be completed to determine if the applicant will be required to publish facts about the project in a newspaper of general circulation to provide a chance for the general public to comment on proposed new land development projects. This notice may be provided by the applicant or the applicant's agent, the municipality or the local agency by publication in a newspaper of general circulation within the municipality affected. Where an applicant or an applicant's agent provides the required notice for publication, the applicant or applicant's agent shall notify the municipality or local agency and the municipality and local agency will be relieved of the obligation to publish. The required content of the publication notice is found in Section P of the instructions.

To complete this section, each of the following questions must be answered with a "yes" or "no". Newspaper publication is required if any of the following are answered "yes".

Yes No

1. Does the project propose the construction of a sewage treatment facility ?
2. Will the project change the flow at an existing sewage treatment facility by more than 50,000 gallons per day?
3. Will the project result in a public expenditure for the sewage facilities portion of the project in excess of \$100,000?
4. Will the project lead to a major modification of the existing municipal administrative organizations within the municipal government?
5. Will the project require the establishment of *new* municipal administrative organizations within the municipal government?
6. Will the project result in a subdivision of 50 lots or more? (onlot sewage disposal only)
7. Does the project involve a major change in established growth projections?
8. Does the project involve a different land use pattern than that established in the municipality's Official Sewage Plan?

P. PUBLIC NOTIFICATION REQUIREMENT cont'd. (See Section P of instructions)

- 9. Does the project involve the use of large volume onlot sewage disposal systems (Flow > 10,000 gpd)?
- 10. Does the project require resolution of a conflict between the proposed alternative and consistency requirements contained in §71.21(a)(5)(i), (ii), (iii)?
- 11. Will sewage facilities discharge into high quality or exceptional value waters?
- Attached is a copy of:
 - the public notice,
 - all comments received as a result of the notice,
 - the municipal response to these comments.
- No comments were received. A copy of the public notice is attached.

Q. FALSE SWEARING STATEMENT (See Section Q of instructions)

I verify that the statements made in this component are true and correct to the best of my knowledge, information and belief. I understand that false statements in this component are made subject to the penalties of 18 PA C.S.A. §4904 relating to unsworn falsification to authorities.

Travis D'Amico



Name (Print)

Signature

Regional Manager

12/14/2023

Title

Date

51 Dutilh Rd, Suite 210, Cranberry Township, PA 16066

4124353900

Address

Telephone Number

R. REVIEW FEE (See Section R of instructions)

The Sewage Facilities Act establishes a fee for the DEP planning module review. DEP will calculate the review fee for the project and invoice the project sponsor **OR** the project sponsor may attach a self-calculated fee payment to the planning module prior to submission of the planning package to DEP. (Since the fee and fee collection procedures may vary if a "delegated local agency" is conducting the review, the project sponsor should contact the "delegated local agency" to determine these details.) Check the appropriate box.

- I request DEP calculate the review fee for my project and send me an invoice for the correct amount. I understand DEP's review of my project will not begin until DEP receives the correct review fee from me for the project.
- I have calculated the review fee for my project using the formula found below and the review fee guidance in the instructions. I have attached a check or money order in the amount of \$ 250 payable to "Commonwealth of PA, DEP". Include DEP code number on check. I understand DEP will not begin review of my project unless it receives the fee and determines the fee is correct. If the fee is incorrect, DEP will return my check or money order, send me an invoice for the correct amount. I understand DEP review will NOT begin until I have submitted the correct fee.
- I request to be exempt from the DEP planning module review fee because this planning module creates **only** one new lot and is the **only** lot subdivided from a parcel of land as that land existed on December 14, 1995. I realize that subdivision of a second lot from this parcel of land shall disqualify me from this review fee exemption. I am furnishing the following deed reference information in support of my fee exemption.

County Recorder of Deeds for _____ County, Pennsylvania

Deed Volume _____ Book Number _____

Page Number _____ Date Recorded _____

R. REVIEW FEE (continued)

Formula:

1. For a new collection system (with or without a Clean Streams Law Permit), a collection system extension, or individual tap-ins to an existing collection system use this formula.

$$\#5 \text{ Lots (or EDUs)} \times \$50.00 = \$ 250$$

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
 - For community sewer system projects, one EDU is equal to a sewage flow of 400 gallons per day.
2. For a surface or subsurface discharge system, use the appropriate one of these formulae.

- A. A new surface discharge greater than 2000 gpd will use a flat fee:

\$ 1,500 per submittal (non-municipal)
\$ 500 per submittal (municipal)

- B. An increase in an existing surface discharge will use:

$$\# \text{ Lots (or EDUs)} \times \$35.00 = \$$$

to a maximum of \$ 1,500 per submittal (non-municipal) or \$ 500 per submittal (municipal)

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
 - For community sewage system projects one EDU is equal to a sewage flow of 400 gallons per day.
 - For non-single family residential projects, EDUs are calculated using projected population figures
- C. A sub-surface discharge system that requires a permit under The Clean Streams Law will use a flat fee:
- \$ 1,500 per submittal (non-municipal)
\$ 500 per submittal (municipal)

DEP Code No.

RESOLUTION FOR PLAN REVISION FOR NEW LAND DEVELOPMENT

RESOLUTION OF THE (SUPERVISORS) (COMMISSIONERS) (COUNCILMEN) of City of Pittsburgh
(TOWNSHIP) (BOROUGH) (CITY), Allegheny COUNTY, PENNSYLVANIA (hereinafter "the municipality").

WHEREAS Section 5 of the Act of January 24, 1966, P.L. 1535, No. 537, known as the *Pennsylvania Sewage Facilities Act*, as Amended, and the rules and Regulations of the Pennsylvania Department of Environmental Protection (DEP) adopted thereunder, Chapter 71 of Title 25 of the Pennsylvania Code, require the municipality to adopt an Official Sewage Facilities Plan providing for sewage services adequate to prevent contamination of waters of the Commonwealth and/or environmental health hazards from sewage wastes, and to revise said plan whenever it is necessary to determine whether a proposed method of sewage disposal for a new land development conforms to a comprehensive program of pollution control and water quality management, and

WHEREAS BL Companies has proposed the development of a parcel of land identified as
land developer

South Side Clean Express Auto Wash, and described in the attached Sewage Facilities Planning Module, and
name of subdivision

proposes that such subdivision be served by: (check all that apply), sewer tap-ins, sewer extension, new treatment facility, individual onlot systems, community onlot systems, spray irrigation, retaining tanks, other, (please specify). _____

WHEREAS, _____ finds that the subdivision described in the attached
municipality

Sewage Facilities Planning Module conforms to applicable sewage related zoning and other sewage related municipal ordinances and plans, and to a comprehensive program of pollution control and water quality management.

NOW, THEREFORE, BE IT RESOLVED that the (Supervisors) (Commissioners) (Councilmen) of the (Township) (Borough) (City) of _____ hereby adopt and submit to DEP for its approval as a revision to the "Official Sewage Facilities Plan" of the municipality the above referenced Sewage Facilities Planning Module which is attached hereto.

I _____, Secretary, _____
(Signature)

Township Board of Supervisors (Borough Council) (City Councilmen), hereby certify that the foregoing is a true copy of the Township (Borough) (City) Resolution # _____, adopted, _____, 20_____.

Municipal Address:

Seal of
Governing Body

Telephone _____



**TRANSMITTAL LETTER
 FOR SEWAGE FACILITIES PLANNING MODULE**

DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) USE ONLY				
DEP CODE #	CLIENT ID #	SITE ID #	APS ID #	AUTH. ID #

TO: Approving Agency (DEP or delegated local agency)
 400 Waterfront Drive
 Pittsburgh, PA 15222-4745

Date _____

Dear Sir/Madam:

Attached please find a completed sewage facilities planning module prepared by Bill Roxby _____

Project Engineer _____ for South Side Clean Express Auto Wash _____
(Title) (Name)

a subdivision, commercial ,or industrial facility located in 3010 East Carson St. _____

Pittsburgh, Allegheny _____ County.
(City, Borough, Township)

Check one

(i) The planning module, as prepared and submitted by the applicant, is approved by the municipality as a proposed revision supplement for new land development to its Official Sewage Facilities Plan (Official Plan), and is adopted for submission to DEP transmitted to the delegated LA for approval in accordance with the requirements of 25 Pa. Code Chapter 71 and the *Pennsylvania Sewage Facilities Act* (35 P.S. §750),

OR

(ii) The planning module will not be approved by the municipality as a proposed revision or supplement for new land development to its Official Plan because the project described therein is unacceptable for the reason(s) checked below:

Check Boxes

- Additional studies are being performed by or on behalf of this municipality which may have an effect on the planning module as prepared and submitted by the applicant. Attached hereto is the scope of services to be performed and the time schedule for completion of said studies.
- The planning module as submitted by the applicant fails to meet limitations imposed by other laws or ordinances, officially adopted comprehensive plans and/or environmental plans (e.g., zoning, land use, 25 Pa. Code Chapter 71). Specific reference or applicable segments of such laws or plans are attached hereto.
- Other (attach additional sheet giving specifics).

Municipal Secretary: Indicate below by checking appropriate boxes which components are being transmitted to the approving agency.

- | | | |
|--|---|--|
| <input type="checkbox"/> Resolution of Adoption | <input type="checkbox"/> 3 Sewage Collection/Treatment Facilities | <input type="checkbox"/> 4A Municipal Planning Agency Review |
| <input type="checkbox"/> Module Completeness Checklist | <input type="checkbox"/> 3s Small Flow Treatment Facilities | <input type="checkbox"/> 4B County Planning Agency Review |
| <input type="checkbox"/> 2 Individual and Community Onlot Disposal of Sewage | | <input type="checkbox"/> 4C County or Joint Health Department Review |

 Municipal Secretary (print)

 Signature

 Date



INSTRUCTIONS FOR COMPLETING COMPONENT 4A MUNICIPAL PLANNING AGENCY REVIEW

Remove and recycle these instructions prior to mailing component to the approving agency.

Background

This component, Component 4, is used to obtain the comments of planning agencies and/or health departments having jurisdiction over the project area. It is used in conjunction with other planning module components appropriate to the characteristics of the project proposed.

Who Should Complete the Component?

The component should be completed by any existing municipal planning agency, county planning agency, planning agency with areawide jurisdiction, and/or health department having jurisdiction over the project site. It is divided into sections to allow for convenient use by the appropriate agencies.

The project sponsor must forward copies of this component, along with supporting components and data, to the appropriate planning agency(ies) and health department(s) (if any) having jurisdiction over the development site. These agencies are responsible for responding to the questions in their respective sections of Component 4, as well as providing whatever additional comments they may wish to provide on the project plan. After the agencies have completed their review, the component will be returned to the applicant. The agencies have 60 days in which to provide comments to the applicant. If the agencies fail to comment within this 60 day period, the applicant may proceed to the next stage of the review without the comments. The use of registered mail or certified mail (return receipt requested) by the applicant when forwarding the module package to the agencies will document a date of receipt.

After receipt of the completed Component 4 from the planning agencies, or following expiration of the 60 day period without comments, the applicant must submit the entire component package to the municipality having jurisdiction over the project area for review and action. If approved by the municipality, the proposed plan, along with the municipal action, will be forwarded to the approving agency (Department of Environmental Protection or delegated local agency). The approving agency, in turn, will either approve the proposed plan, return it as incomplete, or disapprove the plan, based upon the information provided.

Instructions for Completing Planning Agency and/or Health Department Review Component

Section A. Project Name

Enter the project name as it appears on the accompanying sewage facilities planning module component (Component 2, 2m, 3, 3s or 3m).

Section B. Review Schedule

Enter the date the package was received by the reviewing agency, and the date that the review was completed.

Section C. Agency Review

1. Answer the yes/no questions and provide any descriptive information necessary on the lines provided. Attach additional sheets, if necessary.
2. Complete the name, title, and signature block.

Section D. Additional Comments

The Agency may provide whatever additional comment(s) it deems necessary, as described in the form. Attach additional sheets, if necessary.



COMMONWEALTH OF PENNSYLVANIA
 DEPARTMENT OF ENVIRONMENTAL PROTECTION
 BUREAU OF CLEAN WATER

DEP Code #:

**SEWAGE FACILITIES PLANNING MODULE
 COMPONENT 4A - MUNICIPAL PLANNING AGENCY REVIEW**

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning module package and one copy of this *Planning Agency Review Component* should be sent to the local municipal planning agency for their comments.

SECTION A. PROJECT NAME (See Section A of instructions)

Project Name
 South Side Clean Express Auto Wash

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by municipal planning agency 12/14/2023
2. Date review completed by agency 1/4/2024

SECTION C. AGENCY REVIEW (See Section C of instructions)

- | Yes | No | |
|-------------------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 1. Is there a municipal comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101, <i>et seq.</i>)? |
| <input type="checkbox"/> | N/A <input type="checkbox"/> | 2. Is this proposal consistent with the comprehensive plan for land use?
If no, describe the inconsistencies _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 3. Is this proposal consistent with the use, development, and protection of water resources?
If no, describe the inconsistencies _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 4. Is this proposal consistent with municipal land use planning relative to Prime Agricultural Land Preservation? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 5. Does this project propose encroachments, obstructions, or dams that will affect wetlands?
If yes, describe impacts _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6. Will any known historical or archaeological resources be impacted by this project?
If yes, describe impacts _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 7. Will any known endangered or threatened species of plant or animal be impacted by this project?
If yes, describe impacts _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 8. Is there a municipal zoning ordinance? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 9. Is this proposal consistent with the ordinance?
If no, describe the inconsistencies _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 10. Does the proposal require a change or variance to an existing comprehensive plan or zoning ordinance? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 11. Have all applicable zoning approvals been obtained? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 12. Is there a municipal subdivision and land development ordinance? |

SECTION C. AGENCY REVIEW (continued)

- | Yes | No | |
|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 13. Is this proposal consistent with the ordinance?
If no, describe the inconsistencies _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 14. Is this plan consistent with the municipal Official Sewage Facilities Plan?
If no, describe the inconsistencies _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 15. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality?
If yes, describe _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16. Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision? |
| <input type="checkbox"/> | <input type="checkbox"/> | If yes, is the proposed waiver consistent with applicable ordinances?
If no, describe the inconsistencies
_____ |

17. Name, title and signature of planning agency staff member completing this section:
 Name: Kyla Prendergast
 Title: Senior Environmental Planner
 Signature: *Kyla Prendergast*
 Date: 1/4/2023
 Name of Municipal Planning Agency: City of Pittsburgh Department of City Planning
 Address 100 Ross St, Suite 202, Pittsburgh, PA 15219
 Telephone Number: 412-522-6551

SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)

This component does not limit municipal planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The planning agency must complete this component within 60 days.

This component and any additional comments are to be returned to the applicant.

**SEWAGE FACILITIES PLANNING MODULE
 COMPONENT 4B - COUNTY PLANNING AGENCY REVIEW**

(or Planning Agency with Areawide Jurisdiction)

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning package and one copy of this *Planning Agency Review Component* should be sent to the county planning agency or planning agency with areawide jurisdiction for their comments.

SECTION A. PROJECT NAME (See Section A of instructions)

Project Name

South Side Clean Express Auto Wash

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by county planning agency 11/30/2023
2. Date plan received by planning agency with areawide jurisdiction _____
 Agency name Allegheny County Economic Development Department
3. Date review completed by agency 12/04/2023

SECTION C. AGENCY REVIEW (See Section C of instructions)

- | Yes | No | |
|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 1. Is there a county or areawide comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101 <i>et seq.</i>)? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 2. Is this proposal consistent with the comprehensive plan for land use? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 3. Does this proposal meet the goals and objectives of the plan?
If no, describe goals and objectives that are not met _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 4. Is this proposal consistent with the use, development, and protection of water resources?
If no, describe inconsistency _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 5. Is this proposal consistent with the county or areawide comprehensive land use planning relative to Prime Agricultural Land Preservation?
If no, describe inconsistencies: _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6. Does this project propose encroachments, obstructions, or dams that will affect wetlands?
If yes, describe impact _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 7. Will any known historical or archeological resources be impacted by this project?
If yes, describe impacts _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 8. Will any known endangered or threatened species of plant or animal be impacted by the development project?
If yes, describe impacts _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 9. Is there a county or areawide zoning ordinance? |
| <input type="checkbox"/> | <input type="checkbox"/> | 10. Does this proposal meet the zoning requirements of the ordinance?
If no, describe inconsistencies _____ |

SECTION C. AGENCY REVIEW (continued)

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	11. Have all applicable zoning approvals been obtained?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	12. Is there a county or areawide subdivision and land development ordinance?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	13. Does this proposal meet the requirements of the ordinance? If no, describe which requirements are not met <u>Ordinance N/A in City of Pittsburgh</u>
<input type="checkbox"/>	<input type="checkbox"/>	14. Is this proposal consistent with the municipal Official Sewage Facilities Plan? If no, describe inconsistency _____
<input type="checkbox"/>	<input type="checkbox"/>	15. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality? If yes, describe _____
<input type="checkbox"/>	<input type="checkbox"/>	16. Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision?
<input type="checkbox"/>	<input type="checkbox"/>	If yes, is the proposed waiver consistent with applicable ordinances. If no, describe the inconsistencies _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	17. Does the county have a stormwater management plan as required by the Stormwater Management Act?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	If yes, will this project plan require the implementation of storm water management measures?
18. Name, Title and signature of person completing this section:		
Name: <u>Matthew Trepal, AICP</u>		
Title: <u>Manager, Planning Division</u>		
Signature: _____		
Date: <u>12/4/2023</u>		
Name of County or Areawide Planning Agency: <u>Allegheny County Economic Development Department</u>		
Address: <u>Koppers Bldg, 436 Seventh Ave, Suite 500, Pittsburgh, PA 15219</u>		
Telephone Number: <u>412-350-1030</u>		

SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)

This component does not limit county planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The county planning agency must complete this component within 60 days.

This component and any additional comments are to be returned to the applicant.

COUNTY OF



ALLEGHENY

RICH FITZGERALD
COUNTY EXECUTIVE

December 14, 2023

Travis D'Amico, PE
BL Companies
51 Dutilh Road, Suite 210
Cranberry Township, PA 16066

RE: SEWAGE FACILITIES PLANNING MODULE; ALLEGHENY COUNTY
South Side Clean Express Auto Wash - Pittsburgh

Dear Mr. D'Amico:

Enclosed is a signed copy of Component 4C, County or Joint County Health Department Review, for the above-referenced development. This Planning Module Component was received on November 30, 2023, and the missing document was received on December 11, 2023. The project proposes the following:

Project Description:	Development of a proposed car wash with associated parking and stormwater facilities.
Sewage Flow:	1707 GPD
Conveyance:	Sewage from proposed car wash will be conveyed by the 15-inch PVC pipe located on Carson Street, owned by PWSA, to the Monongahela River Interceptor(M-26-00), and ultimately transported to ALCOSAN for treatment.
Sewer's Owner:	PWSA (collection), ALCOSAN (interceptor)
Sewage Treatment Plant:	ALCOSAN

Please be advised that a permit must be obtained from the Allegheny County Health Department's (ACHD) Plumbing Section prior to commencing any plumbing work for the proposed project. Plumbing work for which an ACHD Plumbing Permit must be obtained includes any plumbing work done on the site and any sewers, which will not be owned and operated by a municipality or a sewer authority.



ALLEGHENY COUNTY HEALTH DEPARTMENT

WATER POLLUTION CONTROL & SOLID WASTE MANAGEMENT

3901 PENN AVENUE • BUILDING 5 • PITTSBURGH, PA 15224-1318

PHONE: 412.578.8040 • FAX: 412.578.8053

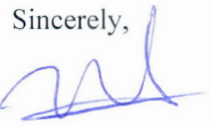
WWW.ALLEGHENYCOUNTY.US/HEALTHDEPARTMENT



Advancing
public health
performance

In addition, it should be noted that the approval of this sewage facilities planning module does not include approval of pipe size and/or type. Approval for pipe size and/or type must be obtained by filing a specific plumbing plan with the ACHD's Plumbing Section. If you should have any questions relative to ACHD's plumbing requirements, please contact Drew Grese, Plumbing Program Manager at 412-578-8055.

The ACHD has no objection to the approval of this project. If you have any questions, please call me at 412-578-8046.

Sincerely,


Issa Tijani
Environmental Health Engineer II
Water Pollution Control & Solid Waste Management

Enclosure
cc: Regis Ryan, PA Department of Environmental Protection w/attachment
Drew Grese, ACHD w/attachment



INSTRUCTIONS FOR COMPLETING COMPONENT 4C COUNTY OR JOINT HEALTH DEPARTMENT REVIEW

Remove and recycle these instructions prior to mailing component to the approving agency.

Background

This component, Component 4, is used to obtain the comments of planning agencies and/or health departments having jurisdiction over the project area. It is used in conjunction with other planning module components appropriate to the characteristics of the project proposed.

Who Should Complete the Component?

The component should be completed by any existing municipal planning agency, county planning agency, planning agency with areawide jurisdiction, and/or health department having jurisdiction over the project site. It is divided into sections to allow for convenient use by the appropriate agencies.

The project sponsor must forward copies of this component, along with supporting components and data, to the appropriate planning agency(ies) and health department(s) (if any) having jurisdiction over the development site. These agencies are responsible for responding to the questions in their respective sections of Component 4, as well as providing whatever additional comments they may wish to provide on the project plan. After the agencies have completed their review, the component will be returned to the applicant. The agencies have 60 days in which to provide comments to the applicant. If the agencies fail to comment within this 60 day period, the applicant may proceed to the next stage of the review without the comments. The use of registered mail or certified mail (return receipt requested) by the applicant when forwarding the module package to the agencies will document a date of receipt.

After receipt of the completed Component 4 from the planning agencies, or following expiration of the 60 day period without comments, the applicant must submit the entire component package to the municipality having jurisdiction over the project area for review and action. If approved by the municipality, the proposed plan, along with the municipal action, will be forwarded to the approving agency (Department of Environmental Protection or delegated local agency). The approving agency, in turn, will either approve the proposed plan, return it as incomplete, or disapprove the plan, based upon the information provided.

Instructions for Completing Planning Agency and/or Health Department Review Component

Section A. Project Name

Enter the project name as it appears on the accompanying sewage facilities planning module component (Component 2, 2m, 3, 3s or 3m).

Section B. Review Schedule

Enter the date the package was received by the reviewing agency, and the date that the review was completed.

Section C. Agency Review

1. Answer the yes/no questions and provide any descriptive information necessary on the lines provided. Attach additional sheets, if necessary.
2. Complete the name, title, and signature block.

Section D. Additional Comments

The Agency may provide whatever additional comment(s) it deems necessary, as described in the form. Attach additional sheets, if necessary.

SEWAGE FACILITIES PLANNING MODULE COMPONENT 4C - COUNTY OR JOINT HEALTH DEPARTMENT REVIEW

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning module package and one copy of this *Planning Agency Review Component* should be sent to the county or joint county health department for their comments.

SECTION A. PROJECT NAME (See Section A of instructions)

Project Name

South Side Clean Express Auto Wash

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by county or joint county health department 11/30/2023

Agency name Allegheny County Health Department (ACHD)

2. Date review completed by agency 12/14/2023

SECTION C. AGENCY REVIEW (See Section C of instructions)

Yes No

1. Is the proposed plan consistent with the municipality's Official Sewage Facilities Plan?
If no, what are the inconsistencies? _____
2. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality?
If yes, describe _____
3. Is there any known groundwater degradation in the area of this proposal?
If yes, describe _____
4. The county or joint county health department recommendation concerning this proposed plan is as follows: ACHD recommends approval. Please see attached letter.

5. Name, title and signature of person completing this section:

Name: Issa Tijani

Title: Environmental Health Engineer

Signature: 

Date: 12/14/2023

Name of County Health Department: Allegheny County Health Department

Address: 3901 Penn Avenue, Building #5, Pittsburgh, PA 15224

Telephone Number: 412-578-8046

SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)

This component does not limit county planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The county planning agency must complete this component within 60 days.

This component and any additional comments are to be returned to the applicant.

EXISTING LEGEND

SUBJECT PROPERTY LINE	---
ADJOINER PROPERTY LINE	---
UNDERGROUND ELECTRIC (FIELD MARKINGS)	UE (M)
GAS LINE (FIELD MARKINGS)	G (M)
SANITARY SEWER LINE	S
STORM LINE (BY PLAN)	S
OVERHEAD ELECTRIC AND TELEPHONE	E/T
FENCE	X-X
CONTOUR	915
UTILITY POLE	⊕
GUY WIRE ANCHOR	⊕
SIGN	⊕
LIGHT POLE	⊕
BOLLARD	⊕
WATER VALVE	WV
FIRE HYDRANT	FH
GAS VALVE	GV
GAS METER	GM
SPOT ELEVATION	X 946.8
DECIDUOUS TREE (DBH)	⊗ 24"
CONCRETE SIDEWALK	▨

ABBREVIATIONS:

INVERT	INV
LIGHT POLE	LP
POLYVINYL CHLORIDE	PVC
REINFORCED CONCRETE PIPE	RCP
SANITARY MANHOLE	SAN MH
STORM MANHOLE	STM MH
TOP OF GRATE	TG

PROPOSED LEGEND

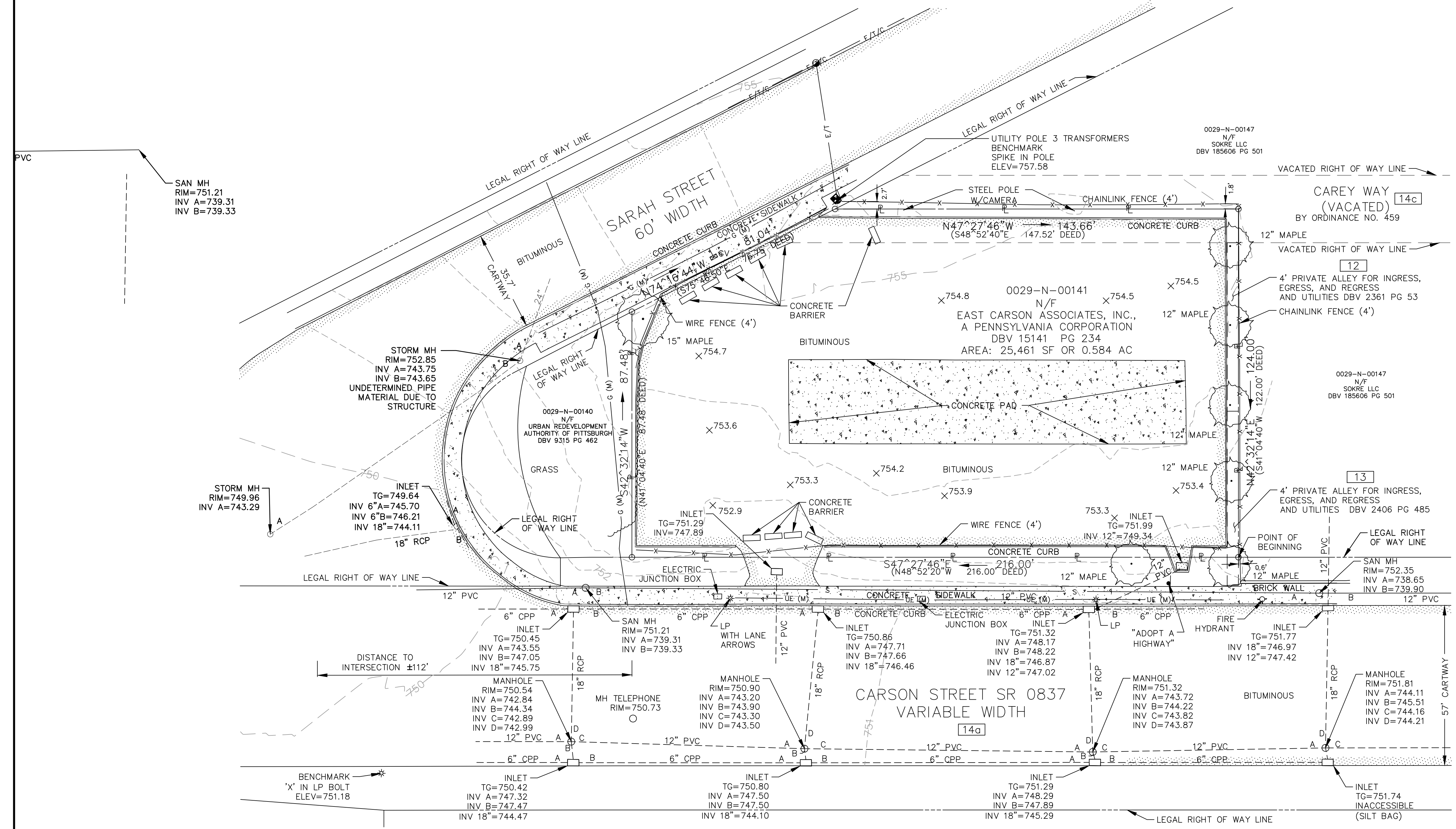
---	SAWCUT LINE
▨	PAVEMENT/CURB/SIDEWALK TO BE REMOVED
▩	STRUCTURE TO BE REMOVED
⊕	EXISTING FEATURE TO BE PROTECTED
X	REMOVE EXISTING FEATURE
---	LIMIT OF DISTURBANCE

GENERAL NOTES

1. WATER LINE IS APPROXIMATE FROM ONE CALL LOCATION. CONTRACTOR TO FIELD VERIFY EXACT LOCATION

GENERAL NOTES FROM RIG CONSULTING, INC

1. FIELD SURVEY PERFORMED AUGUST 23 & 27, 2021.
2. NO CEMETERIES OR BURIAL GROUNDS WERE OBSERVED ON THE PREMISES DURING THE FIELD SURVEY.
3. NO PONDS, LAKES, SPRINGS, STREAMS, OR RIVERS, WERE OBSERVED BORDERING OR RUNNING THROUGH THE PREMISES DURING THE FIELD SURVEY.
4. NO BUILDINGS OBSERVED DURING THE FIELD SURVEY.
5. HORIZONTAL BASIS OF BEARING IS DERIVED FROM GPS PROCESSING USING THE PENNSYLVANIA STATE PLANE SOUTH ZONE, NAD 83.
6. VERTICAL DATUM IS DERIVED FROM GPS PROCESSING USING THE NAVD83 (2011) GEOID18.
7. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED BY RIG CONSULTING, INC. FROM A COMBINATION OF FIELD SURVEY AND AVAILABLE AS-BUILT PLANS AND RECORDS. THEREFORE, THEIR LOCATIONS AND SIZES MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER UNDERGROUND FACILITIES WHOSE EXISTENCE IS PRESENTLY UNKNOWN. RIG CONSULTING INC. PA ONE CALL NUMBER IS 20212321879.



1/24/2022, BROWN, C:\JOB21\101007\DWG\DM210100701.DWG (E&A) (E&A)

Sheet ID: #8001-2021-AC210100701-FC-800100701-2021030202

EXISTING LEGEND	
SUBJECT PROPERTY LINE	---
ADJOINER PROPERTY LINE	---
UNDERGROUND ELECTRIC (FIELD MARKINGS)	UE (M)
GAS LINE (FIELD MARKINGS)	G (M)
SANITARY SEWER LINE	S
STORM LINE (BY PLAN)	S
OVERHEAD ELECTRIC AND TELEPHONE	E/T
FENCE	X-X
CONTOUR	915
UTILITY POLE	⊕
GUY WIRE ANCHOR	⊕
SIGN	⊕
LIGHT POLE	⊕
BOLLARD	⊕
WATER VALVE	WV
FIRE HYDRANT	FH
GAS VALVE	GV
GAS METER	GM
SPOT ELEVATION	X 946.8
DECIDUOUS TREE (DBH)	⊗ 24"
CONCRETE SIDEWALK	▨

ABBREVIATIONS:	
INVERT	INV
LIGHT POLE	LP
POLYVINYL CHLORIDE	PVC
REINFORCED CONCRETE PIPE	RCP
SANITARY MANHOLE	SAN MH
STORM MANHOLE	STM MH
TOP OF GRATE	TG

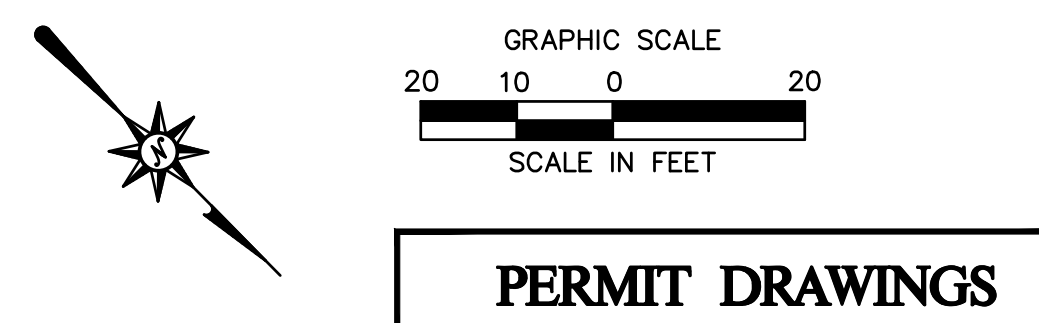
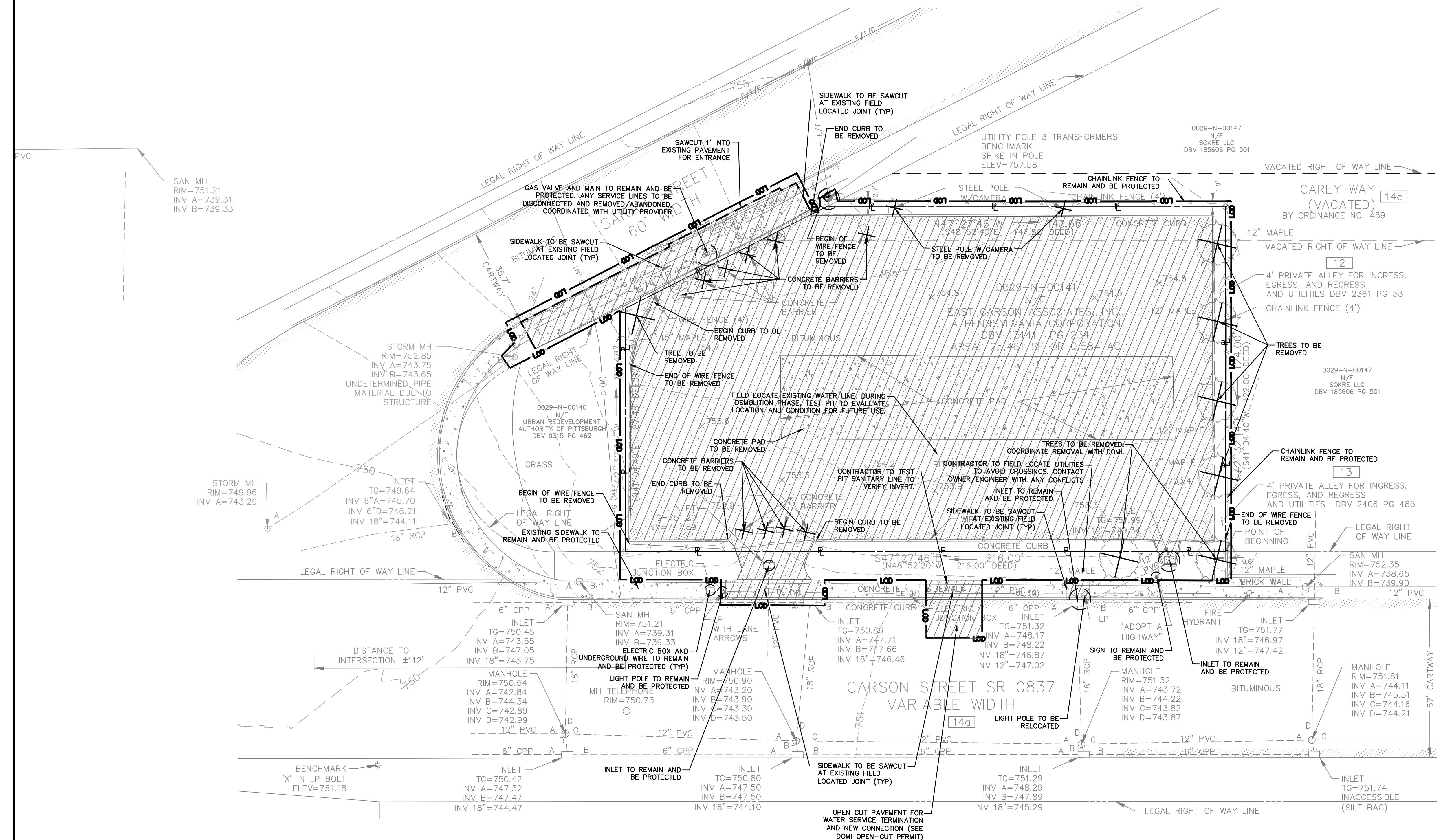
PROPOSED LEGEND	
---	SAWCUT LINE
▨	PAVEMENT/CURB/SIDEWALK TO BE REMOVED
▩	STRUCTURE TO BE REMOVED
⊕	EXISTING FEATURE TO BE PROTECTED
X	REMOVE EXISTING FEATURE
---	LIMIT OF DISTURBANCE

GENERAL NOTES

1. WATER LINE IS APPROXIMATE FROM ONE CALL LOCATION. CONTRACTOR TO FIELD VERIFY EXACT LOCATION

GENERAL NOTES FROM RIG CONSULTING, INC

1. FIELD SURVEY PERFORMED AUGUST 23 & 27, 2021.
2. NO CEMETERIES OR BURIAL GROUNDS WERE OBSERVED ON THE PREMISES DURING THE FIELD SURVEY.
3. NO PONDS, LAKES, SPRINGS, STREAMS, OR RIVERS, WERE OBSERVED BORDERING OR RUNNING THROUGH THE PREMISES DURING THE FIELD SURVEY.
4. NO BUILDINGS OBSERVED DURING THE FIELD SURVEY.
5. HORIZONTAL BASIS OF BEARING IS DERIVED FROM GPS PROCESSING USING THE PENNSYLVANIA STATE PLANE SOUTH ZONE, NAD 83.
6. VERTICAL DATUM IS DERIVED FROM GPS PROCESSING USING THE NAVD83 (2011) GEOID18.
7. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED BY RIG CONSULTING, INC. FROM A COMBINATION OF FIELD SURVEY AND AVAILABLE AS-BUILT PLANS AND RECORDS. THEREFORE, THEIR LOCATIONS AND SIZES MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER UNDERGROUND FACILITIES WHOSE EXISTENCE IS PRESENTLY UNKNOWN. RIG CONSULTING INC. PA ONE CALL NUMBER IS 20212321879.



11/29/2023 10:00 AM C:\Users\jld\OneDrive\Documents\DM210100701.DWG

ZONING INFORMATION

LOCATION: PITTSBURGH, ALLEGHENY COUNTY, PA				
ZONE: UI - URBAN INDUSTRIAL				
USE: SERVICE STATION (REQUIRES REVIEW BY ZONING ADMINISTRATOR FOR AN EXCEPTION REVIEW)				
ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	MINIMUM LOT AREA	0 ACRES	0.584 ACRES	NO
2	MINIMUM LOT WIDTH	100 FEET	215 FEET	NO
3	MINIMUM FRONT SETBACK	0 FEET	24 FEET	NO
4	MINIMUM SIDE YARD	10 FEET	10 FEET	NO
5	MINIMUM REAR YARD	20 FEET WHEN NOT ADJACENT TO A WAY	20 FEET	NO
6	MAXIMUM BUILDING HEIGHT	60 FEET	24 FEET	NO
7	MAXIMUM IMPERVIOUS COVERAGE	NONE	93%	NO

PARKING INFORMATION

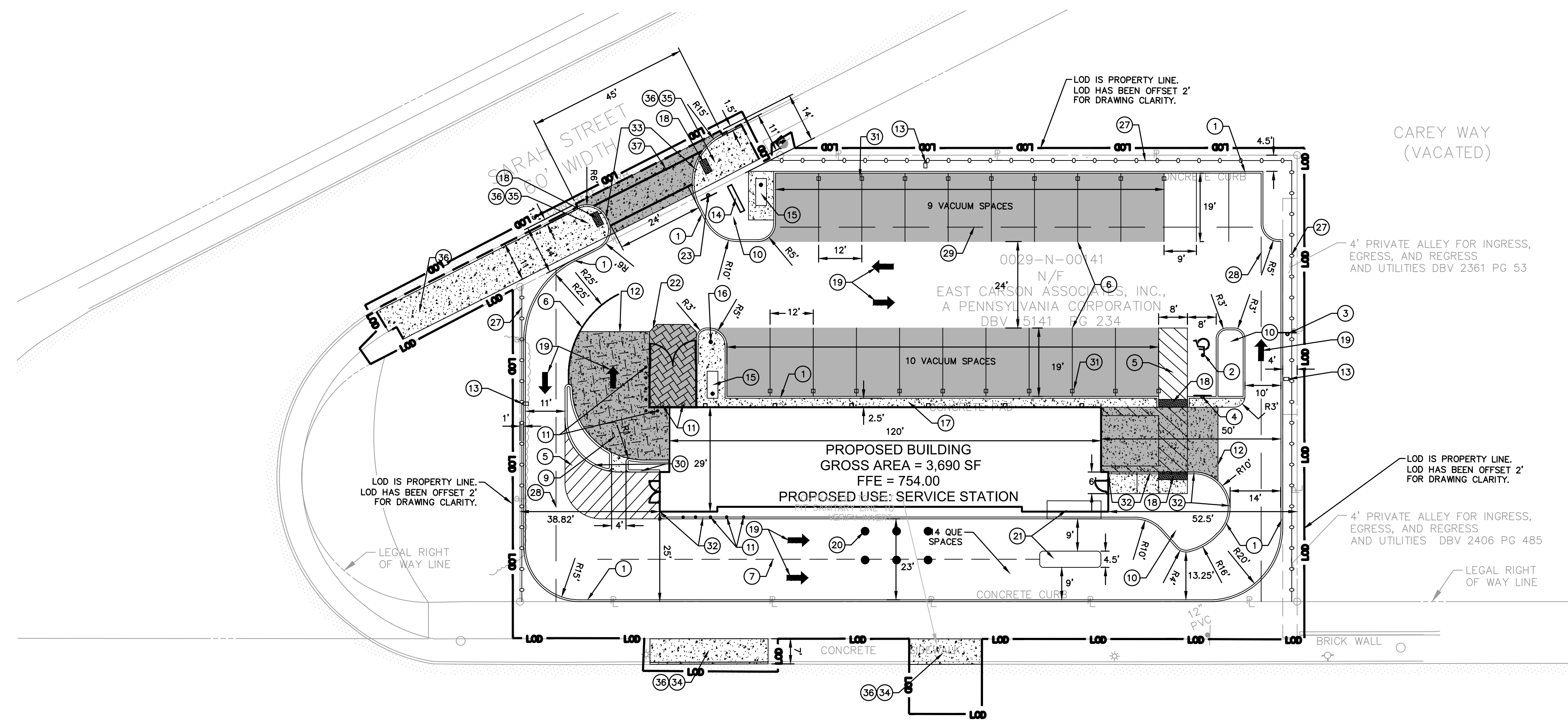
ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	BUILDING SIZE	FAR = 3:1	6.9:1	NO
2	PARKING REQUIRED	RETAIL: 4 QUEUING SPACES PER BAY FOR FOR AUTOMATIC WASH = 4 QUE SPACES	17 QUE SPACES 23 PARKING SPACES	NO
3	MINIMUM HANDICAPPED PARKING SPACES REQUIRED	1 SPACES	1 SPACES	NO
4	MINIMUM PARKING DIMENSIONS	8.5 FEET X 19 FEET	9 FEET X 19 FEET	NO
5	MINIMUM AISLE WIDTH	TWO WAY: 24 FEET ONE WAY: 10 FEET	26 FEET	NO

KEYNOTE LEGEND

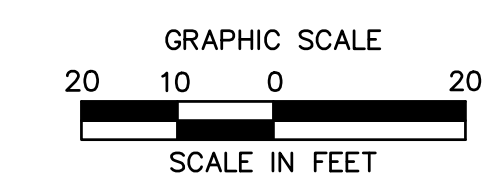
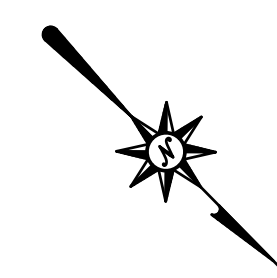
- | | |
|--|---|
| 1 6" VERTICAL CONCRETE CURB | 18 WHITE PAINTED LOT TRAFFIC FLOW ARROW |
| 2 ADA ACCESSIBLE PARKING SYMBOL | 20 RECLAMATION TANK COVERS |
| 3 "DO NOT ENTER" SIGN | 21 PAY STATION |
| 4 ACCESSIBLE PARKING SIGN | 22 CHAMFER CONCRETE PAVEMENT (MIN. 1') |
| 5 TRAVERSE STRIPING 4"WD. SOLID WHITE AT 45° | 23 STOP SIGN |
| 6 PARKING STRIPE 4"WD. SOLID WHITE | 24 ROOF LEADER (SEE ARCHITECTURAL PLANS) |
| 7 LANE STRIPE 4"WD. DASHED WHITE | 26 ADA STREET SIDEWALK RAMP (SEE DETAILS) |
| 8 DUMPSTER ENCLOSURE | 27 DECORATIVE FENCE (SEE DETAILS) |
| 9 HEATED CONCRETE | 28 SIDE YARD |
| 10 LANDSCAPED ISLAND | 29 REAR YARD |
| 11 BOLLARD | 30 WEDGE CURB |
| 12 FLUSH JOINT | 31 VACUUM FOUNDATIONS |
| 13 LIGHT POLE (SEE LIGHTING PLAN) | 32 LIMITS OF CURB TRANSITION |
| 14 PROPOSED MONUMENT SIGN | 33 DEPRESSED CURB |
| 15 VACUUM PRODUCER (SEE ARCHITECTURAL PLANS) | 34 REINFORCED CONCRETE SIDEWALK |
| 16 FLAG POLE | 35 TYPE I CURB RAMP & SDIEWALK |
| 17 CONCRETE CURB AND WALK | 36 COORDINATE SIDEWALK REPLACEMENT WITH DEMO PLAN AND FIELD LOCATED JOINT |
| 18 SIDEWALK TRUNCATED DOMES | 37 TWO 6" SOLID WHITE LINE FOR CROSS WALKS |

PROPOSED LEGEND

- | | |
|--|--|
| | PROPERTY LINE |
| | BUILDING SETBACK LINE |
| | SAWCUT LINE |
| | CONCRETE SIDEWALK |
| | HEAVY DUTY BITUMINOUS PAVEMENT |
| | STANDARD DUTY BITUMINOUS PAVEMENT |
| | STANDARD DUTY CONCRETE PAVEMENT |
| | THICKENED CONCRETE SLAB FOR DUMPSTER ENCLOSURE |
| | HEATED CONCRETE |



CARSON STREET SR 0837
VARIABLE WIDTH



PERMIT DRAWINGS

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
FOR
SOUTH SIDE CLEAN EXPRESS AUTO WASH
 3010 EAST CARSON STREET
 PITTSBURGH, ALLEGHENY COUNTY, PA



51 DuRh Road
Suite 210
Cranberry Township, PA 16066
(412) 435-3900

REVISIONS	Desc.
No.	Date
Designed	W.J.R.
Drawn	W.J.R.
Reviewed	A.J.B.
Scale	1" = 10'
Project No.	2101007
Date	10/31/2023
CAD File:	SP210100701
Title	SITE PLAN
Sheet No.	SP-1
	No. 4 of 19

11/29/2023 10:00 AM C:\Users\jld\OneDrive\Documents\SP210100701.DWG (P.L.A.)

© 2023 BL COMPANIES, INC. THESE DRAWINGS SHALL NOT BE UTILIZED BY ANY PERSON, FIRM OR CORPORATION WITHOUT THE SPECIFIC WRITTEN PERMISSION OF BL COMPANIES.

NOTE

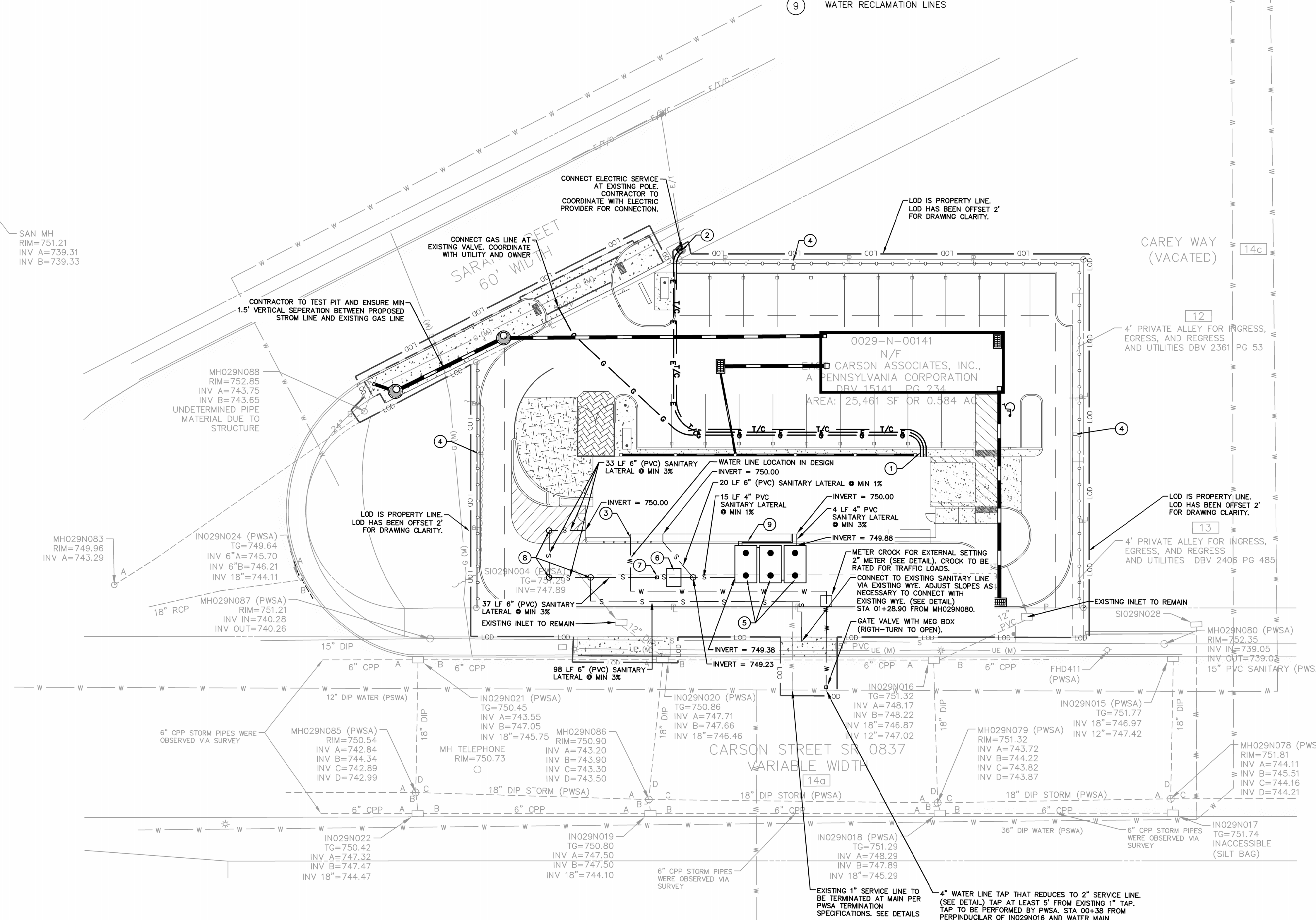
1. ALL SERVICE TO VACUUMS, PAY STATIONS, SITE LIGHTING, AND SIMILAR SITE IMPROVEMENTS SHALL BE COORDINATED WITH ARCHITECTURAL PLANS.
2. WATER LINES ARE APPROXIMATE. CONTRACTOR TO PERFORM TEST PITS FOR EXACT LOCATION.
3. WATER METER IS LOCATED INSIDE PROPOSED BUILDING.

KEYNOTE LEGEND

- 1 GAS LINE TO METER. LOCATION AND SIZE TO BE DETERMINED BY GAS COMPANY. (SEE ARCHITECTURAL PLANS)
- 2 POLE MOUNTED TRANSFORMER. LOCATION TO BE COORDINATED WITH ELECTRIC COMPANY
- 3 2" COPPER DOMESTIC WATER CONNECTION TO BUILDING. METER AND BACKFLOW TO BE PLACED IN BUILDING. (SEE ARCHITECTURAL PLANS)
- 4 LIGHT POLE FOUNDATIONS
- 5 RECLAMATION TANKS (SEE PLUMBING DETAILS)
- 6 OIL/GREASE SEPARATOR (SEE PLUMBING PLANS)
- 7 SAMPLING PIT (SEE ARCHITECTURAL PLANS)
- 8 CLEANOUT
- 9 WATER RECLAMATION LINES

PROPOSED LEGEND

- LOD LIMIT OF DISTURBANCE
- P — PROPERTY LINE
- W — W — W — WATER LINE
- G — G — G — GAS LINE
- S — S — S — SANITARY LINE
- E — E — E — ELECTRIC LINE
- — — — — OVERHEAD ELECTRIC LINE
- ETC — — — — — ELECTRIC/DATA/TELECOM LINE
- T/C — — — — — DATA/TELECOM LINE



PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
FOR
SOUTH SIDE CLEAN EXPRESS AUTO WASH
 3010 EAST CARSON STREET
 PITTSBURGH, ALLEGHENY COUNTY, PA

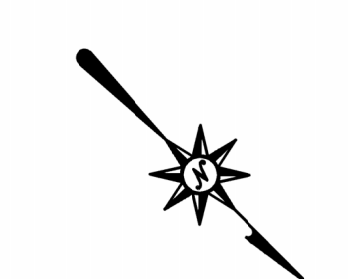
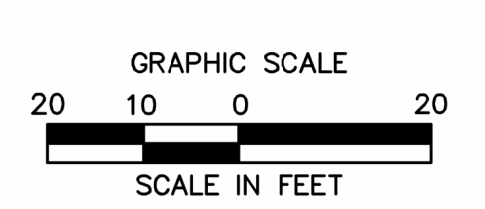
Architecture
 Engineering
 Environmental
 Land Surveying
BL Companies
 51 Duell Road
 Suite 210
 Cranberry Township, PA 16066
 (412) 435-3900

Desc. UPDATED SANITARY AND WATER LINES
 No. 1
 Date 09/13/2023

Designed W.J.R.
 Drawn W.J.R.
 Reviewed A.J.B.
 Scale 1" = 20'
 Project No. 2101007
 Date 10/31/2023
 CAD File: SU210100701

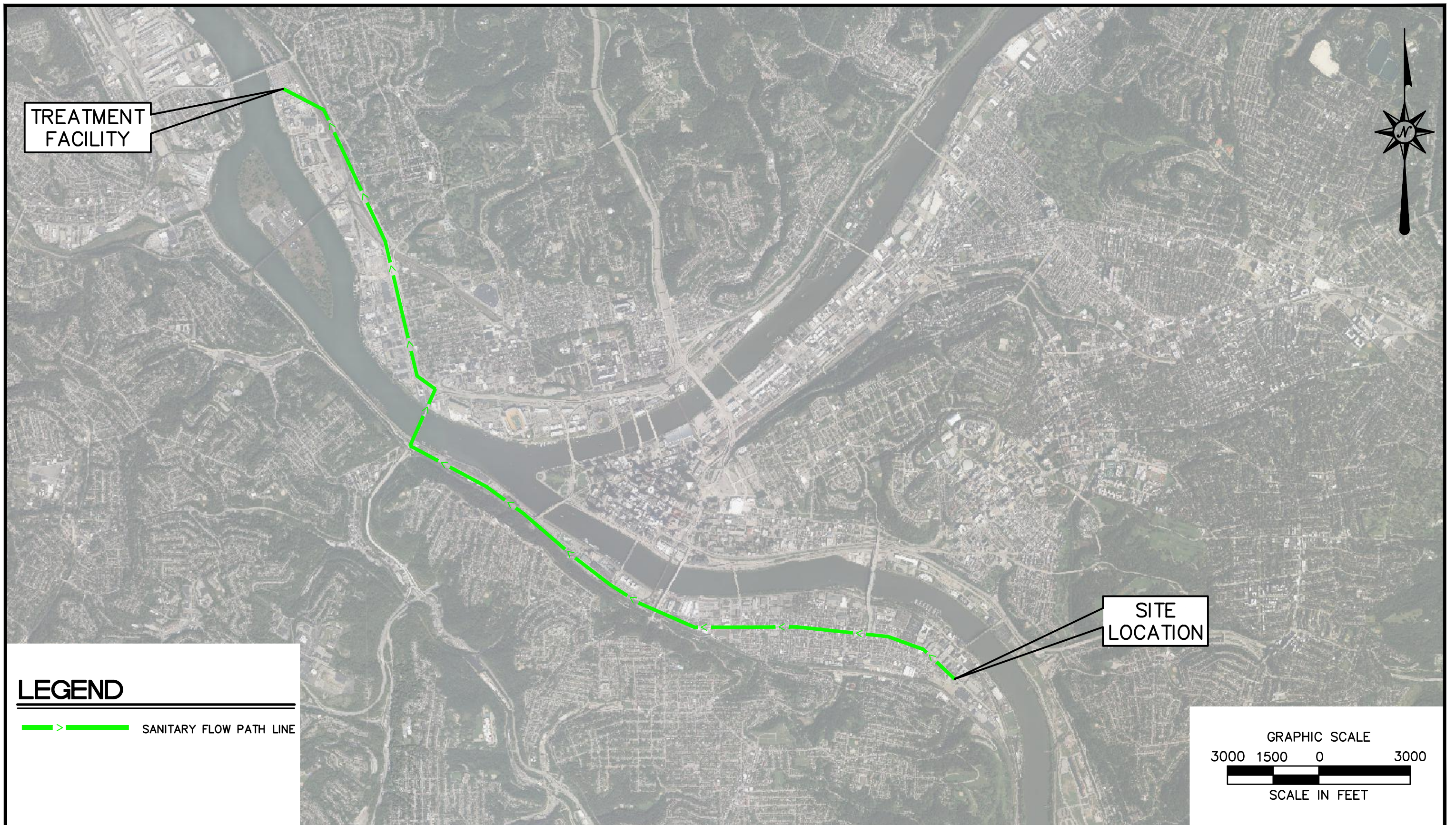
Title
SITE UTILITY PLAN
 Sheet No.

SU-1
 No. 6 of 19



PERMIT DRAWINGS

11/27/2023 10:58:37 AM C:\Users\blc\OneDrive\Documents\2101007\DWG\SU-1.dwg

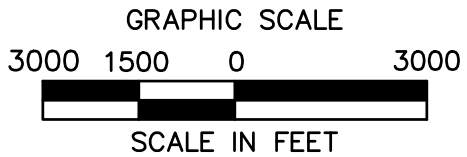


TREATMENT FACILITY

SITE LOCATION

LEGEND

 SANITARY FLOW PATH LINE



BRENTWOOD BOROUGH CLEAN EXPRESS AUTO WASH
 2929 SAW MILL RUN BLVD.
 BRENTWOOD BOROUGH
 ALLEGHENY COUNTY, PA

Designed W.J.R.
 Drawn W.J.R.
 Reviewed A.J.B.
 Scale 1"=3000'
 Project No. 2101007
 Date 11/16/23
 CAD File Sanitary Travel Path

STP-1

Xref (s):

Sanitary Sewer Module Project Narrative
South Side CLEAN Express Auto Wash

City of Pittsburgh
Allegheny County, Pennsylvania

Prepared For:

Express Wash Concepts
4867 William Flynn Hwy
Allison Park, PA 15101

Prepared By:



BL Companies
51 Dutilh Road, Suite 210,
Cranberry Township, PA 16066

BL Project No. 2101007

Issued: January 5, 2024

TABLE OF CONTENTS

1.0	Nature of the Proposed Development	1
2.0	Number of EDUs for the Proposed Development	1
3.0	Proposed Sewage Disposal Method.....	1
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5.0	Discharge Location and Total Acreage	1
6.0	Adjacent Properties	1
7.0	Previous Act 537 Plans.....	1

APPENDICES

Appendix A General Map of Sewage to Treatment Facility

Appendix B Projected Sanitary Flows

1.0 Nature of the Proposed Development

The subject property is located along 3045 Sarah St., PA and is situated within Allegheny County, Pennsylvania. The existing property is a 0.584-acre tract, identified as Tax Parcel #0029-N-00141-0000-00 and will be considered the “project site” or “site”, for the purposes of this report. The existing site is zoned “Urban Industrial” and can be characterized by a combination of impervious surface and grass land cover with a $\pm 2.5\%$ slope across the site. The site is bordered by a parking lot to the south, commercial business to the north, east, and west.

The proposed improvements include the development of a new $\pm 3,690$ S.F. Commercial Car Wash building with associated site improvements such as stormwater utility connections/extensions, parking, etc.

2.0 Number of EDUs for the Proposed Development

The proposed commercial Car Wash will be on a single lot. The Car Wash is projected to use, 1,707 GPD, equating to 5 EDUs using DEP’s $400 \text{ GPD} = 1 \text{ EDU}$.

3.0 Proposed Sewage Disposal Method

The proposed method for sewage disposal will be to extend the existing collection system to the proposed site. A general map showing the path of the sewage to the treatment facility can be found in Appendix A. A proposed private lateral will transport sanitary flow to an existing, PWSA owned, collection lateral that then transports sanitary flows to ALCOSAN’s Sewage Treatment Plant.

4.0 Projected Population and Sewage Flows

The proposed development will expect flows from one building with expected sewage flows of 1,707 GPD. This flow was projected using the average monthly flows across the entire year for the proposed business. The calculation for the flow can be found in Appendix B.

5.0 Discharge Location and Total Acreage

The site will discharge into an existing main sanitary conveyance system directly off-site from the property. The total acreage of the property is 0.584 acres and the limit of disturbance is 0.639 acres.

6.0 Other Parcels and Adjacent Properties

No other parcels surrounding the site are under the same ownership of the proposed development. Adjacent are used as Commercial spaces.

7.0 Previous Act 537 Plans

No previous Act 537 planning is known to be completed for the site of the proposed development.

South Side - Projections

20 Gallons per wash

<u>Month</u>	<u># Washes</u>	<u>Gallons</u>
January	7,000	84,000
February	7,000	84,000
March	8,000	96,000
April	9,000	108,888
May	10,000	120,000
June	11,000	120,000
July	10,000	120,000
August	10,000	120,000
September	8,500	102,000
October	7,000	84,000
November	7,000	84,000
December	7,000	84,000
	101,500	1,206,888
Days		365
Proposed Gallons/Day		3,307
Existing Gallons/Day		1,600
Net Gallons/Day		1,707
Comv		400
EDU		5



November 27, 2023

Sent Via PA-SHARE

RE: ER Project # 2023PR05646.001, South Side Clean Express Auto Wash, Department of Environmental Protection, Pittsburgh City, Allegheny County

Dear Submitter,

Thank you for submitting information concerning the above referenced project. The Pennsylvania State Historic Preservation Office (PA SHPO) reviews projects in accordance with state and federal laws. Section 106 of the National Historic Preservation Act of 1966, and the implementing regulations (36 CFR Part 800) of the Advisory Council on Historic Preservation, is the primary federal legislation. The Environmental Rights amendment, Article 1, Section 27 of the Pennsylvania Constitution and the Pennsylvania History Code, 37 Pa. Cons. Stat. Section 500 et seq. (1988) is the primary state legislation. These laws include consideration of the project's potential effects on both historic and archaeological resources.

Above Ground Resources

No Above Ground Concerns - Environmental Review - No Effect - Above Ground

Based on the information received and available within our files, it is our opinion that the proposed project will have No Effect on above ground historic properties, including historic buildings, districts, structures, and/or objects, should they exist. Should the scope of the project change and/or should you be made aware of historic property concerns, you will need to reinitiate consultation with our office using PA-SHARE.

For questions concerning above ground resources, please contact Sara-Ladd Manley at samanley@pa.gov.

Archaeological Resources

No Archaeological Concerns - Environmental Review - No Effect - Archaeological

Based on the information received and available in our files, in our opinion, the proposed project should have No Effect on archaeological resources. Our analysis indicates that archaeological resources are potentially located in this project area. Should the scope of the project be amended to include additional ground-disturbing activity and/or should you be made aware of historic property concerns, you will need to reinitiate consultation with our office using PA-SHARE.

For questions concerning archaeological resources, please contact Sara-Ladd Manley at samanley@pa.gov.

Sincerely,

A handwritten signature in black ink that reads "Emma Diehl". The signature is written in a cursive style with a long horizontal stroke at the end.

Emma Diehl

Environmental Review Division Manager

1. PROJECT INFORMATION

Project Name: **South Side Car Wash**

Date of Review: **11/29/2023 11:08:25 PM**

Project Category: **Development, New commercial/industrial development (store, gas station, factory)**

Project Area: **1.99 acres**

County(s): **Allegheny**

Township/Municipality(s): **PITTSBURGH**

ZIP Code:

Quadrangle Name(s): **PITTSBURGH EAST**

Watersheds HUC 8: **Lower Monongahela**

Watersheds HUC 12: **Streets Run-Monongahela River**

Decimal Degrees: **40.424346, -79.963528**

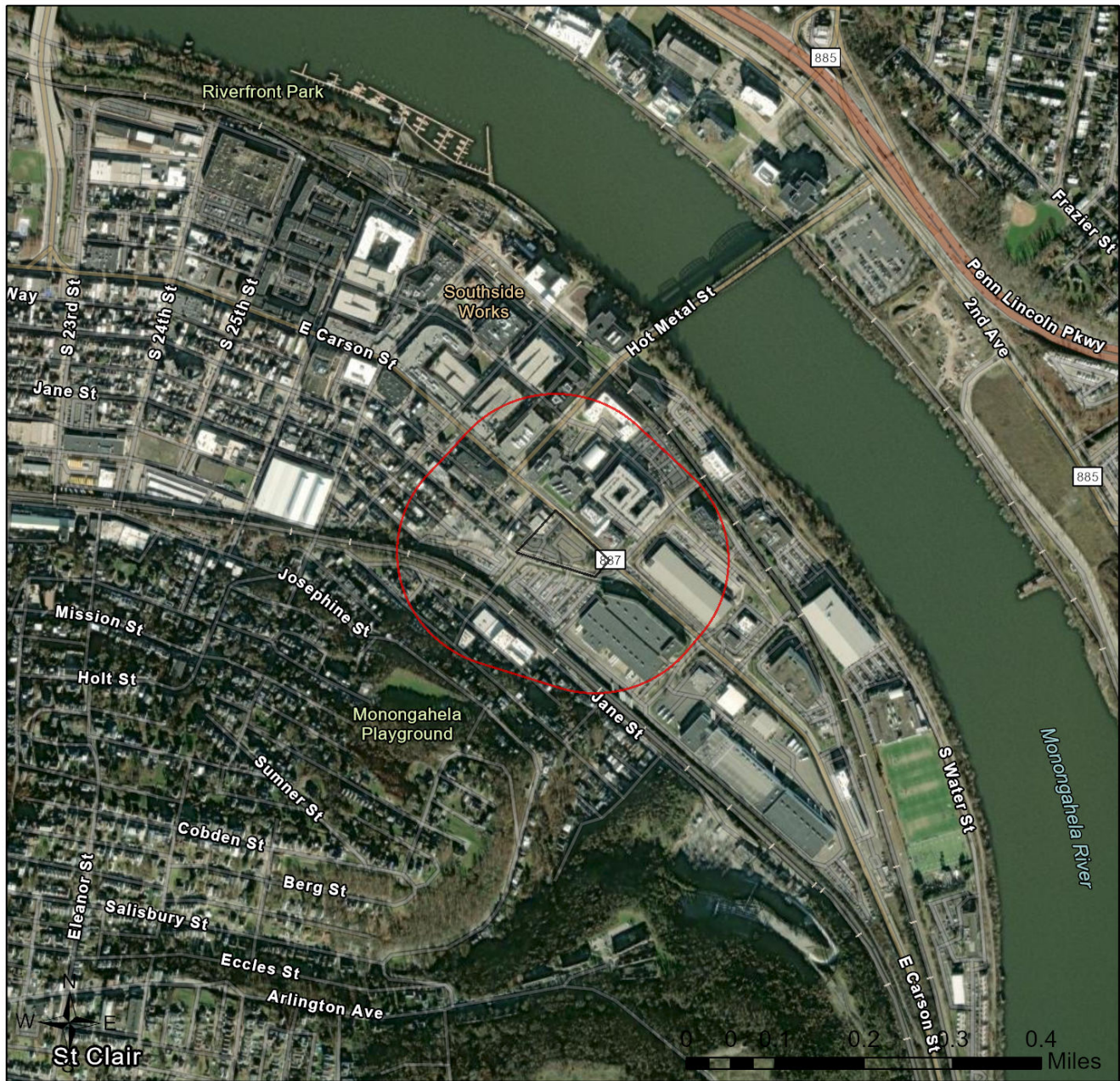
Degrees Minutes Seconds: **40° 25' 27.6465" N, 79° 57' 48.7018" W**



2. SEARCH RESULTS

Agency	Results	Response
PA Game Commission	No Known Impact	No Further Review Required
PA Department of Conservation and Natural Resources	No Known Impact	No Further Review Required
PA Fish and Boat Commission	No Known Impact	No Further Review Required
U.S. Fish and Wildlife Service	No Known Impact	No Further Review Required

As summarized above, Pennsylvania Natural Diversity Inventory (PNDI) records indicate no known impacts to threatened and endangered species and/or special concern species and resources within the project area. Therefore, based on the information you provided, no further coordination is required with the jurisdictional agencies. This response does not reflect potential agency concerns regarding impacts to other ecological resources, such as wetlands.

South Side Car Wash





-  Buffered Project Boundary
-  Project Boundary



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community

South Side Car Wash



-  Buffered Project Boundary
-  Project Boundary



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community

RESPONSE TO QUESTION(S) ASKED

Q1: The proposed project is in the range of the Indiana bat. Describe how the project will affect bat habitat (forests, woodlots and trees) and indicate what measures will be taken in consideration of this. Round acreages up to the nearest acre (e.g., 0.2 acres = 1 acre).

Your answer is: No forests, woodlots or trees will be affected by the project.

Q2: Is tree removal, tree cutting or forest clearing of 40 acres or more necessary to implement all aspects of this project?

Your answer is: No

3. AGENCY COMMENTS

Regardless of whether a DEP permit is necessary for this proposed project, any potential impacts to threatened and endangered species and/or special concern species and resources must be resolved with the appropriate jurisdictional agency. In some cases, a permit or authorization from the jurisdictional agency may be needed if adverse impacts to these species and habitats cannot be avoided.

These agency determinations and responses are **valid for two years** (from the date of the review), and are based on the project information that was provided, including the exact project location; the project type, description, and features; and any responses to questions that were generated during this search. If any of the following change: 1) project location, 2) project size or configuration, 3) project type, or 4) responses to the questions that were asked during the online review, the results of this review are not valid, and the review must be searched again via the PNDI Environmental Review Tool and resubmitted to the jurisdictional agencies. The PNDI tool is a primary screening tool, and a desktop review may reveal more or fewer impacts than what is listed on this PNDI receipt. The jurisdictional agencies **strongly advise against** conducting surveys for the species listed on the receipt prior to consultation with the agencies.

PA Game Commission

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

PA Department of Conservation and Natural Resources

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

PA Fish and Boat Commission

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

U.S. Fish and Wildlife Service

RESPONSE:

No impacts to **federally** listed or proposed species are anticipated. Therefore, no further consultation/coordination under the Endangered Species Act (87 Stat. 884, as amended; 16 U.S.C. 1531 et seq. is required. Because no take of federally listed species is anticipated, none is authorized. This response does not reflect potential Fish and Wildlife Service concerns under the Fish and Wildlife Coordination Act or other authorities.

4. DEP INFORMATION

The Pa Department of Environmental Protection (DEP) requires that a signed copy of this receipt, along with any required documentation from jurisdictional agencies concerning resolution of potential impacts, be submitted with applications for permits requiring PNDI review. Two review options are available to permit applicants for handling PNDI coordination in conjunction with DEP's permit review process involving either T&E Species or species of special concern. Under sequential review, the permit applicant performs a PNDI screening and completes all coordination with the appropriate jurisdictional agencies prior to submitting the permit application. The applicant will include with its application, both a PNDI receipt and/or a clearance letter from the jurisdictional agency if the PNDI Receipt shows a Potential Impact to a species or the applicant chooses to obtain letters directly from the jurisdictional agencies. Under concurrent review, DEP, where feasible, will allow technical review of the permit to occur concurrently with the T&E species consultation with the jurisdictional agency. The applicant must still supply a copy of the PNDI Receipt with its permit application. The PNDI Receipt should also be submitted to the appropriate agency according to directions on the PNDI Receipt. The applicant and the jurisdictional agency will work together to resolve the potential impact(s). See the DEP PNDI policy at <https://conservationexplorer.dcnr.pa.gov/content/resources>.



5. ADDITIONAL INFORMATION

The PNDI environmental review website is a preliminary screening tool. There are often delays in updating species status classifications. Because the proposed status represents the best available information regarding the conservation status of the species, state jurisdictional agency staff give the proposed statuses at least the same consideration as the current legal status. If surveys or further information reveal that a threatened and endangered and/or special concern species and resources exist in your project area, contact the appropriate jurisdictional agency/agencies immediately to identify and resolve any impacts.

For a list of species known to occur in the county where your project is located, please see the species lists by county found on the PA Natural Heritage Program (PNHP) home page (www.naturalheritage.state.pa.us). Also note that the PNDI Environmental Review Tool only contains information about species occurrences that have actually been reported to the PNHP.

6. AGENCY CONTACT INFORMATION

PA Department of Conservation and Natural Resources

Bureau of Forestry, Ecological Services Section
400 Market Street, PO Box 8552
Harrisburg, PA 17105-8552
Email: RA-HeritageReview@pa.gov

PA Fish and Boat Commission

Division of Environmental Services
595 E. Rolling Ridge Dr., Bellefonte, PA 16823
Email: RA-FBPACENOTIFY@pa.gov

U.S. Fish and Wildlife Service

Pennsylvania Field Office
Endangered Species Section
110 Radnor Rd; Suite 101
State College, PA 16801
Email: IR1_ESPenn@fws.gov
NO Faxes Please

PA Game Commission

Bureau of Wildlife Management
Division of Environmental Review
2001 Elmerton Avenue, Harrisburg, PA 17110-9797
Email: RA-PGC_PNDI@pa.gov
NO Faxes Please

7. PROJECT CONTACT INFORMATION

Name: Bill Roxby
Company/Business Name: BL Companies
Address: 51 Dutilh Road, Suite 210
City, State, Zip: Cranberry Township, PA 16066
Phone: (412) 435-3904 Fax: ()
Email: broxby@blcompanies.com

8. CERTIFICATION

I certify that ALL of the project information contained in this receipt (including project location, project size/configuration, project type, answers to questions) is true, accurate and complete. In addition, if the project type, location, size or configuration changes, or if the answers to any questions that were asked during this online review change, I agree to re-do the online environmental review.

William J. Roxby
applicant/project proponent signature

12/14/2023
date



05/12/2022

Bill Roxby
BL COMPANIES - Pittsburgh
2591 Wexford Bayne Rd Ste 206, Sewickley I

RE: Water and Sewer Availability
3010 E Carson St, Pittsburgh PA 15203-2154

Dear Bill Roxby

In response to your inquiry concerning water and sewer availability for the area referenced above, please be advised that water and sewer service will be provided in accordance with the policies and procedures of the Pittsburgh Water and Sewer Authority as described below:

Water service available: Yes

Sewer service available: Yes

6" East Carson Street

24" S.30th Street

8" s. 30th Street

15" East Carson Street

18" E. Carson Street

We wish to advise you that, if it is your desire to tap our water and sewer mains for service, your plans must be approved through a development permit application in accordance with the PWSA Developer's Manual.

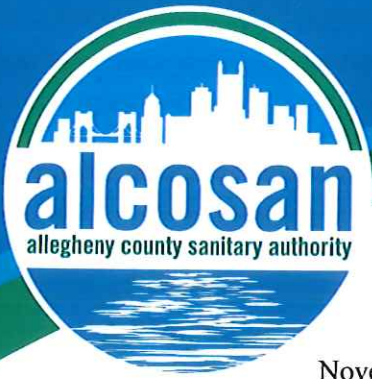
Please note that the Authority in no way guarantees that the available lines have the capacity or pressure adequate for your project's needs. It is the responsibility of the project developer, design consultant, and/or architects to determine, at their expense, the adequacy of the existing water system to fulfill their needs.

If you have any questions, please feel free to contact me at (412) 255-8800 x 8030. Thank you.

Sincerely,

A handwritten signature in black ink that reads 'Wendy M. Dean'.

Wendy M. Dean
Engineering Tech II



November 20, 2023

Members of the Board

Sylvia C. Wilson
Chair Person
Shannah Tharp-Gilliam, Ph.D.
Harry Readshaw
Emily Kinkead
Paul Klein
Theresa Kail-Smith
Darrin Kelly

Arletta Scott Williams
Executive Director

Douglas A. Jackson, P.E.
*Director
Operations & Maintenance*

Michelle M. Buys, P.E.
*Director
Environmental Compliance*

Kimberly N. Kennedy, P.E.
*Director
Engineering & Construction*

Karen Fantoni, CPA, CGMA
*Director
Finance*

Michael Lichte, P.E.
*Director
Regional Conveyance*

Jeanne K. Clark
*Director
Governmental Affairs*

Joseph Vallarian
*Director
Communications*

Julie Motley-Williams
*Director
Administration*

Phil Cole
*Chief Information Officer
Information Technology*

William J. Roxby
BL Companies
100 Courson Hill Road
51 Dutilh Road, Suite 200
Cranberry Township, PA 16066

**Re: South Side Clean Express Auto Wash
City of Pittsburgh -- Allegheny County
PA DEP Sewage Facilities Planning Module
ALCOSAN Regulator Structure M-26-00**

Dear Mr. Roxby:

We have reviewed the Component 3 Planning Module for the referenced project to be located at Park Place in Ross Township. The project will generate a peak flow of 1,707 gpd in the ALCOSAN Monongahela River Interceptor and Woods Run Treatment Plant.

The capacity of the ALCOSAN M-26-00 regulator structure is 2.82 MGD. The estimated peak dry weather flow is approximately 0.0327 MGD. Therefore, dry weather capacity exists for this connection. However, the Monongahela River Interceptor and the Woods Run Treatment Plant do not have the capacity for the flows generated during wet weather periods. This limitation will be addressed as ALCOSAN implements its Clean Water Plan.

ALCOSAN requests that this letter be made part of the planning module submission. The signed Component 3 Planning Module is attached. If you have any questions regarding this matter, please contact me at 412-734-8735.

Sincerely,

ALLEGHENY COUNTY SANITARY AUTHORITY


Joe Fedor

Attachment

cc: C. Dean (w/o attachment) R. Herring/PWSA (w/o attachment)
L. Sanford (w/o attachment) Mahuba Iasmin/PADEP (w/o attachment)
M. Lichte (w/o attachment) Issa Tijani/ACHD (w/o attachment)