



GATEWAY

On Call. On Time. On Target.

C-39524-0000

December 2020
Rev. January 2021
Rev. January 2022

Maginn Building Lofts

915 Liberty Avenue
City of Pittsburgh
Allegheny County, PA

PREPARED FOR

Day 3 Design
915 Liberty Avenue,
Pittsburgh, PA 15222

SUBMITTED BY

Mark W. Reidenbach, P.E., P.L.S., S.E.O.
The Gateway Engineers, Inc.
100 McMorris Road
Pittsburgh, PA 15205
412.921.4030 PHONE
412.921.9960 FAX
www.gatewayengineers.com
mreidenbach@gatewayengineers.com

SEWAGE FACILITIES PLANNING MODULE



A FULL-SERVICE CIVIL ENGINEERING FIRM

EXHIBITS

- EXHIBIT A. Copy of DEP Planning Module Mailer
- EXHIBIT B. PWSA Water and Sewer Use Approval Letter
- EXHIBIT C. PWSA Water and Sewer Availability Letter
- EXHIBIT D. Project Narrative and Flow Map
- EXHIBIT E. USGS Site Location Map
- EXHIBIT F. Plot Plan
- EXHIBIT G. Sewer Flow Calculations (Signed and Sealed) and PWSA Approval Letters
- EXHIBIT H. Component 3 – Sewage Collection and Treatment Facilities
- EXHIBIT I. PWSA Tap Allocation Letter
- EXHIBIT J. Pennsylvania Natural Diversity Inventory (PNDI) Environmental Review
- EXHIBIT K. Alternatives Analysis
- EXHIBIT L. Component 4A – Municipal Planning Agency Review
- EXHIBIT M. Component 4C – Allegheny County Health Department Review

EXHIBIT A.

Copy of DEP Planning Module Mailer

1. Development Information

Name of Development 915 Liberty Avenue Renovations
Developer Name Day3Design, LLC.
Address 1414 Commons Lane
Bridgeville, PA 15017
Telephone # (412) 618-2515
Email mbarnett@day3design.com

2. Location of Development

a. County Allegheny County
b. Municipality City of Pittsburgh
c. Address or Coordinates 915 Liberty Avenue, Pittsburgh, PA 15222
d. Tax Parcel # 0009N00058000000
e. USGS Quad Name USGS Pittsburgh East
inches up 12.8 over 1.23
from bottom right corner of map.
f. Located in a High Quality/Exceptional Value watershed?
Yes No

3. Type of Development Proposed (check appropriate box)

Residential Multi-Residential
Describe Conversion of a warehouse/manufacturing facility to residential condo's
Commercial Institutional
Describe
Brownfield Site Redevelopment
Other (specify)

4. Size

a. # of lots 1 # of EDUs 8.25
b. # of lots since 5/15/72 1
c. Development Acreage 0.132
d. Remaining Acreage 0

5. Sewage Flows 3300 gpd

6. Proposed Sewage Disposal Method (check applicable boxes)

Sewerage System Existing (connection only) New (extension)
Public Private
Pump Station(s)/Force Main Gravity
Name of existing system being extended
Interceptor Name
Treatment Facility Name Allegheny County Sanitary Authority
NPDES Permit #
Construction of Treatment Facility
With Stream Discharge
With Land Application (not including IRSIS)
Other
Repair?
Name of waterbody where point of discharge is proposed (if stream discharge)
N/A

Onlot Sewage Disposal Systems (check appropriate box)
Individual onlot system(s) (including IRSIS)
Community onlot system
Large-Volume onlot system
Retaining tanks
Number of Holding Tanks
Number of Privies

7. Request Sewage Facilities Planning Module forms in electronic format

8. Request for Planning Exemption

Protection of rare, endangered or threatened species
Check one:
The "PNDI Project Environmental Review Receipt" is attached.
or
A completed "PNDI Project Planning & Environmental Review Form," (PNDI Form) is attached. I request DEP staff to complete the required PNDI search for my project. I realize that my planning exemption will be considered incomplete and that the DEP processing of my planning exemption request will be delayed, until a "PNDI Project Environmental Review Receipt" and all supporting documentation from jurisdictional agencies (when necessary) is/are received by DEP.

Applicant or Consultant Initials

Plot Plan Attached Site Reports Attached

Onlot Disposal Systems

(1) I certify that the Official Plan shows this area as an onlot service area.

(Signature of Municipal Official) Date

Name (Print) Title

Municipality (must be same as in 2.b.)

Telephone #

(2) I certify that each lot in this subdivision has been tested and is suitable for both a primary and replacement sewage disposal system.

(Signature of SEO) Date

Name (Print) Certification #

Telephone #

(3) I certify that each lot in this subdivision is at least 1 acre in size

(Signature of Project Applicant/Agent) Date

Public Sewerage Service (i.e., ownership by municipality or authority)

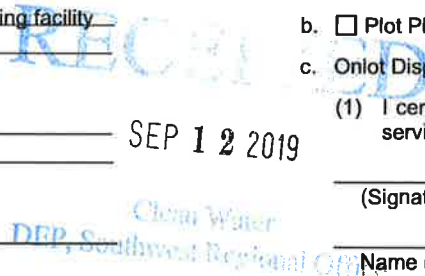
Based upon written documentation, I certify that the facilities proposed for use have capacity and that no overload exists or is projected within 5 years. (Attach documents.)

(Signature of Municipal Official) Date

Name (Print) Title

Municipality (must be same as in 2.b.)

Telephone #



379960

DEP # 02001-19-030

Client - 76778

EXHIBIT B.

PWSA Water and Sewer Use Approval Letter

June 2, 2020

Mr. Andrew Ungarino, E.I.T.
The Gateway Engineers, Inc.
100 McMorris Road
Pittsburgh, PA 15205

Subject: Water and Sewer (W/S) Use Approval
Project Name: 915 Liberty Avenue
PWSA Project No.: 19013.69

Dear Mr. Ungarino,

Pursuant to your request, we have reviewed the W/S Use Application (Application) for the aforementioned Project. This letter shall serve as confirmation that the Application has been approved. Please see below for the approved flows:

| Type of Flow | Sanitary, gpd | Water, gpd | Storm, cfs |
|----------------------|---------------|------------|------------|
| <i>Project Flow</i> | 3,300 | 3,300 | N/A |
| <i>Existing Flow</i> | 262 | 262 | N/A |
| <i>Net Flow</i> | 3,038 | 3,038 | |

Please be advised that the need for sewage planning shall be determined by the Department of Environmental Protection (DEP). After issuance of this letter, the PWSA shall email the Preliminary Determination on the Need for Sewage Planning Letter to the DEP. Typically, the DEP will respond via email with the Final Determination on the Need for Sewage Planning. In the event that sewage planning is required, we have enclosed for your use the location of the most limited capacity sewer.

Our review was based on information provided by the Applicant under the assumption that this information was accurate and complete. Should you have any questions, please do not hesitate to contact me directly at 412-255-8800 x5523 or SConnell@pgh2o.com.

Sincerely,



Shannon Connell
Engineering Co-Op

Enclosure(s)

cc: Barry King, P.E. – PWSA (via email)
Kate Mechler, P.E. – PWSA (via email)
Robert Herring, P.E. – PWSA (via email)
eBuilder – Filing System (via email)



Water and Sewer (W/S) Use Application Form

Instructions The complete W/S Use Application shall be uploaded via e-builder. To obtain an e-builder project folder, please make a request on our website at www.pgh2o.com/permits. In addition, please refer to the Developer’s Manual for detailed information on application requirements.

- Requirements**
- Application Fee Application Form Narrative
 - Flow Calculations Site Plan Floor Plan

Project Info

Project Name: 915 Liberty Avenue Renovations

Address: 915 Liberty Avenue
Pittsburgh, PA 15222

Is the Project located on a lot created prior to May 15, 1972? YES NO

Owner/Developer

Name: Day3Design, LLC.

Address: 1414 Commons Lane
Bridgeville, PA 15017

Email: mbarnett@day3design.com

Phone Number: (412) 618-2515

Consultant

Firm Name: The Gateway Engineers, Inc.

Address: 100 McMorris Road
Pittsburgh, PA 15205

Contact Name: Mark Reidenbach, P.E., P.L.S., S.E.O.

Email: Mreidenbach@gatewayengineers.com

Phone Number: (412) 921 4030 x149

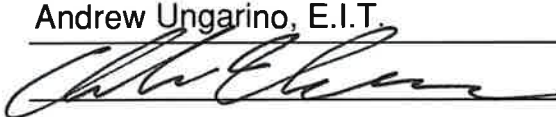
Flow Data

| Type of Flow | Sanitary, gpd | Water, gpd | Storm, cfs |
|---------------|---------------|------------|--------------|
| Project Flow | 3300 | | |
| Existing Flow | 262 | | |
| Net Flow | 3038 | | Not Required |

Signature

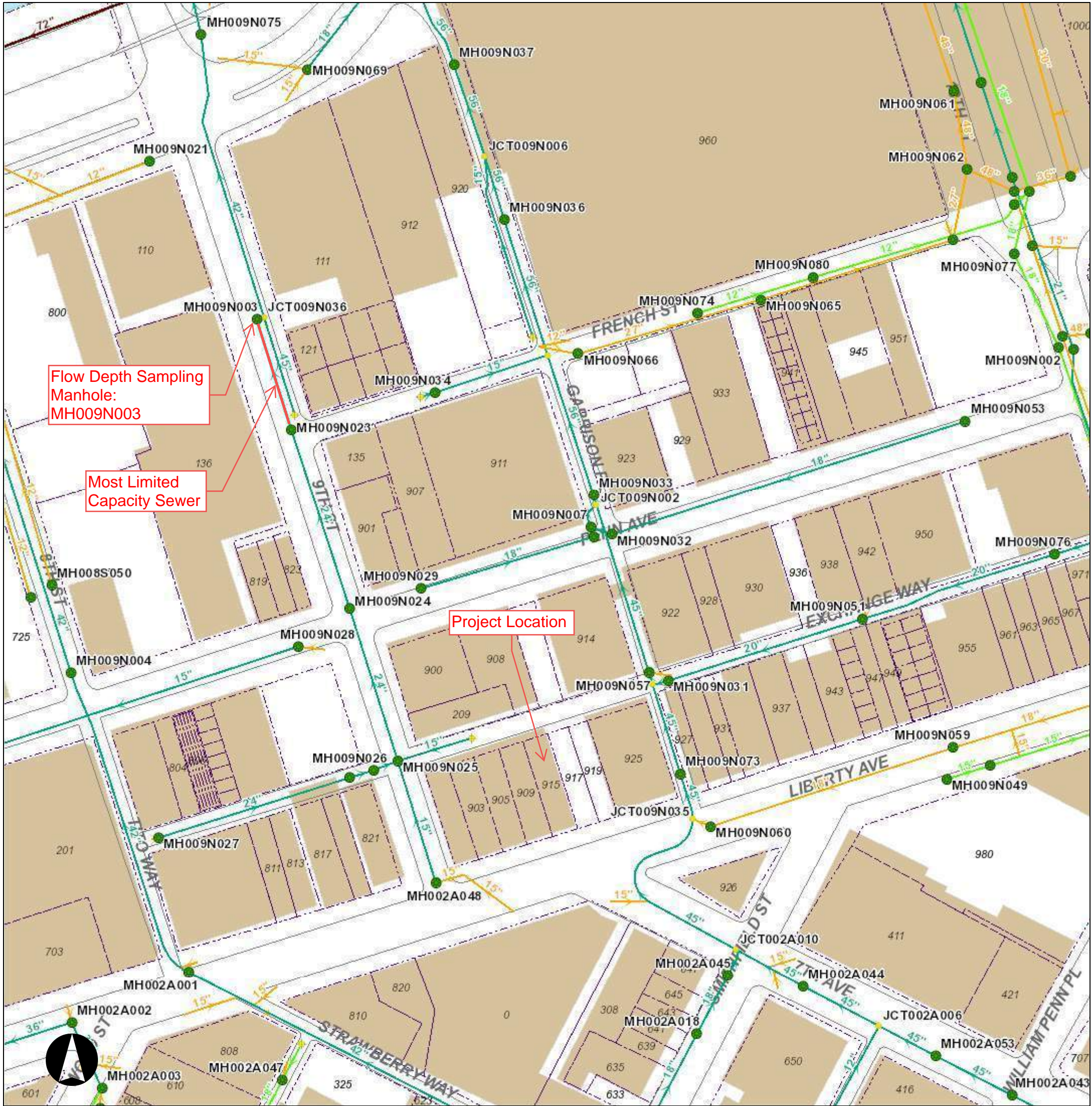
By signing below, I hereby certify, to the best of my knowledge, that the information provided within the Water and Sewer Use Application is true, complete and accurate.

Name, printed: Andrew Ungarino, E.I.T.

Signature: 

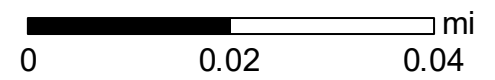
Date: 5-29-2020

915 Liberty Ave GIS Map



Legend

| | | | |
|--|-----------------------------|--|---|
| | Water Manhole | | Private Inlet |
| | Water Manhole | | Outfall |
| | Meter | | End Cap |
| | Curb Box | | Sewer Pump Station |
| | Water System Pump | | Combined Sewer |
| | Hydrant | | Sanitary Sewer |
| | System Valve | | Storm Sewer |
| | Dividing Pressure Valve | | Regulated Combined Sewer |
| | Coupling | | Overflow Sewer |
| | Tee | | Interceptor |
| | Cross | | Sewer Force Main |
| | Reducer | | Private Sewer |
| | End Cap | | Undefined Sewer |
| | Wash Out | | Green Infrastructure Underground Facilities |
| | Pressure Monitoring Station | | |
| | Rising Main | | |
| | Supply Main | | |
| | Transmission Main | | |
| | Distribution Main | | |
| | Hydrant Branch | | |
| | Private Main | | |
| | Water Service Line | | |
| | SEWER | | |
| | | | |
| | | | |
| | | | |



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Date: 5/29/2020

Most Limited Capacity Sewer (MLCS) Spreadsheet

PROJECT NAME: 915 Liberty Avenue
PWSA PROJECT NUMBER: 19013.69
PWSA REVIEWER: Shannon Connell
DATE: May 29, 2020

LEGEND:

| |
|-----------------------------|
| Output Data |
| Input Data |
| Questionable Data |
| Hydraulically Limited Sewer |

| Upstream MH | Downstream MH | Upstream Invert | Downstream Invert | Length, ft | Diam., in. | Material | n | Area, sf | Wetted P, ft | Slope | Flow, gpd |
|-------------|---------------|-----------------|-------------------|------------|------------|----------|-------|----------|--------------|---------|-------------|
| EC009N001 | MH009N025 | 719.67 | 718.34 | 80.04 | 15 | VCP | 0.015 | 1.23 | 3.927 | 1.66% | 4,676,878 |
| MH009N025 | MH009N024 | 718.34 | 718.12 | 164.90 | 24 | VCP | 0.015 | 3.14 | 6.283 | 0.13% | 4,640,927 |
| MH009N024 | MH009N023 | 718.12 | 715.00 | 195.00 | 24 | VCP | 0.015 | 3.14 | 6.283 | 1.60% | 16,071,770 |
| MH009N023 | MH009N003 | 715.00 | 714.67 | 119.43 | 24 | VCP | 0.015 | 3.14 | 6.283 | 0.28% | 6,678,885 |
| MH009N003 | JCT009N036 | 714.67 | 713.92 | 7.86 | 42 | RCP | 0.013 | 9.62 | 10.996 | 9.54% | 201,406,020 |
| JCT009N036 | MH009N075 | 713.92 | 703.30 | 303.08 | 42 | RCP | 0.013 | 9.62 | 10.996 | 3.50% | 122,049,698 |
| MH009N075 | ADC009JA11 | 703.30 | 700.96 | 55.25 | 42 | RCP | 0.013 | 9.62 | 10.996 | 4.24% | 134,182,190 |
| | | | | | | | | 0.00 | 0.000 | #DIV/0! | #DIV/0! |
| | | | | | | | | 0.00 | 0.000 | #DIV/0! | #DIV/0! |
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| | | | | | | | | 0.00 | 0.000 | #DIV/0! | #DIV/0! |
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EXHIBIT C.

PWSA Water and Sewer Availability Letter



PITTSBURGH WATER AND SEWER AUTHORITY

WATER AND SEWER AVAILABILITY LETTER REQUEST FORM

All persons planning to perform construction, demolition, or renovation work that will involve water and/or sewer services are recommended to complete this form and submit to PWSA.

This request form is required for all of the following types of development. (Please note that the term "sewer" refers to sanitary sewers, combined sewers, and storm sewers.)

- 1. New water and/or sewer tap(s) for all approved/recorded subdivisions.
2. Change of Use and/or increase in water and/or sewer flows for residential development(s), commercial, industrial and institutional developments (i.e. total project sanitary flow is greater than 799 gallons per day).
3. New water and/or sewer tap(s) for all residential, commercial, industrial, and institutional developments.

Information to be submitted by the Applicant:
Property Owner Name: Day3Design, LLC
Address of Property: 915 Liberty Ave, Pittsburgh, PA 15222
Proposed Use of Site: Apartment conversion
Closest street intersection to the property: Liberty Avenue & 9th Street
Tax Parcel: 9-N-57
Requestor Name: Mark Reidenbach - Gateway Engineers
Date of Request: 9/18/2019
Requestor Address: 100 McMorris Road Pittsburgh, PA 15205-9401
Requestor Phone Number: 412-409-2362

Please submit the completed form to:

Pittsburgh Water and Sewer Authority
1200 Penn Avenue
Pittsburgh, PA 15222
Attn: Permits
(permitinfo@pgh2o.com)

PWSA Use Only:
PWSA Water Service Available: [X] Yes [] No
Water Size / Location: 10" Exchange Way, 12" Liberty Ave
PWSA Sewer Service Available: [X] Yes [] No
Sewer Size / Location: 15" Exchange Way
Applicant must contact separate agency for water and/or sewer service: [] Yes [X] No
Name of separate agency:
PWSA Approval Authority: Signature and Date: Wendy M. Dean 10-22-19
Name (printed): Wendy M. Dean
Title: Engineering Tech II

Disclaimer: The information provided by PWSA does not guarantee capacity of the PWSA-owned water and/or sewer lines to satisfy the needs of the proposed development.



Pittsburgh
Water & Sewer
Authority

October 21, 2019

Mark Reidenbach
Gateway Engineers
100 McMorris Road
Pittsburgh, PA 15205

RE: Water and Sewer Availability
915 Liberty Avenue

Dear Mr. Reidenbach:

In response to your inquiry on 10/18/2019 concerning water and sewer availability for the area referenced above, please be advised that both water and sewers are available near the site, and water and sewer service will be provided in accordance with the policies and procedures of the Pittsburgh Water and Sewer Authority.

We wish to advise you that, if it is your desire to tap our water and sewer mains for service, your plans and Water and Sewer Use Application must be approved by the Authority, complete with detail showing the type of connection, meter, and backflow device before any work is performed.

Please note that the Authority in no way guarantees that the available lines have the capacity or pressure adequate for your project's needs. It is the responsibility of the project developer, design consultant, and/or architects to determine, at their expense, the adequacy of the existing water system to fulfill their needs.

If you plan to make modifications to the water or sewer system, please submit design drawings to The Pittsburgh Water and Sewer Authority for approval.

Refer to the Pittsburgh Water and Sewer Authority (PWSA) website (www.pgh2o.com) for the complete "Procedure Manual for Developers". All tap in plans and applications must be submitted according to the manual.

If you have any questions, please feel free to contact me at (412) 255-8800 x 8030. Thank you.

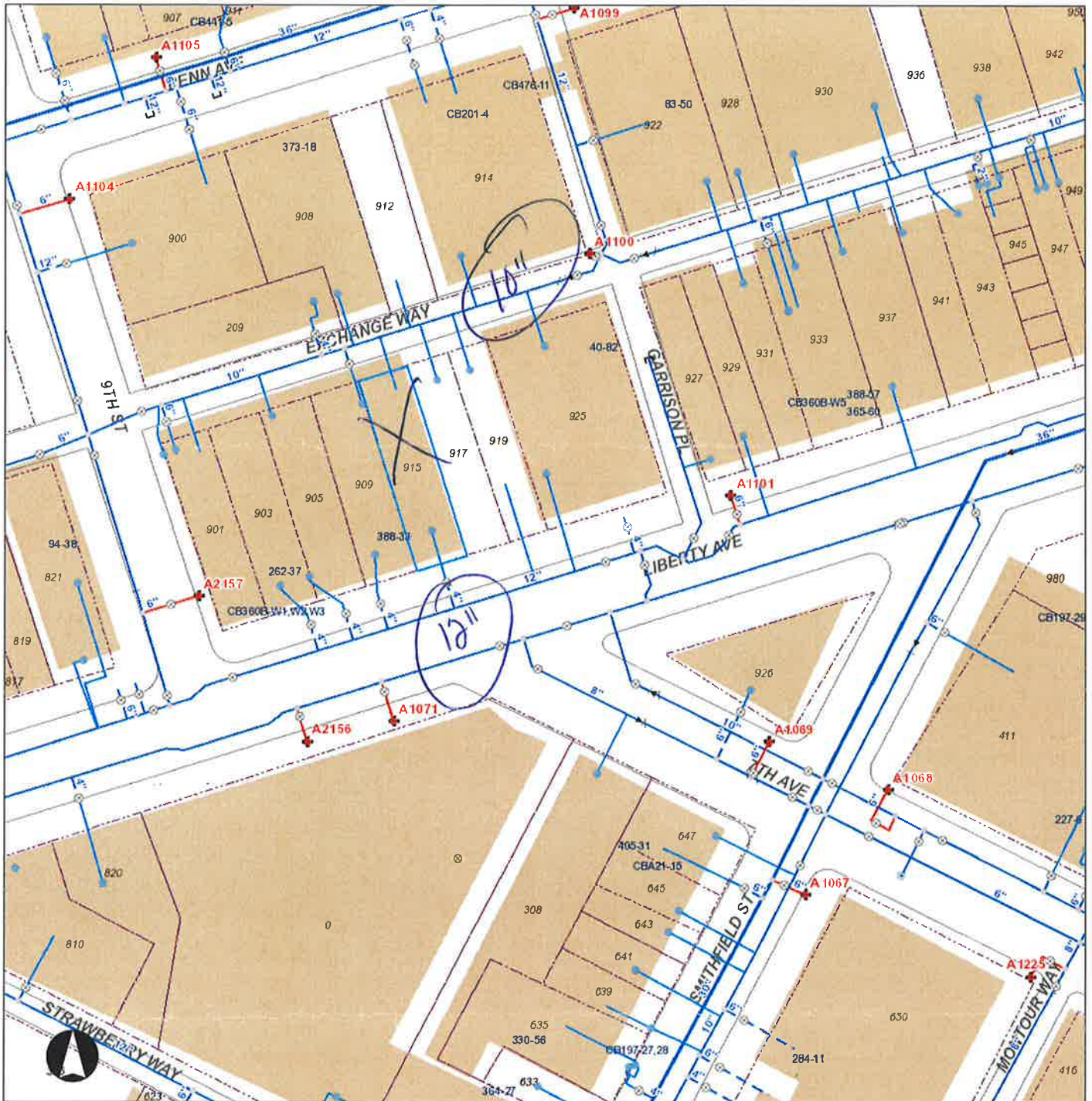
Sincerely,

A handwritten signature in blue ink that reads 'Wendy M. Dean'.

Wendy M. Dean
Engineering Tech II

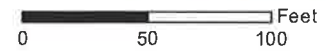
cc: PWSA File

915 Liberty Avenue - Water



Legend

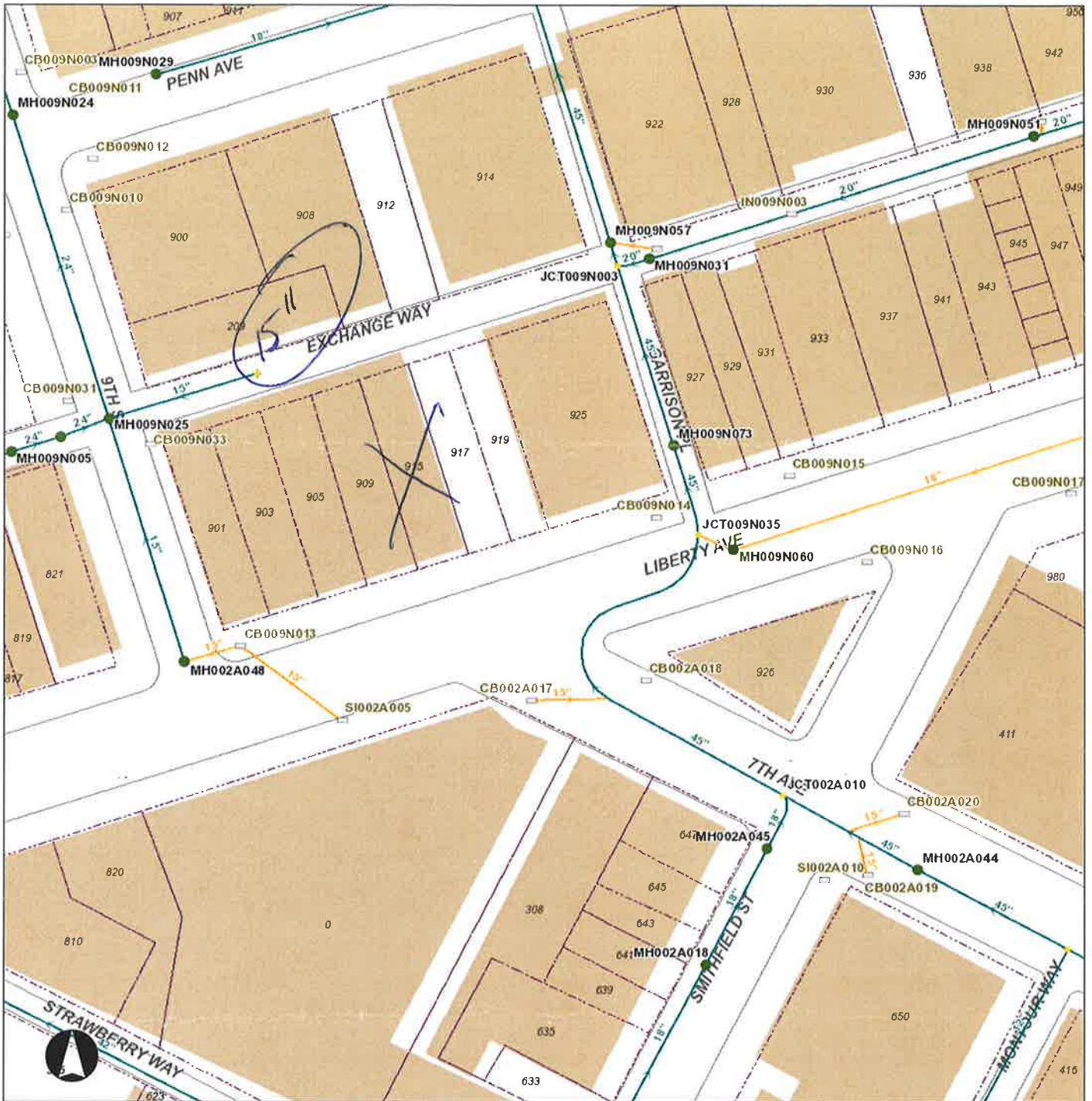
| | | | | | |
|---|-------------------------|---|--------------------|---|--------------------------|
| ⊙ | Meter | ○ | Water Manhole | □ | Outfall |
| ⊠ | Pump | — | Rising Main | ⊕ | End Cap |
| + | Hydrant | — | Supply Main | ■ | Sewer Pump Station |
| ⊕ | Hydrant- Out of Service | — | Transmission Main | — | Combined Sewer |
| ⊗ | System Valve | — | Distribution Main | — | Sanitary Sewer |
| ⊘ | Dividing Pressure Valve | — | Hydrant Branch | — | Storm Sewer |
| ⊠ | Cap | — | Private Main | — | Regulated Combined Sewer |
| ⊕ | Tee or Cross | — | Water Service Line | — | Overflow Sewer |
| ⊘ | Reducer | ● | Manhole | — | Interceptor |
| ⊕ | Coupling | ○ | Junction | — | Sewer Force Main |
| ⊕ | Wash Out | ⊠ | Inlet | — | Private Sewer |
| | | ⊠ | Private Inlet | — | Undefined Sewer |



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Date: 10/21/2019

915 Liberty Avenue - Sewer



Legend

- | | | |
|-------------------------|--------------------|--------------------------|
| Meter | Water Manhole | Outfall |
| Pump | Rising Main | End Cap |
| Hydrant | Supply Main | Sewer Pump Station |
| Hydrant- Out of Service | Transmission Main | Combined Sewer |
| System Valve | Distribution Main | Sanitary Sewer |
| Dividing Pressure Valve | Hydrant Branch | Storm Sewer |
| Cap | Private Main | Regulated Combined Sewer |
| Tee or Cross | Water Service Line | Overflow Sewer |
| Reducer | Manhole | Interceptor |
| Coupling | Junction | Sewer Force Main |
| Wash Out | Inlet | Private Sewer |
| | Private Inlet | Undefined Sewer |



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Date: 10/21/2019

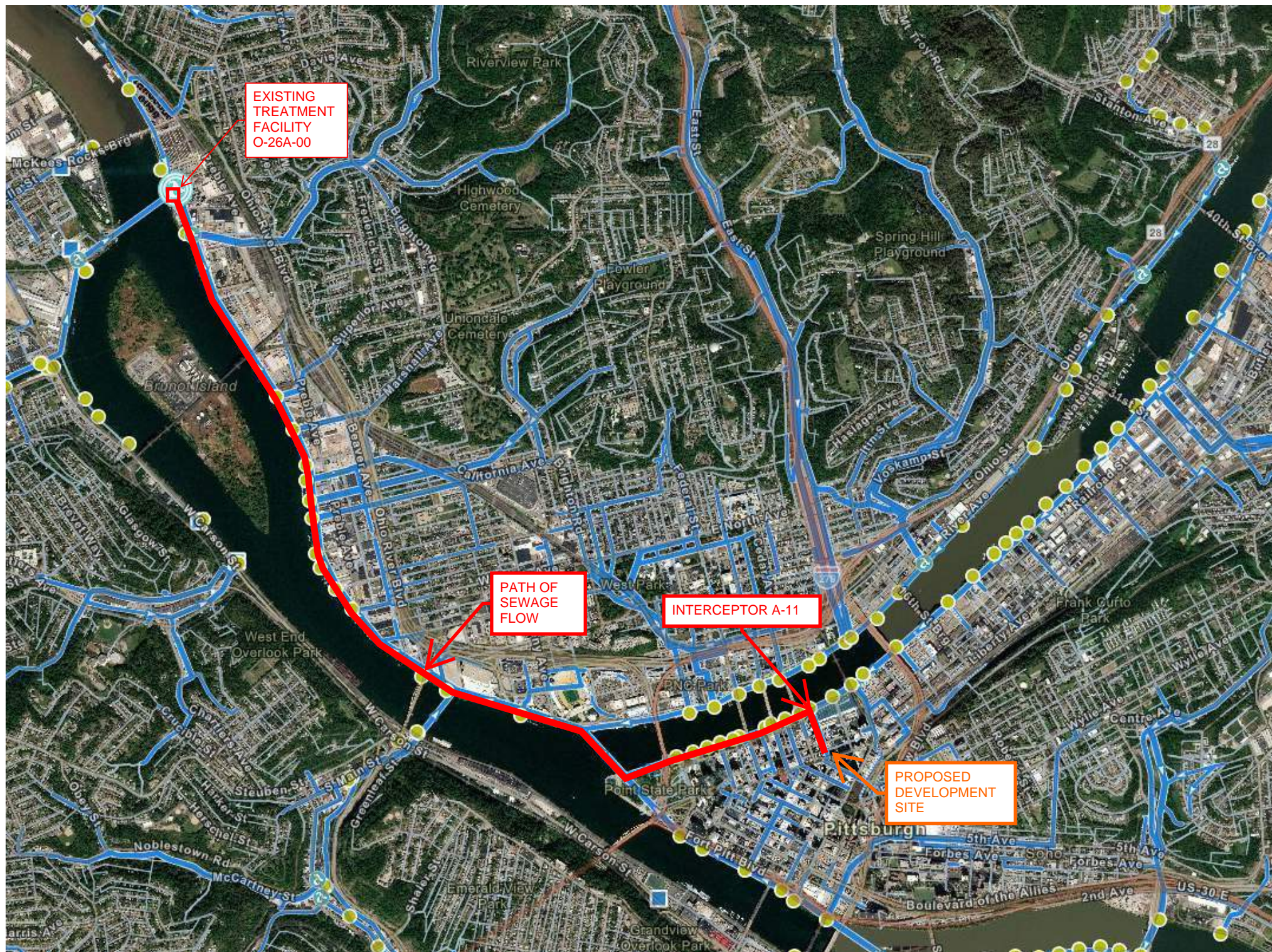
EXHIBIT D.

Project Narrative and Flow Map

Project Narrative
For
Maginn Building Lofts
915 Liberty Avenue
City of Pittsburgh, Allegheny County

The Maginn Building Lofts project consists of proposed renovations to the existing building located at 915 Liberty Avenue. This include the renovation of an existing warehouse/manufacturing building into a residential condominium complex and is located at 915 Liberty Avenue Pittsburgh, PA 15222. This complex will consist of seven (7) 2-bedroom units and four (4) 1-bedroom units as well as a first-floor retail space and accompanying bathroom. The project lies on a 0.132-acre lot and will take place within its own property bounds (Block 9-N, Lot 58). This project will have no impact on the adjacent properties. The anticipated net wastewater flow is expected to be 3,083 GPD or 7.60 EDU's, see the attached 'Sewage Flow Calculations' for a further breakdown.

The sanitary line for this project will include an existing sewer lateral that ties into the existing PWSA owned 15" combined sewer at the rear of the building along Exchange Way. This PWSA owned sewer flows to the Allegheny River Interceptor (A-11) and then to ALCOSAN's treatment plant where it receives final treatment. The most limited capacity sewer was identified to be between existing manholes MH009N023 and MH009N003. The downstream manhole, MH009N003, was used as the flow monitoring location. Flow monitoring equipment was installed at manhole MH009N003 from September 30, 2020 to October 29, 2020 for a total duration of 30 days. Readings for head (in), velocity (FpS), flow (MGD), and rain (in) were recorded every 5 minutes. The existing sanitary sewer slope was calculated using the upstream and downstream manhole elevations listed on the Three Rivers Wet Weather Website.



EXISTING
TREATMENT
FACILITY
O-26A-00

PATH OF
SEWAGE
FLOW

INTERCEPTOR A-11

PROPOSED
DEVELOPMENT
SITE

Design Development Maginn Building Lofts

915 Liberty Avenue, Pittsburgh, PA 15222

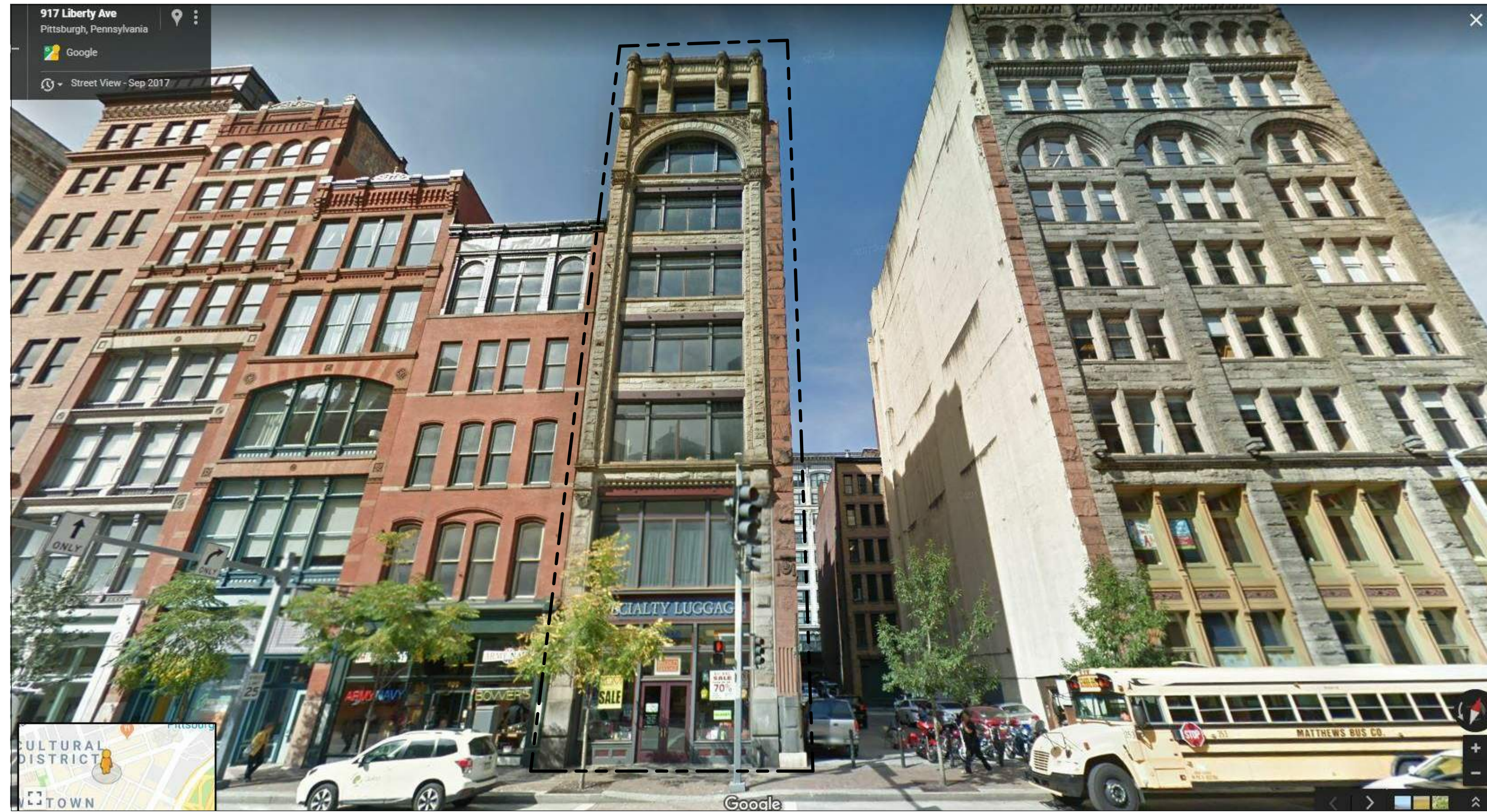


DESMONE ARCHITECTS

PITTSBURGH:
ONE DOUGHOY SQUARE
3400 BUTLER STREET
PITTSBURGH
PENNSYLVANIA, 15201
TEL : 412. 683. 3230
FAX : 412. 683. 3563

MORGANTOWN:
265 HIGH STREET
SUITE 7
MORGANTOWN
WEST VIRGINIA, 26505
TEL : 304. 602. 7880
FAX : 304. 212. 5393

www.desmone.com



| Drawing List | |
|---------------------|---|
| Sheet Number | Sheet Name |
| Index | |
| CS | Cover Sheet |
| General Information | |
| G-001 | General Information / Codes |
| G-002 | Code Sheet |
| G-101 | Life Safety Plans |
| Structural | |
| S-000 | Structural General Notes |
| S-100 | Bmt & 1st Fir Level Framing Plans |
| S-101 | 3rd Fir Level (typ) Framing Plan |
| S-102 | Roof Level Framing Plans |
| S-301 | Roof Level Sections & Details |
| Architectural | |
| A-001 | Architectural Site Plan |
| A-100 | Basement Floor Plan |
| A-101 | First Floor Plan |
| A-102 | Second Floor Plan |
| A-103 | Third Floor Plan |
| A-104 | Fourth Floor Plan |
| A-105 | Fifth Floor Plan |
| A-106 | Sixth Floor Plan |
| A-107 | Seventh Floor Plan |
| A-108 | Eighth Floor Plan |
| A-109 | Rooftop Lounge and Roof Plan |
| A-201 | Exterior Elevations |
| A-202 | Exterior Elevations |
| A-203 | Exterior Elevations |
| A-301 | Building Section |
| A-302 | Building Section |
| A-401 | Interior Elevations |
| A-402 | Interior Elevations and Plans |
| A-403 | Interior Elevations and Plans |
| A-501 | Details - Front Entry |
| A-502 | Details - Typical |
| A-503 | Details - Roof Deck |
| A-504 | Details - Roof Deck |
| A-505 | Details - Rear Entry |
| A-601 | Wall Types |
| A-602 | Door Schedule, Types, & Elevations |
| A-701 | Basement, 1st, & 2nd RCPs |
| A-702 | 3rd, 4th, & 5th RCPs Typical |
| A-703 | 6th, 7th, & 8th RCPs Typical / Roof RCP |
| A-801 | Stair 1 Plans and Section |
| A-802 | Stair 2 Plans and Section |
| Fire Protection | |
| FP-001 | Fire Protection Data Sheet |
| FP-002 | Fire Protection Specifications |

| Drawing List | |
|--------------|---|
| Sheet Number | Sheet Name |
| FP-003 | Fire Protection Specifications |
| FP-200 | Basement Fire Protection Plan |
| FP-201 | First Floor Fire Protection Plan |
| FP-202 | Second Floor Fire Protection Plan |
| FP-203 | Third Floor Fire Protection Plan Typical 3-4-5 |
| FP-208 | Eighth Floor Fire Protection Plan Typical 6-7-8 |
| FP-209 | Roof Fire Protection Plan |
| Plumbing | |
| P-001 | Plumbing Data Sheet |
| P-002 | Plumbing Specifications |
| P-003 | Plumbing Specifications |
| P-200 | Basement Plumbing Supply Plan |
| P-201 | First Floor Plumbing Supply Plan |
| P-202 | Second Floor Plumbing Supply Plan |
| P-203 | Third Floor Plumbing Supply Plan Typical 3-4-5 |
| P-208 | Eighth Floor Plumbing Supply Plan Typical 6-7-8 |
| P-209 | Roof Plumbing Supply Plan |
| P-300 | Basement Plumbing Drainage Plan |
| P-301 | First Floor Plumbing Drainage Plan |
| P-302 | Second Floor Plumbing Drainage Plan |
| P-303 | Third Floor Plumbing Drainage Plan Typical 3-4-5 |
| P-308 | Eighth Floor Plumbing Drainage Plan Typical 6-7-8 |
| P-309 | Roof Plumbing Drainage Plan |
| P-401 | Plumbing Details |
| Mechanical | |
| M-001 | Mechanical Data Sheet |
| M-002 | Mechanical Specifications |
| M-003 | Mechanical Specifications |
| M-200 | Basement Mechanical Plan |
| M-201 | First Floor Mechanical Plan |
| M-202 | Second Floor Mechanical Plan |
| M-203 | Third Floor Mechanical Plan Typical 3-4-5 |
| M-208 | Eighth Floor Mechanical Plan Typical 6-7-8 |
| M-209 | Roof Mechanical Plan |
| M-301 | Mechanical Details |
| M-401 | Mechanical Schedules |
| Electrical | |
| E-001 | Electrical Data Sheet |
| E-002 | Electrical Specifications |
| E-003 | Electrical Specifications |
| E-004 | Electrical Specifications |

| Drawing List | |
|--------------|---|
| Sheet Number | Sheet Name |
| E-100 | Basement Electrical Demolition Plan |
| E-101 | First Floor Electrical Demolition Plan Typical 2-8 |
| E-102 | Second Floor Electrical Demolition Plan Typical 2-8 |
| E-200 | Basement Lighting Plan |
| E-201 | First Floor Lighting Plan |
| E-202 | Second Floor Lighting Plan |
| E-203 | Third Floor Lighting Plan Typical 3-4-5 |
| E-208 | Eighth Floor Lighting Plan Typical 6-7-8 |
| E-209 | Roof Lighting Plan |
| E-300 | Basement Power Plan |
| E-301 | First Floor Power Plan |
| E-302 | Second Floor Power Plan |
| E-303 | Third Floor Power Plan Typical 3-4-5 |
| E-308 | Eighth Floor Power Plan Typical 6-7-8 |
| E-309 | Roof Power Plan |
| E-400 | Basement Fire Alarm Plan |
| E-401 | First Floor Fire Alarm Plan |
| E-402 | Second Floor Fire Alarm Plan |
| E-403 | Third Floor Fire Alarm Plan Typical 3-4-5 |
| E-408 | Eighth Floor Fire Alarm Plan Typical 6-7-8 |
| E-409 | Roof Fire Alarm Plan |

Design Development
Maginn Building Lofts

915 Liberty Avenue, Pittsburgh, PA 15222

PROJECT NOTES

Description: Conversion of existing 8 story building to first floor tenant space with condominiums above. New rooftop amenity space and deck.

Location: Pittsburgh, PA

Parcel Number: 9-N-69

Zoning District: GT-C

Occupancy: S-2 Storage - Low Hazard Storage
M Mercantile - Sale and Display of Merchandise
R-2 Residential - More than two dwelling units with primarily permanent residents

Code Compliance: International Existing Building Code 2015 (Chapter 14 Performance Compliance Path)
International Building Code 2015
International Building Code 2018 Chapter 11 ICC/ANSI A117.1 2009

Construction: III-A

Fire Suppression: Fully Sprinklered (NFPA 13)

Building Area: 22,755 Gross SF

Renovation Area: 22,455 SF

Building Permit Number: Pending Review

Owner: Day 3 Design
Contact: Matt Barnett
Email: mbarnett@day3design.com
412.618.7515

Architect: Desmone Architects
One Doughboy Square
3400 Butler Street
Pittsburgh, PA 15201
Contact: Ryan Croyle, AIA
Email: rcroyle@desmone.com
412.683.3230

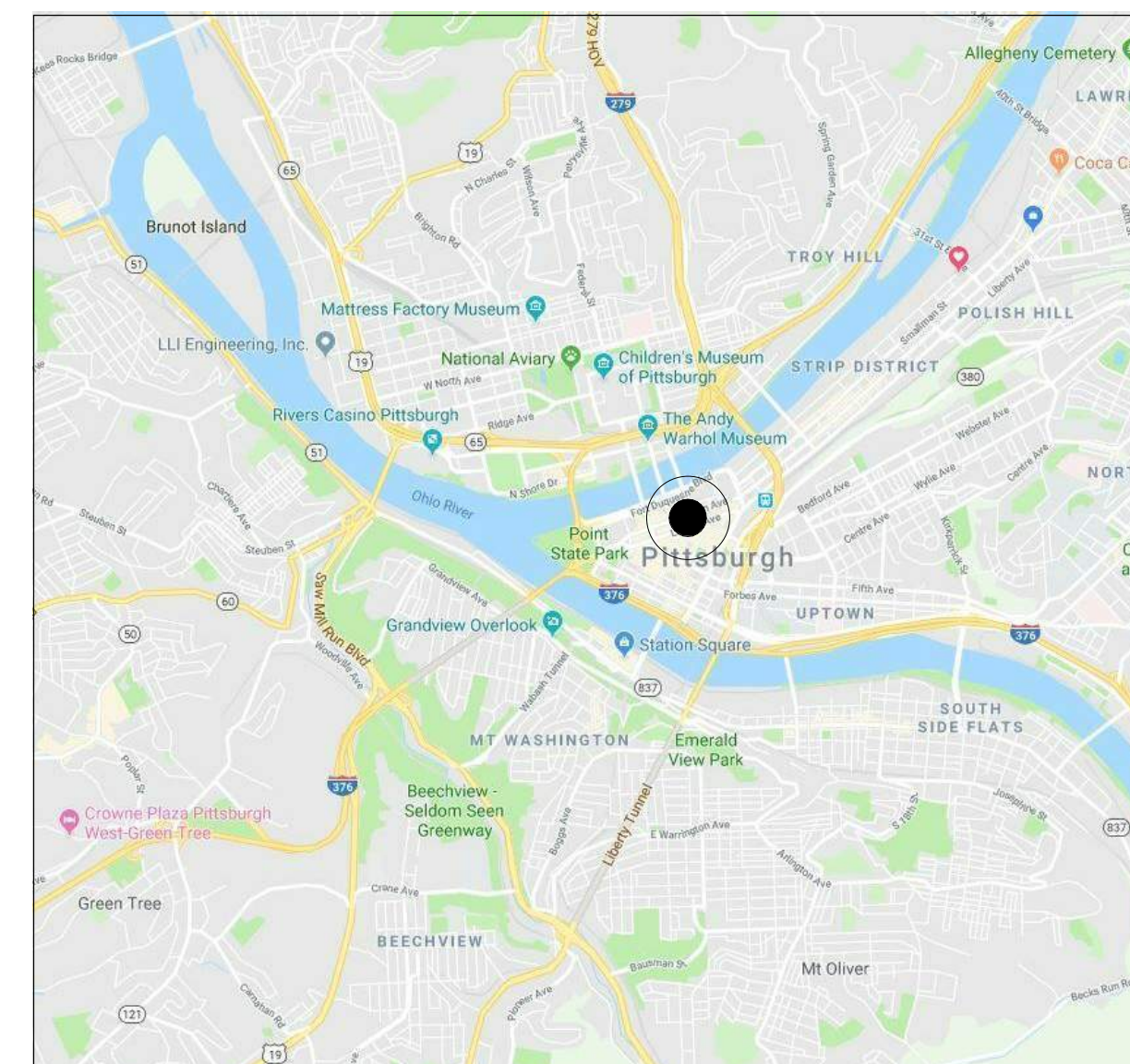
Civil Engineer: The Gateway Engineers
100 McMorris Road
Pittsburgh, PA 15205
Contact: Mark Reidenbach, PE
Email: mreidenbach@gatewayengineers.com
855.634.9284

Structural Engineer: Whitney Bailey Cox & Magnani, LLC
600 Bursca Drive, Suite 609
Pittsburgh, PA 15017
Contact: Steve Florio, PE
Email: sflorio@wbcm.com
412.225.9410

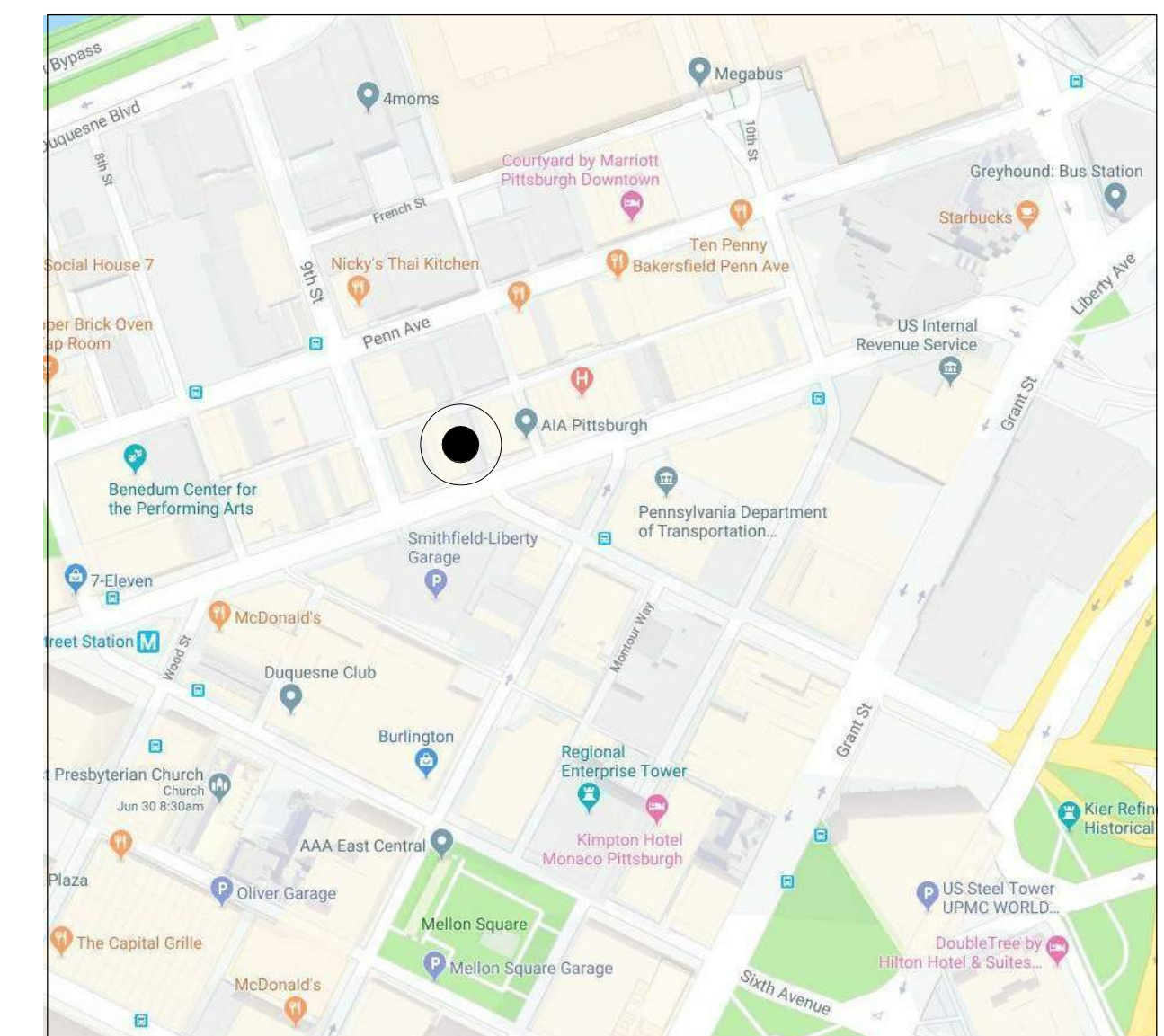
MEP Engineer: Allen & Shariff Engineers
700 River Avenue, Suite 600
Pittsburgh, PA 15212
Contact: Tom Taylor, CET, CPD
Email: ttaylor@allenshariff.com
412.224.4855

Contractor: Franjo Construction
335 E 7th Ave
Homestead, PA 15120
Contact: Jeff Giuglio
Email: jeffg@franjoconstruction.com
412.530.2368

VICINITY MAP



LOCATION MAP



Seal:

Not for Construction

Drawn By: RC Edited By: KW Checked By: JB

Revisions:
▲
▲
▲
▲

Date: 10.11.2019

Project Number: 4727

Owner / Client: Day 3 Design

Drawing Title:

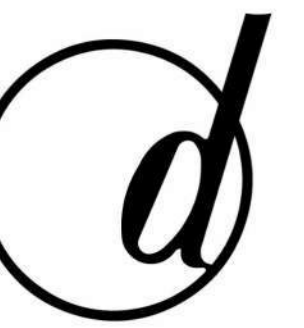
Cover Sheet

Scale: 1/2" = 1'-0"

Drawing Number:

CS

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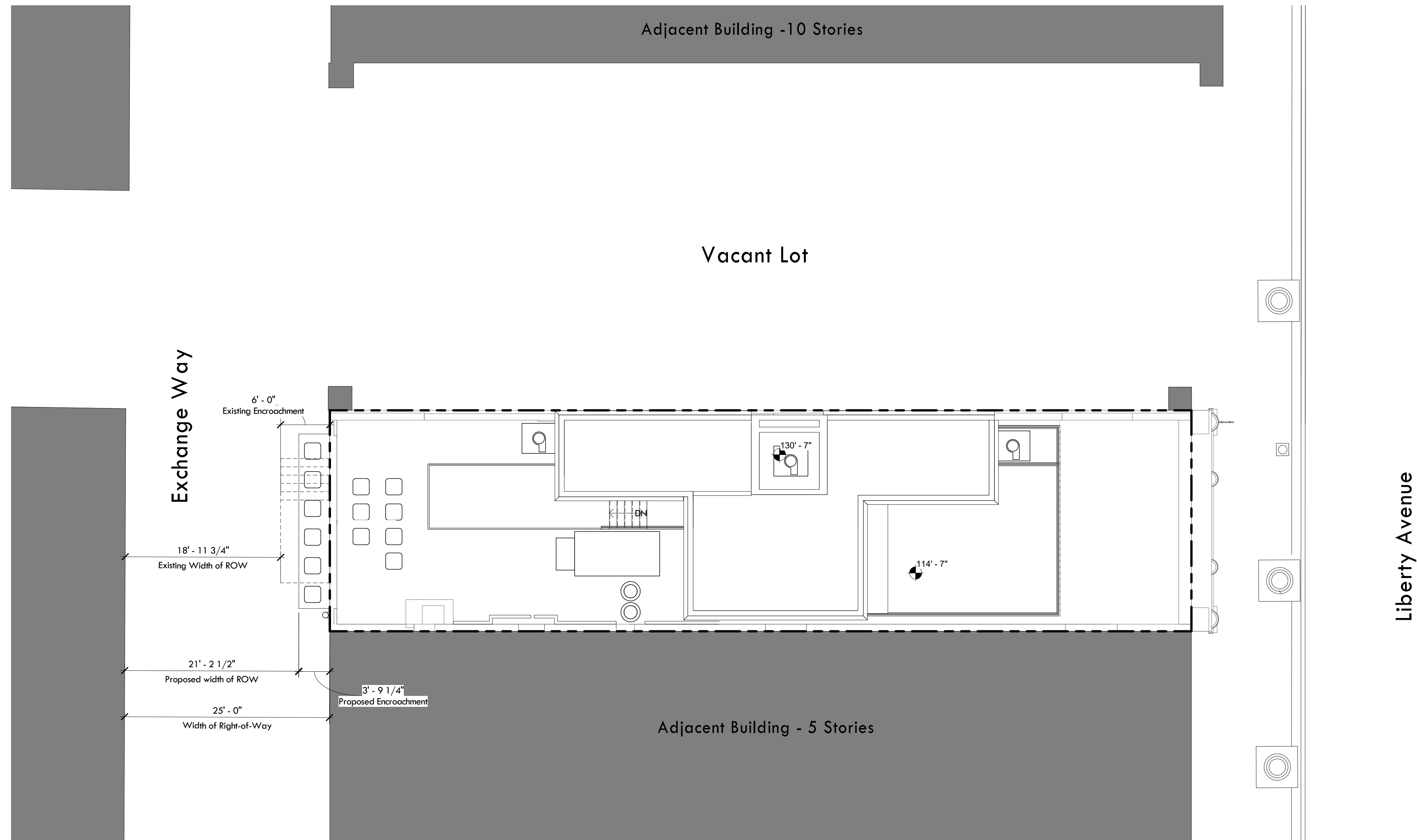
PITTSBURGH:
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 PENNSYLVANIA, 15201
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 FAX : 412. 683. 3563

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 WEST VIRGINIA, 26505
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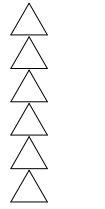
① First Floor
 1/8" = 1'-0"

Seal:

Not for Construction

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|-----------------|------------------|-------------------|
| Drawn By: RC | Edited By: RC | Checked By: JB |
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Revisions:



Date:
10.11.2019

Project Number:
4727

Owner / Client:
Day 3 Design

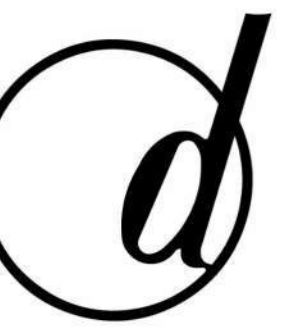
Drawing Title:
Architectural Site Plan

Scale: 1/8" = 1'-0"

Drawing Number:

A-001

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Seal:

Not for Construction

| | | |
|-----------------|------------------|-------------------|
| Drawn By: KW | Edited By: RC | Checked By: JB |
|-----------------|------------------|-------------------|

Revisions:
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Date:
10.11.2019

Project Number:
4727

Owner / Client:
Day 3 Design

Drawing Title:

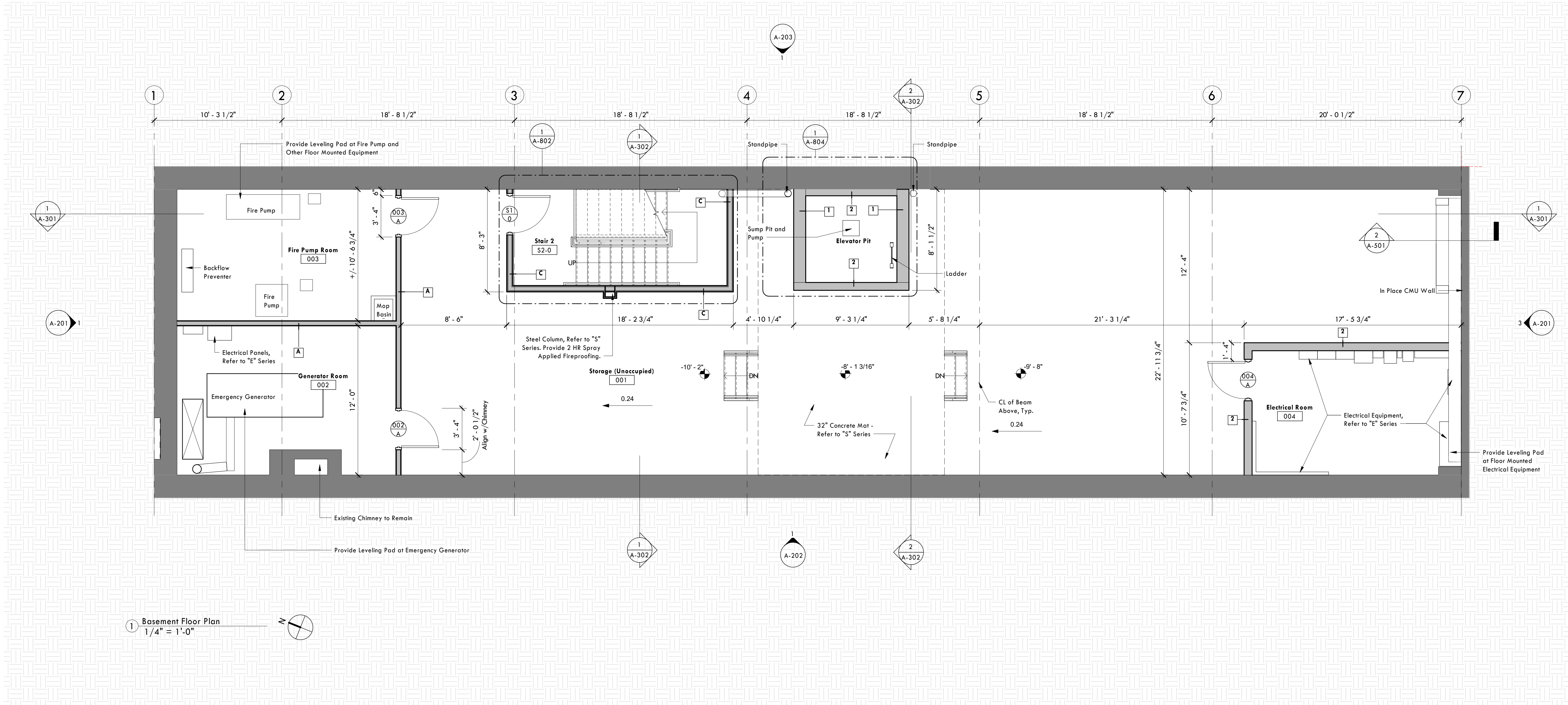
Basement Floor Plan

Scale: 1/4" = 1'-0"

Drawing Number:

A-100

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1 Basement Floor Plan
 1/4" = 1'-0"

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 PITTSBURGH
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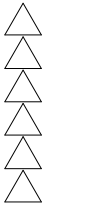
Design Development

Seal:

Not for Construction

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|-----------------|------------------|-------------------|

Revisions:



Date:
10.11.2019

Project Number:
4727

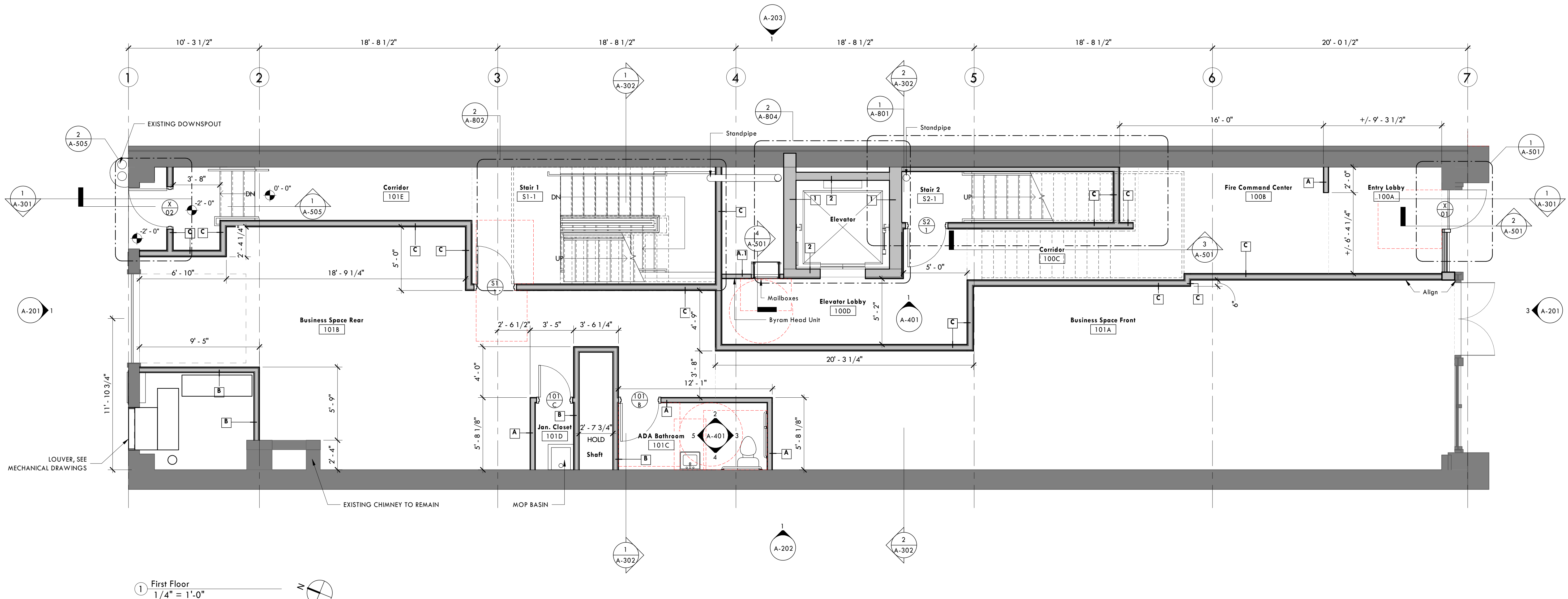
Owner / Client:
Day 3 Design

Drawing Title:
First Floor Plan

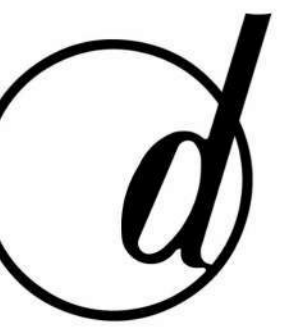
Scale: 1/4" = 1'-0"
Drawing Number:

A-101

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SUITE 7
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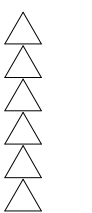
Design Development

Seal:

Not for Construction

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|-----------------|------------------|-------------------|
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|-----------------|------------------|-------------------|

Revisions:



Date:
10.11.2019

Project Number:
4727

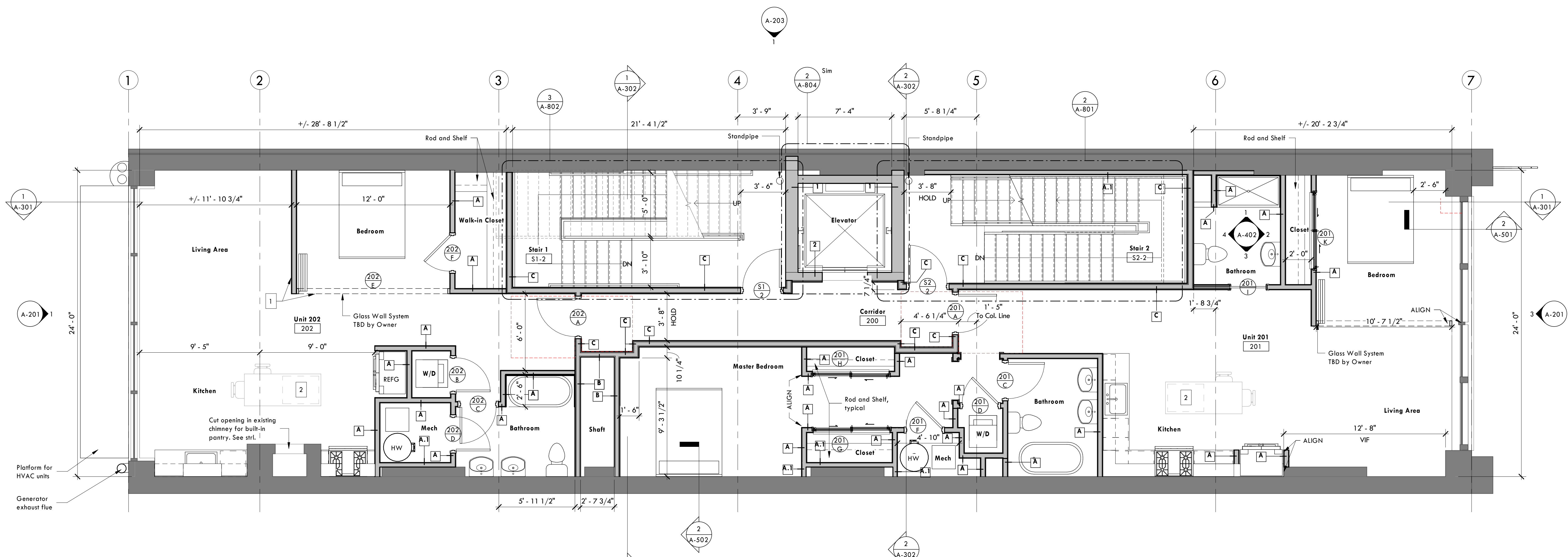
Owner / Client:
Day 3 Design

Drawing Title:
Second Floor Plan

Scale: 1/4" = 1'-0"
Drawing Number:

A-102

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1 Second Floor
1/4" = 1'-0"

- NOTE:
1. Bedroom encloser in NORTH unit to be priced as a Duct Alternate. Base price as studio unit.
 2. Island as furniture piece TBD by Owner.
 3. Provide toilet paper holder, towel bars, towel rings in each restroom.
 4. Provide drain pan for W/D, typical.
 5. Provide blocking for all stair handrails, shelving, and grab bars.
 6. Provide Allowance for Infill and Patching of Variance Small Holes/Openings Up to 2" Diameter.



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3400 BUTLER STREET
PITTSBURGH
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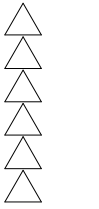
Design Development

Seal:

Not for Construction

| | | |
|-----------------|------------------|-------------------|
| Drawn By: RC | Edited By: KW | Checked By: JB |
|-----------------|------------------|-------------------|

Revisions:



Date:
10.11.2019

Project Number:
4727

Owner / Client:
Day 3 Design

Drawing Title:

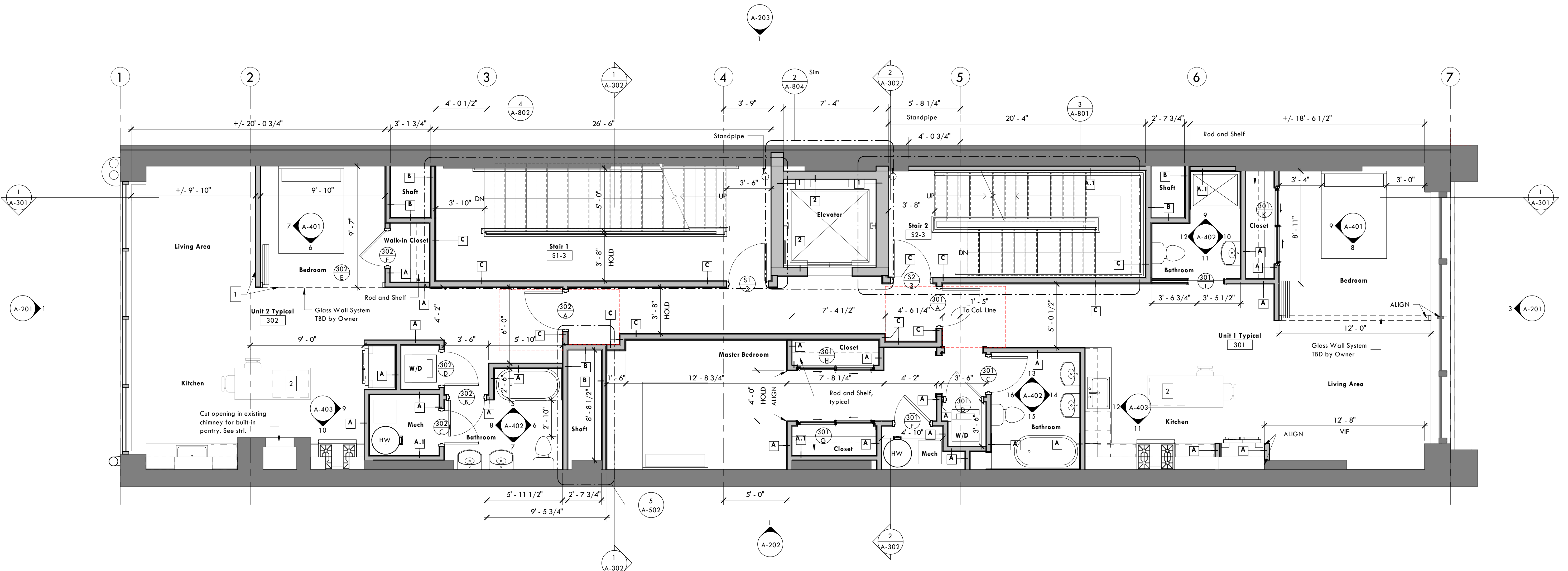
Third Floor Plan

Scale: 1/4" = 1'-0"

Drawing Number:

A-103

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① 03 - Third Floor
1/4" = 1'-0"



- NOTE:
1. Bedroom enclosure in NORTH unit to be priced as a Deduct Alternate. Base price as studio unit.
 2. Island as furniture piece TBD by Owner.
 3. Provide toilet paper holder, towel bars, towel rings in each restroom.
 4. Provide drain pan for W/D, typical.
 5. Provide blocking for all stair handrails, shelving, and grab bars.
 6. Provide Allowance for Infill and Patching of Variance Small Holes/Openings Up to 2" Diameter.



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PITTSBURGH:
ONE DOUGHBOY SQUARE
3400 BUTLER STREET
PITTSBURGH
PENNSYLVANIA, 15201
TEL: 412.683.3230
FAX: 412.683.3563

MORGANTOWN:
265 HIGH STREET
SUITE 7
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Design Development

Seal:

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Revisions:



Date:
10.11.2019

Project Number:
4727

Owner / Client:
Day 3 Design

Drawing Title:

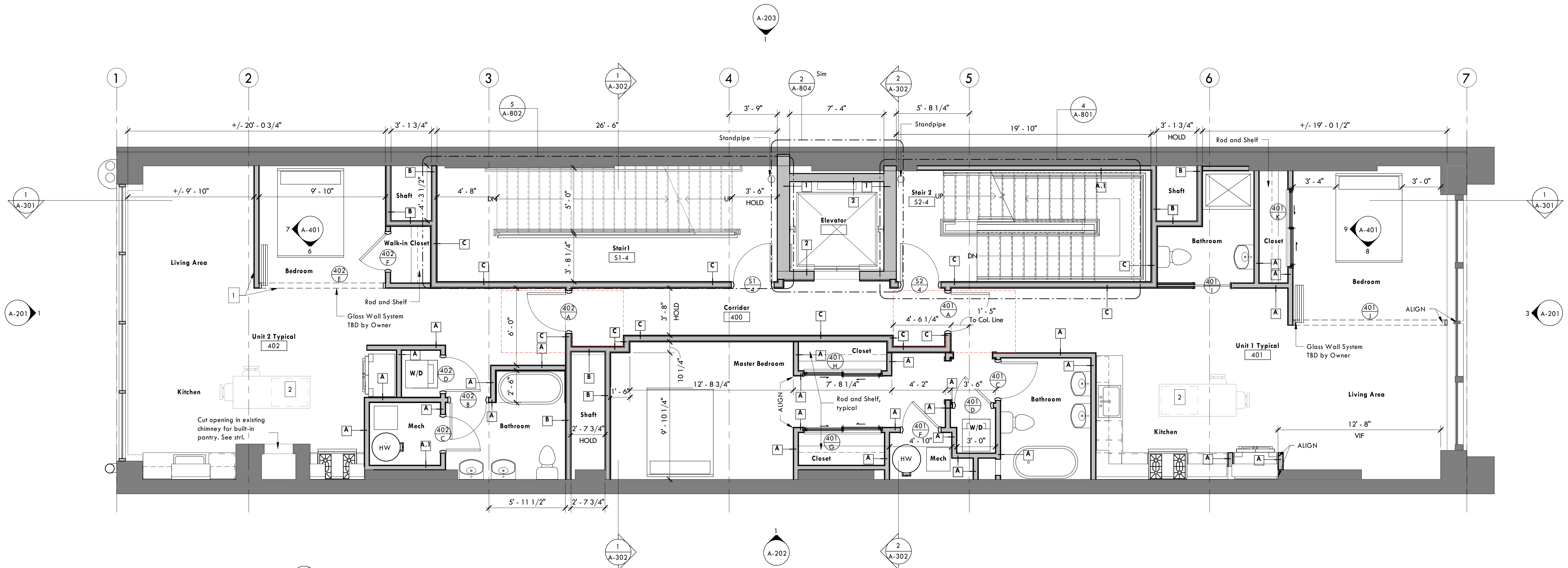
Fourth Floor Plan

Scale: 1/4" = 1'-0"

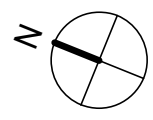
Drawing Number:

A-104

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04 - Fourth Floor
1/4" = 1'-0"



- NOTE:
1. Bedroom enclosure in NORTH unit to be priced as a Deduct Alternate. Base price as studio unit.
 2. Island as furniture piece TBD by Owner.
 3. Provide toilet paper holder, towel bars, towel rings in each restroom.
 4. Provide drain pan for W/D, typical.
 5. Provide blocking for all stair handrails, shelving, and grab bars.
 6. Provide Allowance for Infill and Patching of Variance Small Holes/Openings Up to 2" Diameter.



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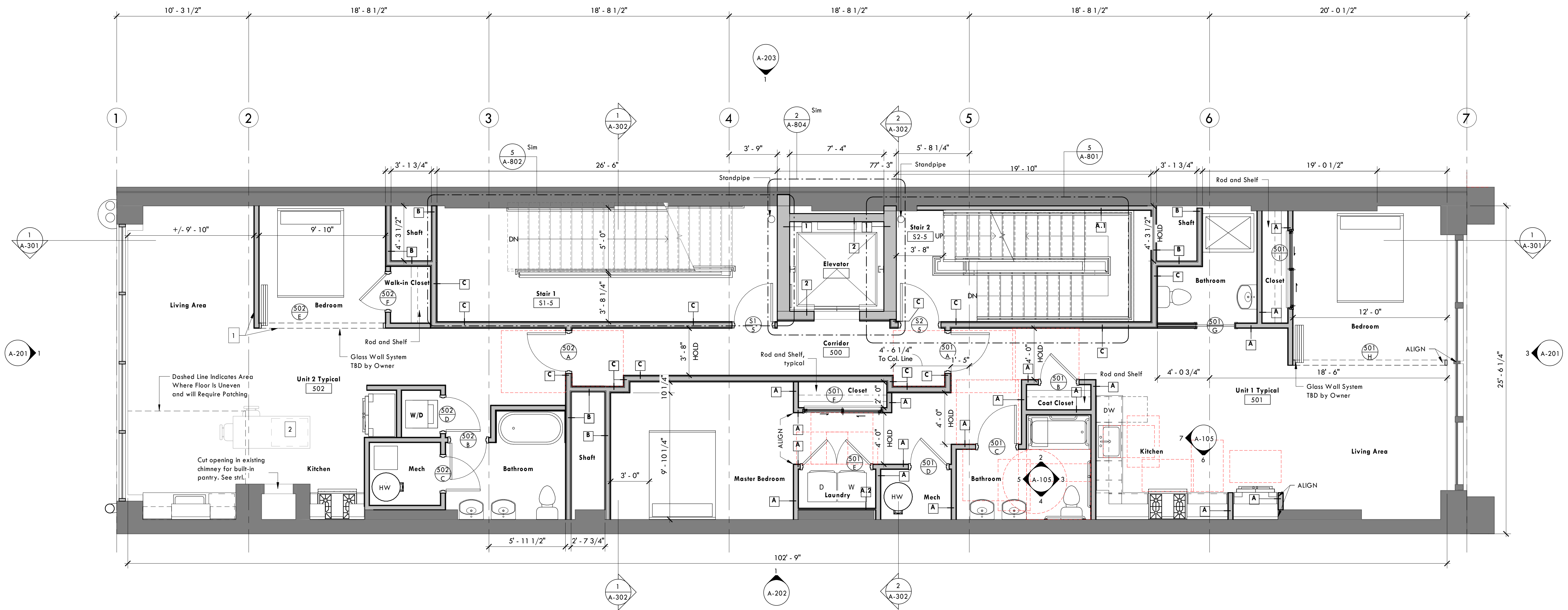
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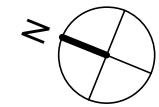
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Design Development
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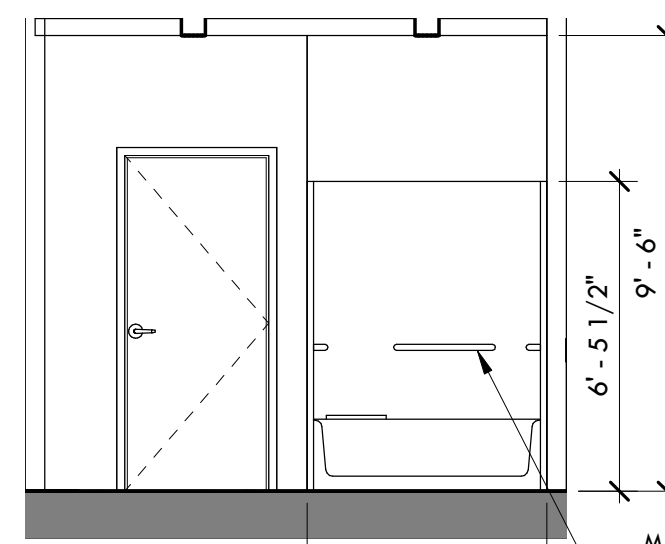
915 Liberty Avenue, Pittsburgh, PA 15222



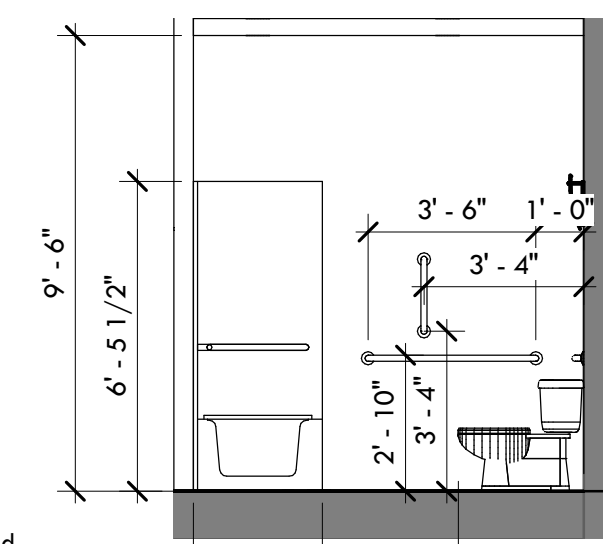
05 - Fifth Floor
1/4" = 1'-0"



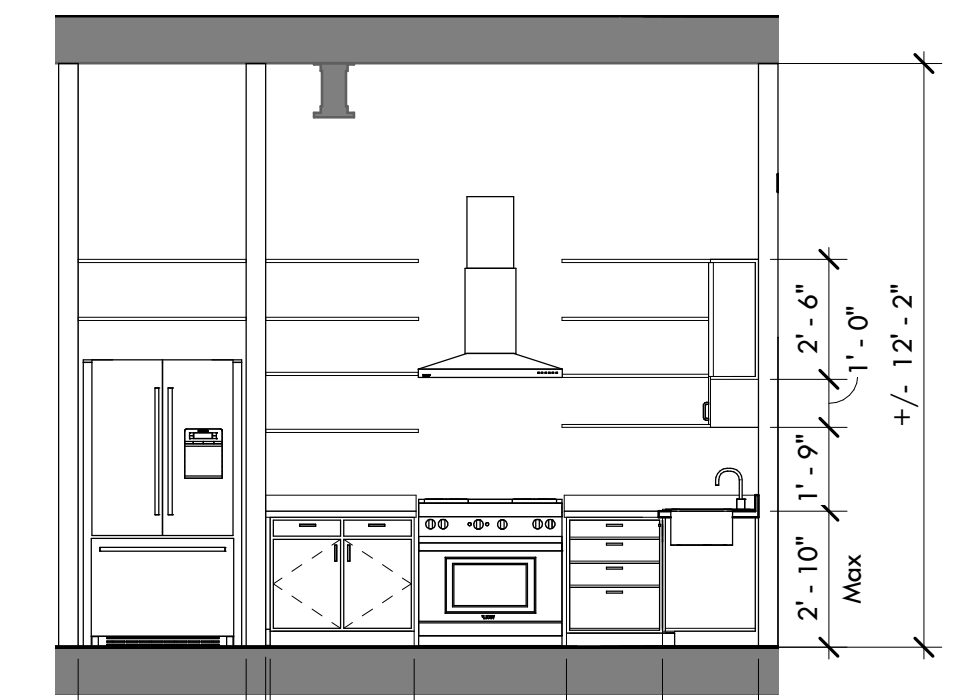
- NOTE:
1. Bedroom encloser in NORTH unit to be priced as a Deduct Alternate. Base price as studio unit.
 2. Island as furniture piece TBD by Owner.
 3. Provide toilet paper holder, towel bars, towel rings in each restroom.
 4. Provide drain pan for W/D, typical.
 5. Provide blocking for all stair handrails, shelving, and grab bars.
 6. Provide Allowance for Infill and Patching of Variance Small Holes/Openings Up to 2" Diameter.



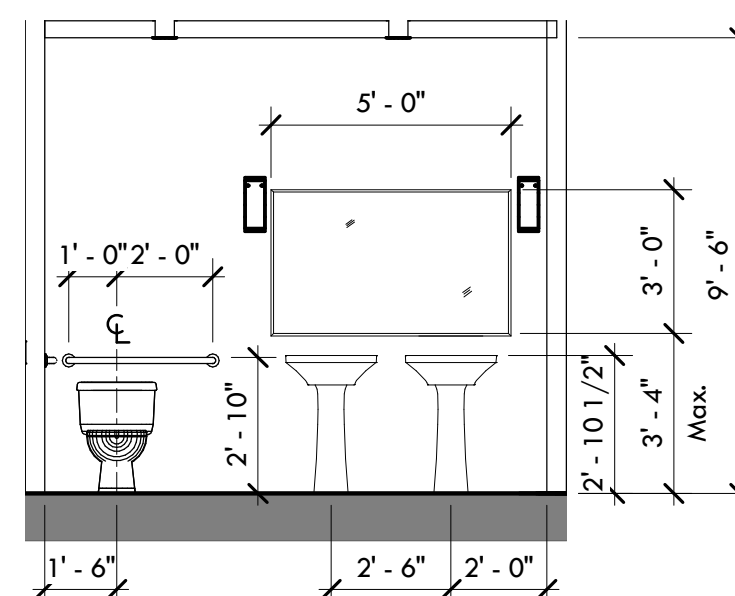
2 ADA Bathroom - Elevation 1
1/4" = 1'-0"



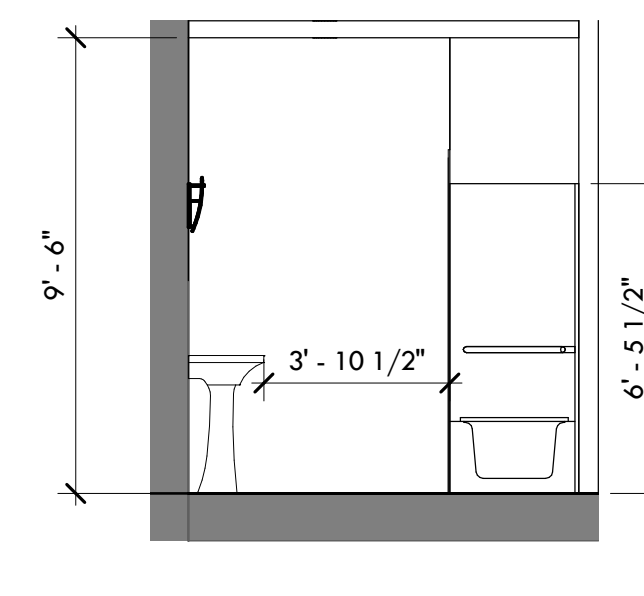
3 ADA Bathroom - Elevation 2
1/4" = 1'-0"



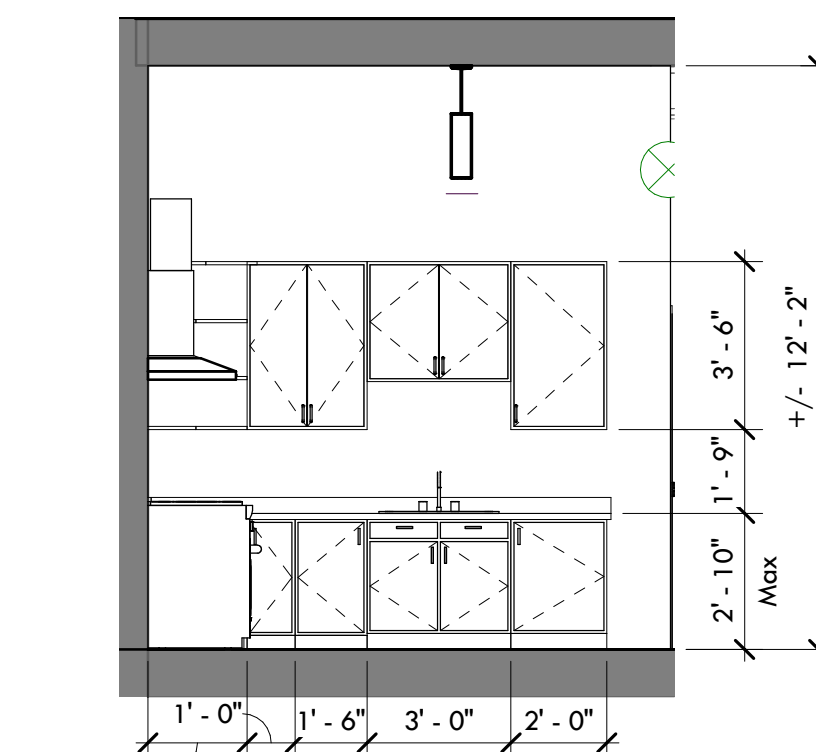
6 ADA Kitchen - Elevation 1
1/4" = 1'-0"



4 ADA Bathroom - Elevation 3
1/4" = 1'-0"



5 ADA Bathroom - Elevation 4
1/4" = 1'-0"



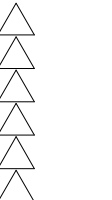
7 ADA Kitchen - Elevation 2
1/4" = 1'-0"

Seal:

Not for Construction

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|-----------------|------------------|-------------------|
| Drawn By: RC | Edited By: KW | Checked By: JB |
|-----------------|------------------|-------------------|

Revisions:



Date:
10.11.2019

Project Number:
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Owner / Client:
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Drawing Title:

Fifth Floor Plan

Scale: 1/4" = 1'-0"

Drawing Number:

A-105

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TEL : 412. 683. 3230
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MORGANTOWN:
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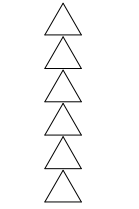
Design Development

Seal:

Not for Construction

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|-----------------|------------------|-------------------|
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|-----------------|------------------|-------------------|

Revisions:



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10.11.2019

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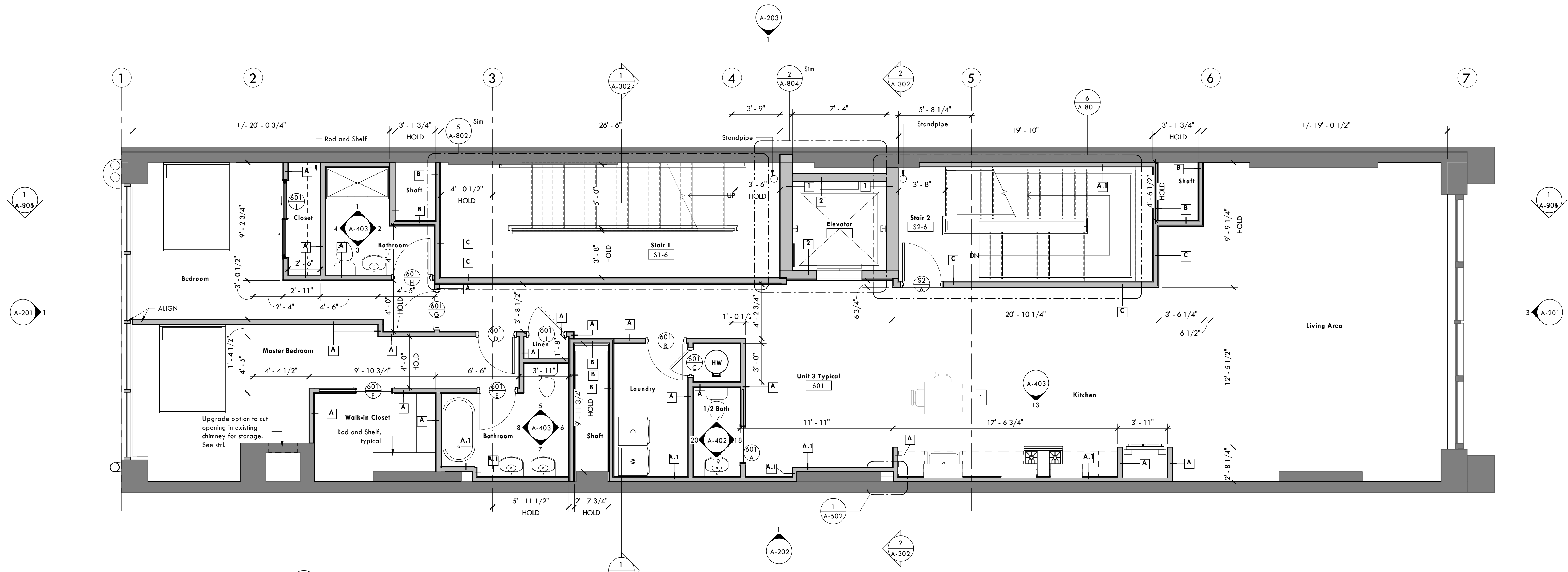
Owner / Client:
Day 3 Design

Drawing Title:
Sixth Floor Plan

Scale: 1/4" = 1'-0"
Drawing Number:

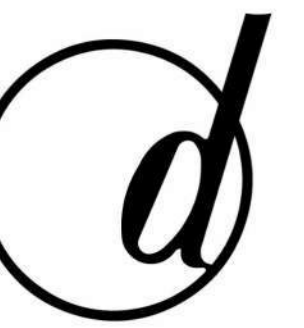
A-106

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① 06 - Sixth Floor
1/4" = 1'-0"

- NOTE:
1. Island as furniture piece TBD by Owner.
 2. Provide toilet paper holder, towel bars, towel rings in each restroom.
 3. Provide drain pan for W/D, typical.
 4. Provide blocking for all stair handrails, shelving, and grab bars.
 5. Provide Allowance for Infill and Patching of Variance Small Holes/Openings Up to 2" Diameter.



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PITTSBURGH:
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 3400 BUTLER STREET
 PITTSBURGH
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 TEL : 412. 683. 3230
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 265 HIGH STREET
 SUITE 7
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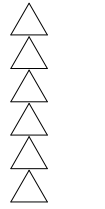
Design Development

Seal:

Not for Construction

| | | |
|-----------------|------------------|-------------------|
| Drawn By: RC | Edited By: KW | Checked By: JB |
|-----------------|------------------|-------------------|

Revisions:



Date:
10.11.2019

Project Number:
4727

Owner / Client:
Day 3 Design

Drawing Title:

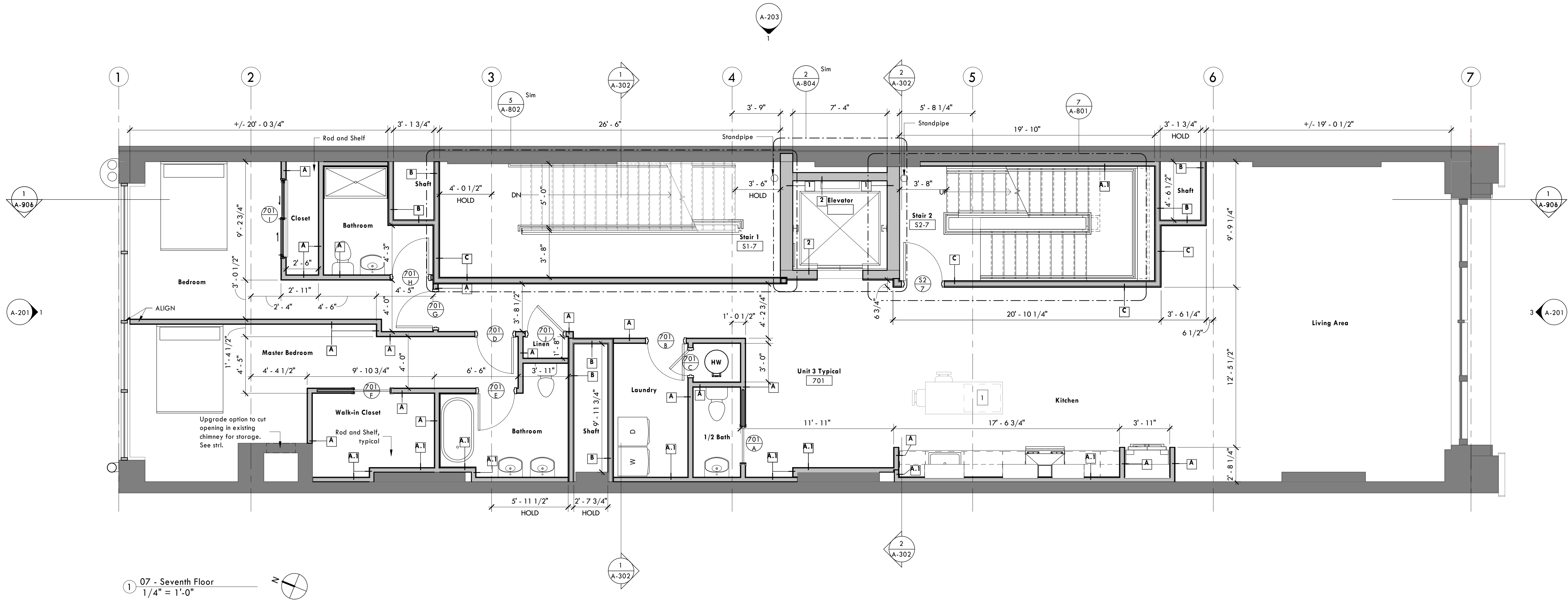
Seventh Floor Plan

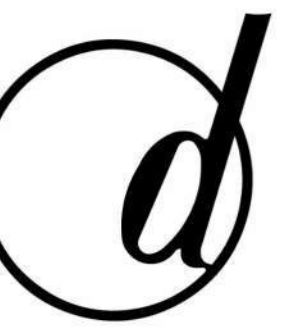
Scale: 1/4" = 1'-0"

Drawing Number:

A-107

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PITTSBURGH
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TEL : 412. 683. 3230
FAX : 412. 683. 3563

MORGANTOWN:
265 HIGH STREET
SUITE 7
MORGANTOWN
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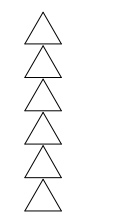
Design Development

Seal:

Not for Construction

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|-----------------|------------------|-------------------|
| Drawn By: RC | Edited By: KW | Checked By: JB |
|-----------------|------------------|-------------------|

Revisions:



Date:
10.11.2019

Project Number:
4727

Owner / Client:
Day 3 Design

Drawing Title:

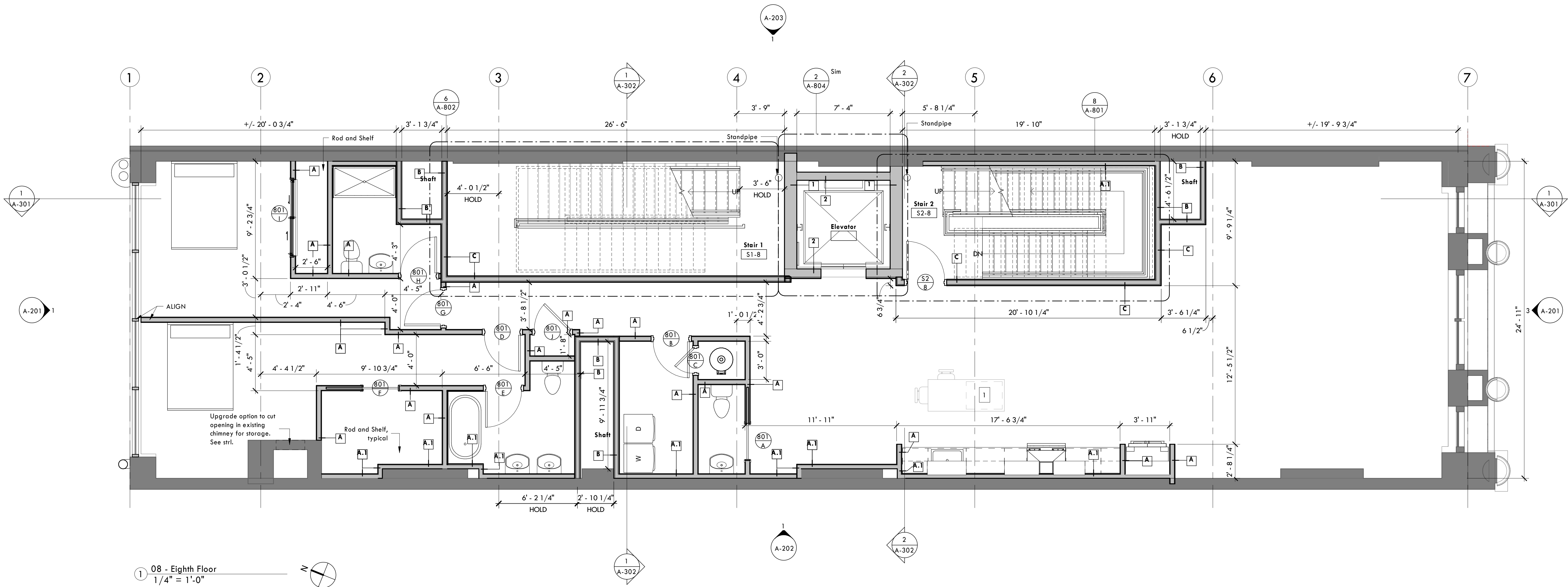
Eighth Floor Plan

Scale: 1/4" = 1'-0"

Drawing Number:

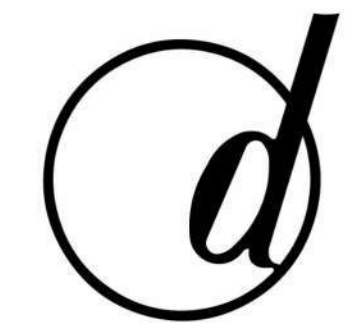
A-108

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| Keynote Legend | |
|----------------|------------------------------------|
| Key Value | Keynote Text |
| 02.01 | Existing Floor Assembly to Remain. |
| 02.04 | Existing Wall Assembly to Remain. |
| 08.01 | Bifold Glass Door. |
| 08.02 | Storefront System. |



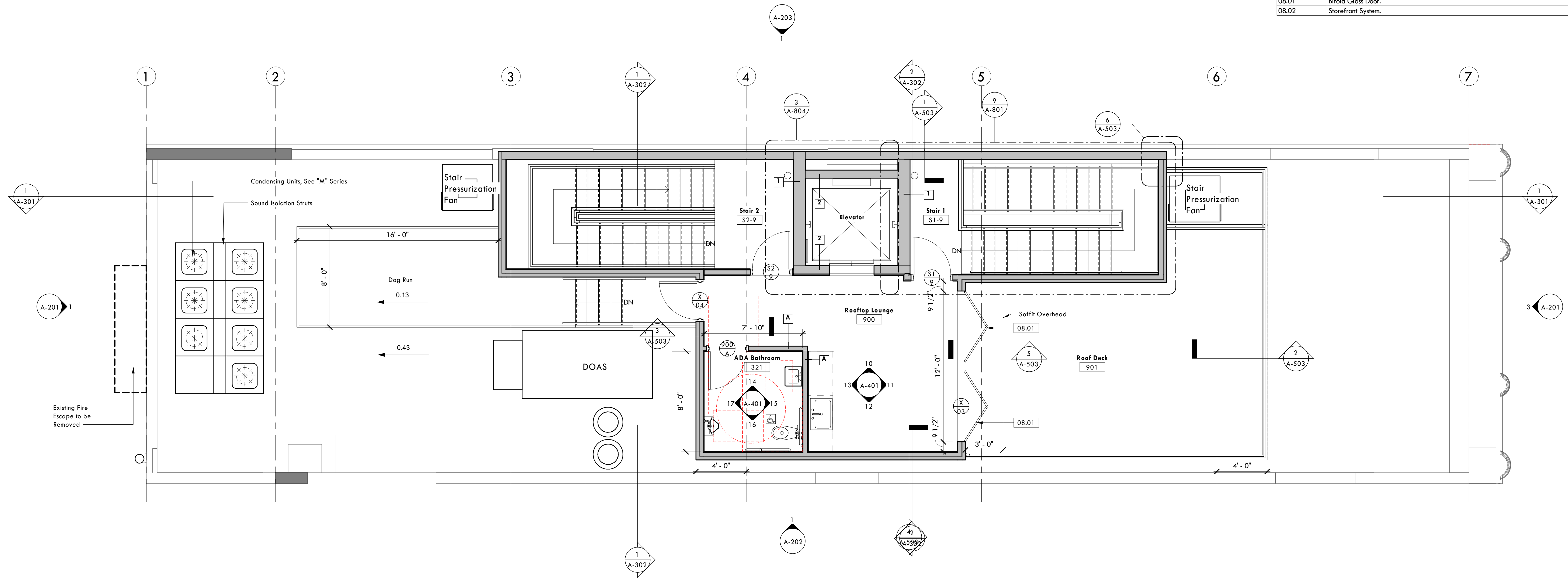
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 FAX : 412. 683. 3563

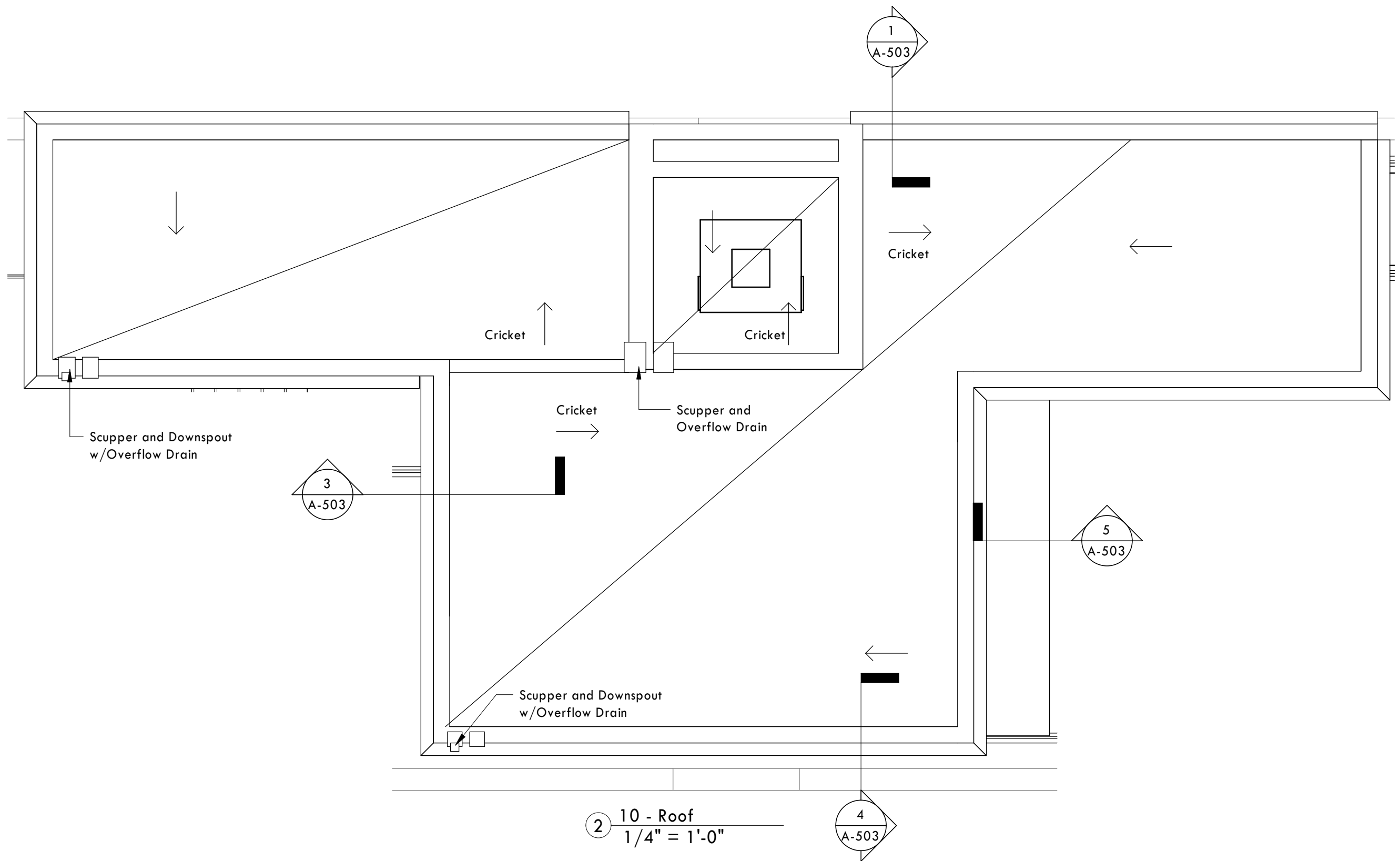
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 265 HIGH STREET
 SUITE 7
 MORGANTOWN
 WEST VIRGINIA, 26505
 TEL : 304. 602. 7880
 FAX : 304. 212. 5393

www.desmone.com

Design Development
 For
Maginn Building Lofts
 915 Liberty Avenue, Pittsburgh, PA 15222



09 - Rooftop Lounge
 1/4" = 1'-0"



10 - Roof
 1/4" = 1'-0"

Seal:

Not for Construction

| | | |
|-----------|------------|-------------|
| Drawn By: | Edited By: | Checked By: |
| RC | RC | JB |

Revisions:
 ▲
 ▲
 ▲
 ▲

Date:
10.11.2019

Project Number:
4727

Owner / Client:
Day 3 Design

Drawing Title:
Rooftop Lounge and Roof Plan

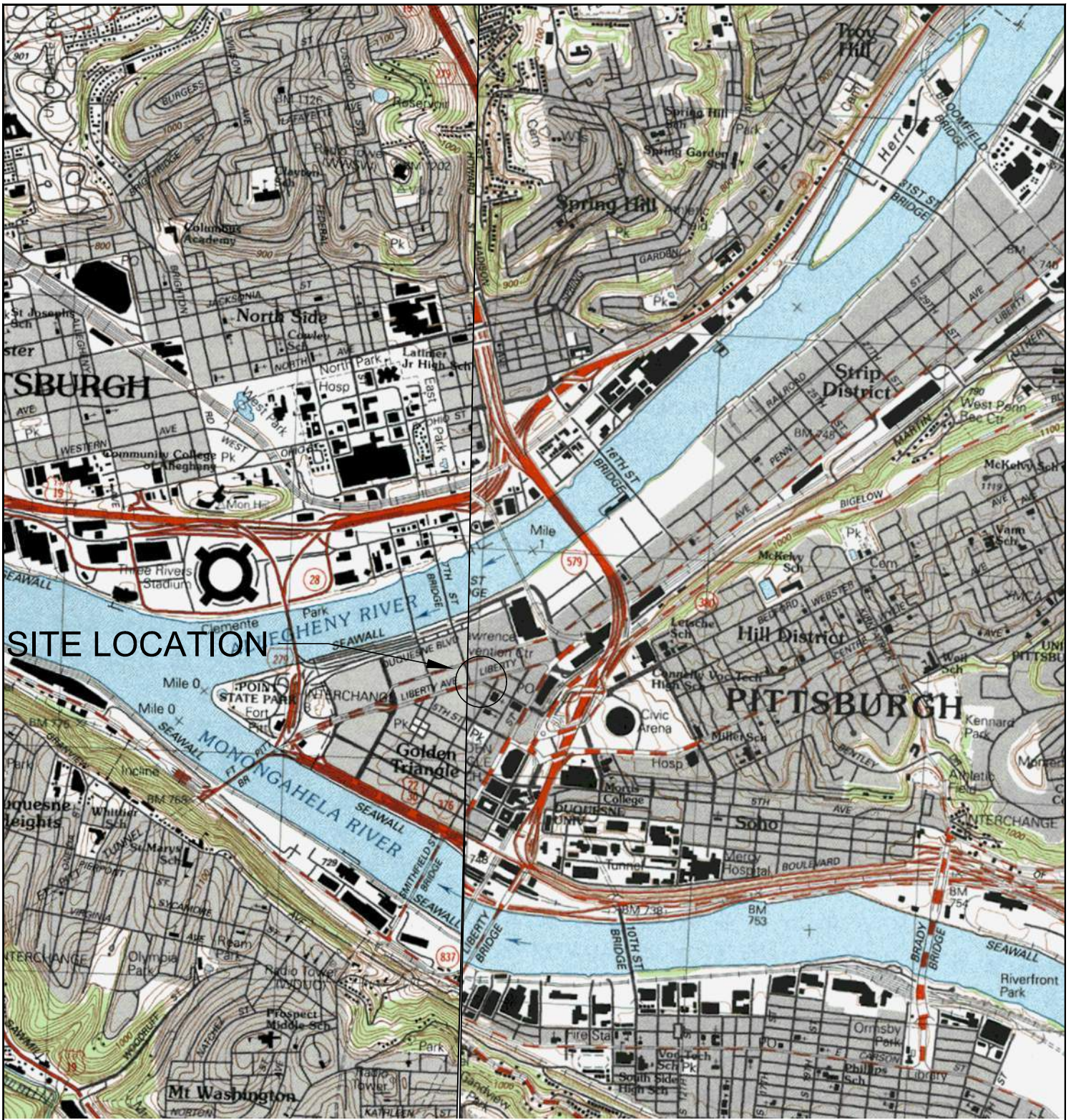
Scale: 1/4" = 1'-0"
 Drawing Number:

A-109

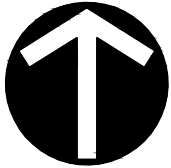
© Desmone Architects 2019

EXHIBIT E.

USGS Site Location Map

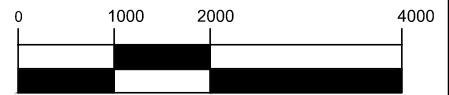


SITE LOCATION



NORTH

GRAPHIC SCALE



(IN FEET)

1 inch = 2000 ft.

SITE LOCATION MAP
 Project Number: 39524-0000
 Drawing Scale: Viewport Scale
 Date Issued: SEPTEMBER 2019
 Index Number: _____
 Drawn By: JMUJ
 Checked By: JMUJ
 Project Manager: MWJR
USGS

915 LIBERTY AVENUE RENOVATIONS
 915 LIBERTY AVENUE
 PITTSBURGH, PA, 15222
 PREPARED FOR:
DAY3DESIGN, LLC.
 1414 COMMONS LANE
 BRIDGEVILLE, PA 15017

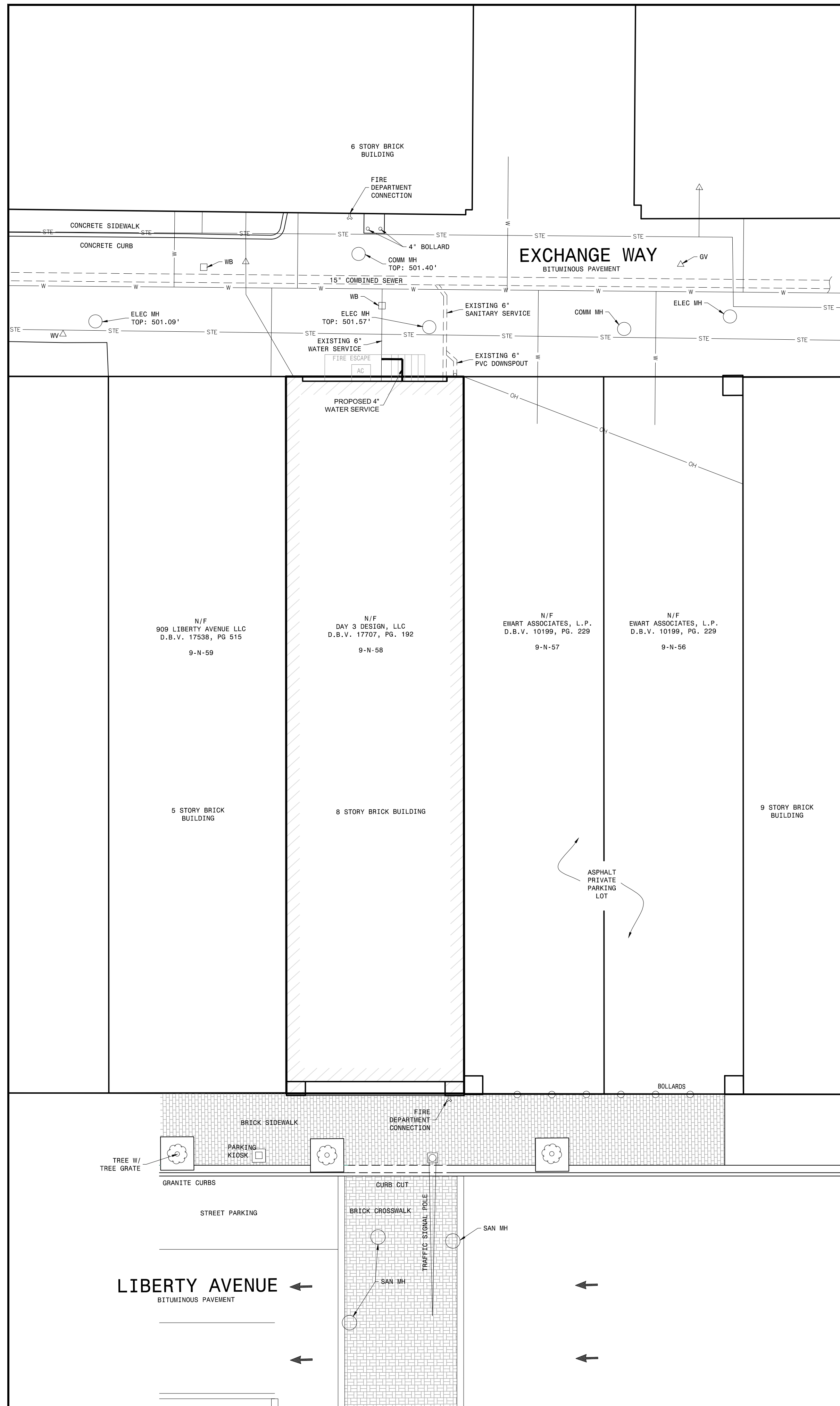
| Date | No | REVISION RECORD |
|------|----|-----------------|
| - | 01 | - |
| - | 02 | - |
| - | 03 | - |
| - | 04 | - |
| - | 05 | - |
| - | 06 | - |
| - | 07 | - |
| - | 08 | - |

GATEWAY[®]
 The Gateway Engineers, Inc.
 Full-Service Civil Engineering & Surveying
 Pittsburgh, PA
 gatewayengineers.com 855-634-9284

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EXHIBIT F.

Plot Plan



LEGEND:

| | |
|--|-------------------------------|
| | - EXISTING SANITARY SEWER |
| | - EXISTING WATER SERVICE LINE |
| | - PROPOSED WATER SERVICE LINE |

WATER AND SEWER FLOW DATA

| | |
|--|----------|
| WATER CONSUMPTION | TBD |
| SANITARY FLOW | 3300 GPD |
| STORM FLOW | N/A |
| PLANNING MODULE NUMBER (ASSIGNED BY PWSA) | N/A |
| PA. DEP APPROVAL DATE (ASSIGNED BY PWSA) | N/A |

THE PITTSBURGH WATER AND SEWER AUTHORITY

***APPROVAL FOR:**

- NEW WATER TAP, BACKFLOW PREVENTOR, AND METER INSTALLATION
- NEW STORM SEWER TAP
- INCREASE IN FLOW AT EXISTING SEWER AND/OR WATER CONNECTION
- SEWER TAP TERMINATION
- WATER TAP TERMINATION
- EXTENDED FACILITIES
- RELOCATION OF FACILITIES

***DISCLAIMER:**
Signatures/Approval by PWSA are for the physical connection(s) to the water and/or sewer system only. Responsibility for the design and work depicted by the drawings, including the flow design for the facilities, is by the Professional Engineer shown by the seal and signature affixed to the drawings. The PWSA does not represent or warrant that the water supply to the facilities is sufficient to support the design.

Project Coordinator/Project Management Engineer/Reviewer certifies that he/she has reviewed the above noted document(s) in accordance with the Authority's established rules and regulations. Based on this review, approval is hereby recommended.

Project Coordinator/Project Management Engineer/Reviewer

Approval

Director of Field Services

Director of Engineering and Construction

Date _____

DAY3DESIGN, LLC

**915 LIBERTY AVENUE
TAP CONNECTION PLAN**

**915 LIBERTY AVE
2nd WARD, CITY OF PITTSBURGH, 15222**

SCALE: 1" = 30'
DATE: JUNE 2020

SHEET NO. 1 OF _
CASE NO. _____

ACCESSION NO. _____
CASE NO. _____



E:\p\p\Projects\39000\39524 915 Liberty Avenue\0000 Civil\DWG\02-Sheet\PWSA Tap Plan.dwg
 Plot Date: 07/27/2019 9:46 AM User: M. Wall, E.I.T.
 Save Date: 01/02/2019 2:23 PM

EXHIBIT G.

**Sewer Flow Calculations (Signed and Sealed) and PWSA Approval
Letters**

Sewage Flow Calculations

For Maginn Building Lofts 915 Liberty Avenue, City of Pittsburgh, Allegheny County

This project involves the renovation of an existing warehouse/manufacturing building into a residential condominium complex and is located at 915 Liberty Avenue Pittsburgh, PA 15222.

Sewage flow calculations were conducted as follows:

- (7) 2-Bedroom Units at 300 GPD = 2,100 GPD
- (4) 1-Bedroom Units at 200 GPD = 800 GPD
- (1) 1st Floor Retail Space Bathroom at 400 GPD = 400 GPD

A GPD credit of 262 GPD has been applied to the project based on the existing flows from within the past five years.

| 915 Liberty Avenue Renovations Sewage Flow Calculation Table | | |
|---|--|-------------------------|
| 2-Bedroom Units | | 2,100 GPD |
| 1-Bedroom Units | | 800 GPD |
| 1st Floor Retail Bathroom | | 400 GPD |
| Previous Consumption Credit** | | -262 GPD |
| Total | | 3,038 GPD |
| | | 7.60 EDU's |
| | | <i>*400 GPD = 1 EDU</i> |
| <p>**Previous Consumption Credit based on Average GPD data over the last 5 years. Average GPD was calculated and multiplied by a GPD to Peak Flow Factor of 2.5</p> | | |

The net GDP Sewage Flow for the proposed 915 Liberty Avenue Renovations project is **3,038 GPD** or **7.60 EDU's**

| Maginn Building Lofts - 915 Liberty Avenue | | |
|---|------------|-------|
| Sewage Capacity Calculations | | |
| Pipe Diameter (per CCTV report) = | 24 | in |
| Upstream Invert Elevation (by record) = | 718.34 | |
| Downstream Invert Elevation (by survey) = | 714.67 | |
| Pipe Length (per survey) = | 119.43 | ft |
| Slope = | 3.07 | % |
| Mannings n = | 0.015 | (VCP) |
| Design Capacity | | |
| Sewer Type (Combined/Separate) | Combined | |
| Peaking Factor | 3.5 | |
| Peak Hydraulic Capacity (Using Mannings Equation full-flow) | 34.34 | cfs |
| | 22,194,526 | GPD |
| Average Hydraulic Capacity (Peak Capacity divided by Peaking Factor) | 6,341,293 | GPD |
| Present Flows - MH009N003 | | |
| Present Average Flows (Flow data, refer to "Data Analysis" spreadsheet) | 0.021 | MGD |
| | 21,000 | GPD |
| Present Peak Flows (Flow data, refer to "Data Analysis" spreadsheet) | 0.541 | MGD |
| | 541,000 | GPD |
| Project Flow | | |
| Project Flow | 3,038 | GPD |
| Projected Flows | | |
| Projected Peak [(Present Peak Flow + Project Flow) x 1.05] | 571,240 | *GPD |
| Projected Average (Projected Peak Flow divided by Peaking Factor) | 163,211 | *GPD |

*Projected Flows are less than the Design Capacity

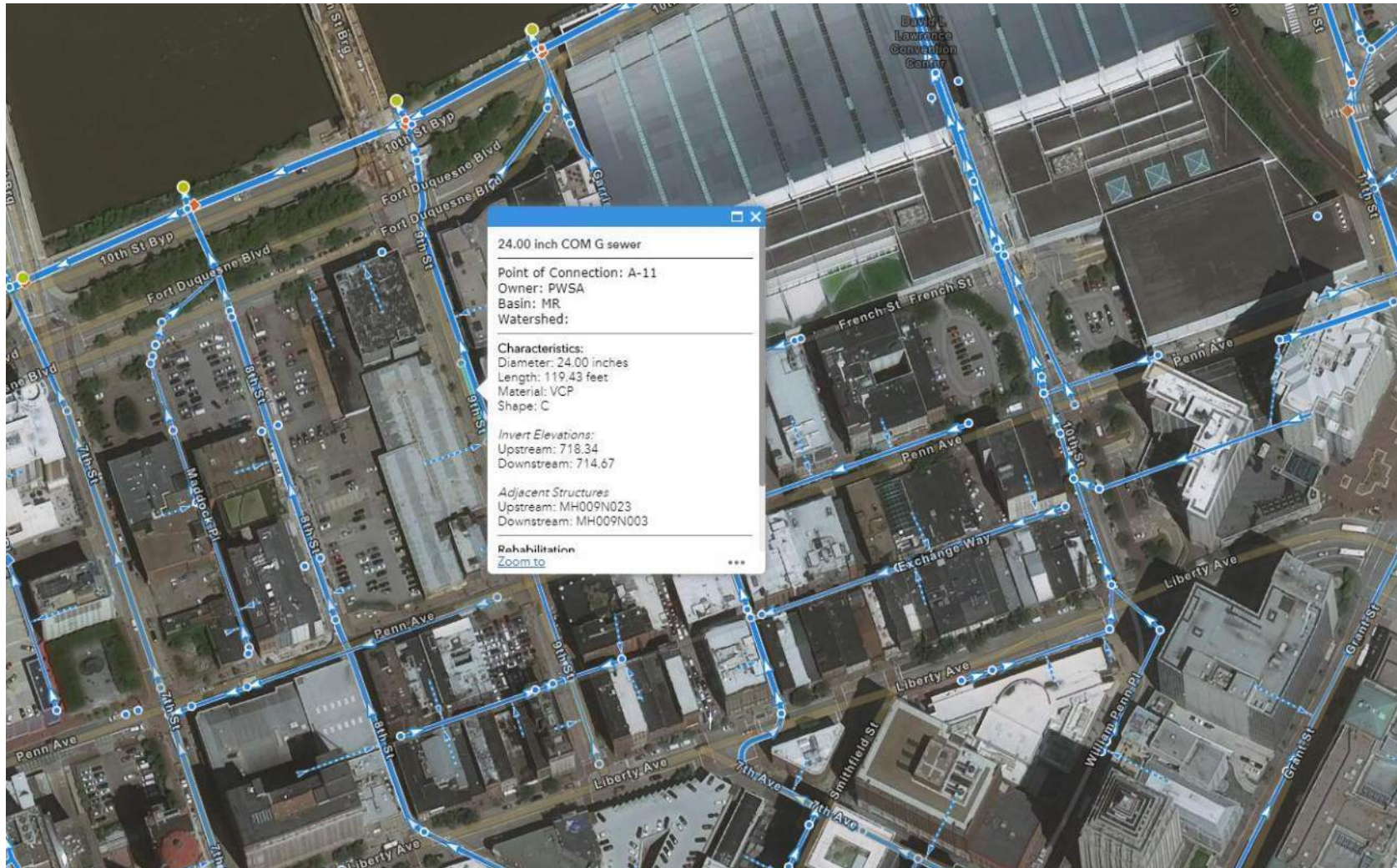
Input
 Output



Sewer Mapping

Maginn Building Lofts

915 Liberty Avenue, City of Pittsburgh, Allegheny County, PA



Source: 3RWW Sewer Atlas

Channel Report

Sewer Design Capacity - MH009N023 / MH009N003

Circular

Diameter (ft) = 2.00

Invert Elev (ft) = 714.67

Slope (%) = 3.07

N-Value = 0.015

Calculations

Compute by: Known Depth

Known Depth (ft) = 2.00 ← FULL FLOW

Highlighted

Depth (ft) = 2.00

Q (cfs) = 34.34

Area (sqft) = 3.14

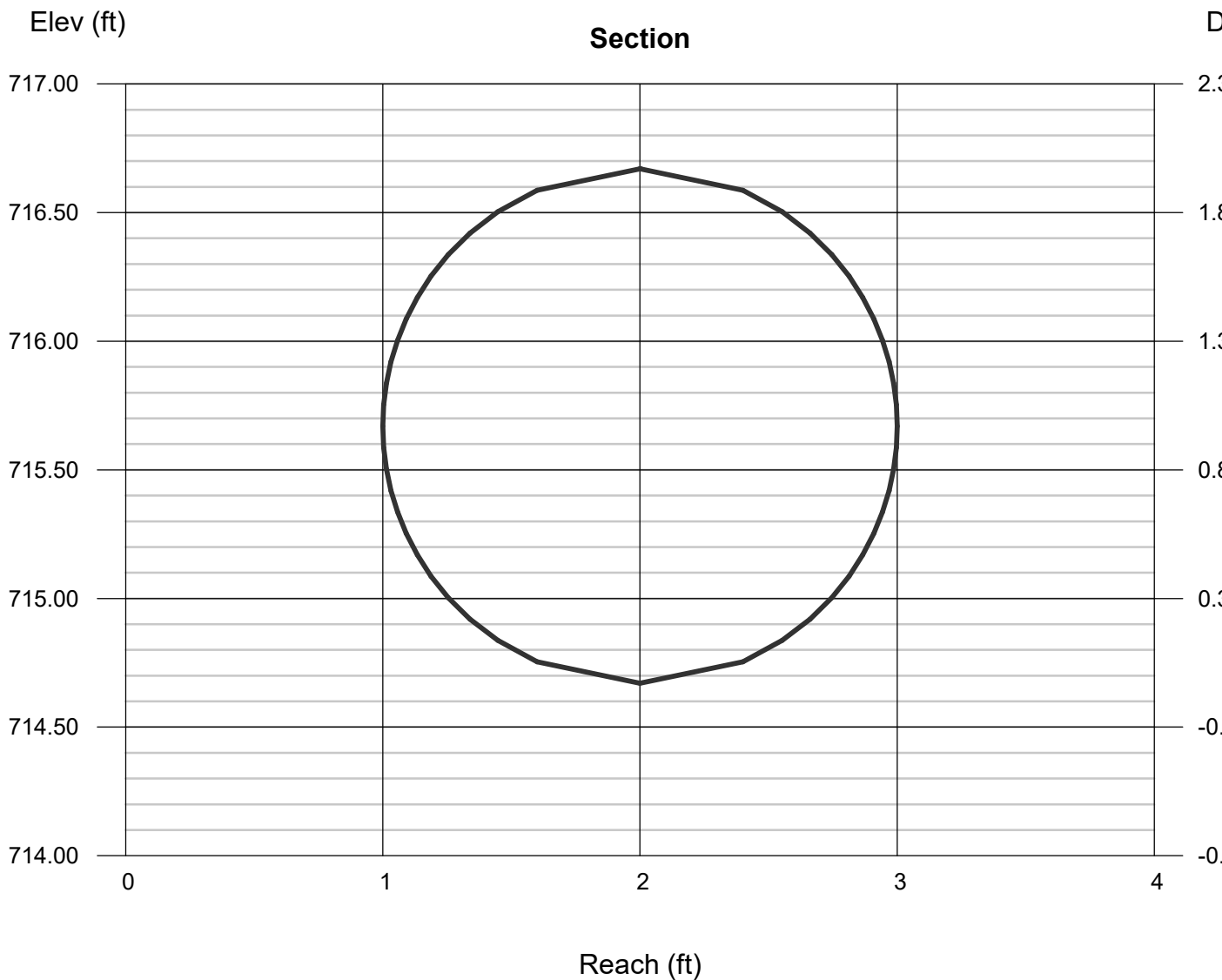
Velocity (ft/s) = 10.93

Wetted Perim (ft) = 6.28

Crit Depth, Yc (ft) = 1.92

Top Width (ft) = 0.00

EGL (ft) = 3.86



January 8, 2021

Mark Reidenbach, P.E., P.L.S., S.E.O.
The Gateway Engineers, Inc.
100 McMorris Road
Pittsburgh, PA 15205

Subject: Sewage Facilities Planning Module (SFPM)
Approval for Collection System Flows
Project Name: 915 Liberty Avenue (Project)
PWSA Project No.: 19013.69

Dear Mark,

Pursuant to your request, we have reviewed the SFPM and determined that the Project will not create a dry-weather hydraulic overload within the next five (5) years for any collection facility owned by the Pittsburgh Water and Sewer Authority (PWSA). We have enclosed for your use the electronically signed "Section J – Chapter 94 Consistency Determination". Please be advised that this approval is limited to the collection system portion of the SFPM.

Our review was based on information provided by others under the assumption that this information was accurate and complete. Should you have any questions, please do not hesitate to contact me directly at x5523 or SConnell@pgh2o.com.

Sincerely,



Shannon Connell
Engineering Co-Op

Enclosures

cc: Barry King, P.E. – PWSA (via email)
Kate Mechler, P.E. – PWSA (via email)
Robert Herring, P.E. – PWSA (via email)
Thomas Flanagan – DEP (via email)
eBuilder – Filing System (via email)

To: Barry King, P.E. - Director of Engineering and Construction

From: Shannon Connell

Date: January 6th, 2021

Subject: Department of Environmental Protection (DEP) - Sewage Facilities
Planning Module (SFPM)

Chapter 94 Consistency Determination

Project Name: 915 Liberty Avenue (Project)

Project Address: 915 Liberty Avenue, Pittsburgh, PA 15222

PWSA Project Number: 19013.69

Dear Barry,

The Pittsburgh Water and Sewer Authority (PWSA) received a SFPM application for the aforementioned Project. In accordance with Title 25 of the Pennsylvania Code, the PWSA is required to prepare an annual Wasteload Management Report on the collection and conveyance of wastewater relative to available capacity. Our review of the SFPM was conducted to understand how the Project will impact available dry-weather capacity and whether the proposed flows will contribute to a dry-weather hydraulic overload within the next five (5) years. Please note that a dry-weather hydraulic overload shall require both the denial of the SFPM and the submission of a Corrective Action Plan to the DEP.

We have determined that the Project will not contribute to a dry-weather hydraulic overload within the next five years. Please refer to the enclosed hydraulic calculations for additional information. Upon your approval, please sign and return the enclosed "Section J - Chapter 94 Consistency Determination" page from the SFPM.

Our review was based on information provided by others under the assumption that this information was accurate and complete. Should you have any questions, please do not hesitate to contact me directly.

Yours truly,



Shannon Connell
Engineering Co-Op

Enclosures

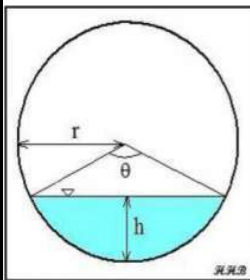
cc: Robert Herring, P.E. - PWSA
e-Builder – Filing System

Sewage Facilities Planning Module
Chapter 94 Consistency Determination
Hydraulic Calculations Spreadsheet for Flow Monitoring Measurements

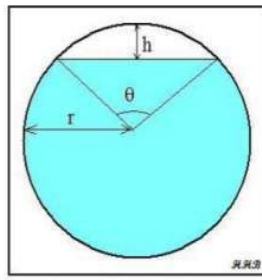
PROJECT NAME: 915 Liberty Avenue
PWSA PROJECT NUMBER: 19013.69
PWSA REVIEWER: Shannon Connell
DATE: December 30, 2020

LEGEND: Input Data Output Data

Section A: Manning Equation for Partially Filled Pipes



Partially Full Pipe Flow Parameters
(Less Than Half Full)



Partially Full Pipe Flow Parameters
(More Than Half Full)

| Variable | Units | Description |
|----------|-----------------|-------------------------------|
| Q | ft ³ | Volumetric flowrate |
| n | Unitless | Manning Roughness Coeff. |
| A | ft ² | Cross-Sectional Area of Flow |
| R | ft | Hydraulic Radius |
| S | ft/ft | Slope of Hydraulic Grade Line |
| P | ft | Wetted Perimeter of "A" |
| r | ft | Radius |
| h | ft | Depth of Flow or Headspace |
| θ | radians | Central Angle |

$$Q = \left(\frac{1.49}{n}\right) \times A \times R^{2/3} \times S^{1/2}$$

$$R = \frac{A}{P}$$

$$\theta = 2 \times \cos^{-1} \left(\frac{r - h}{r} \right)$$

$$A_{<50\% \text{ Full}} = \frac{r^2(\theta - \sin \theta)}{2}$$

OR

$$A_{>50\% \text{ Full}} = \pi \times r^2 \times \frac{r^2(\theta - \sin \theta)}{2}$$

$$P_{<50\% \text{ Full}} = r \times \theta$$

$$P_{>50\% \text{ Full}} = (2 \times \pi \times r) - (r \times \theta)$$

Section B: Data for Calculations

| Peaking Factor, P.F. | |
|----------------------|-----|
| Sanitary Sewers | 3 |
| Combined Sewers | 3.5 |

| Proposed Project Flows | | |
|------------------------|-------|-------|
| Variable | Value | Units |
| Q _p | 3,038 | gpd |

| Variable | Value | Units |
|----------|-------|----------|
| Material | VCP | |
| n | 0.015 | unitless |
| S | 0.031 | ft/ft |
| h | 2.000 | ft |
| D | 2.00 | ft |
| P.F. | 3.5 | unitless |

Section C: Calculations for Design and/or Permitted Capacities

| Variable | Description | Definition |
|----------------------|--------------------------|--|
| Q _{d, avg} | Design Capacity, Average | = full pipe flow conditions / peaking factor |
| Q _{d, peak} | Design Capacity, Peak | full pipe flow conditions |

| Design Capacity, Average | | |
|--------------------------|-----------|------|
| Variable | Value | Unit |
| Q _{d, avg} | 6,360,699 | gpd |

| Design Capacity, Peak | | |
|-----------------------|------------|-----------------|
| Variable | Value | Unit |
| D | 2.000 | ft |
| r | 1.000 | ft |
| A | 3.142 | ft ² |
| P | 6.283 | ft |
| R | 0.500 | ft |
| Q _{d, peak} | 34 | cfs |
| Q _{d, peak} | 22,262,447 | gpd |

Section D: Calculations for Present Flows

| Variable | Description | Definition |
|-----------------------|------------------------|-------------------------------------|
| Q _{ex, avg} | Present Flows, Average | determined via flow monitoring data |
| Q _{ex, peak} | Present Flows, Peak | determined via flow monitoring data |

| Present Flows, Average | | |
|------------------------|--------|------|
| Variable | Value | Unit |
| Q _{ex, avg} | 21,000 | gpd |

| Present Flows, Peak | | |
|-----------------------|---------|------|
| Variable | Value | Unit |
| Q _{ex, peak} | 541,000 | gpd |

Section E: Calculations for Projected Flows in Five (5) Years

| Variable | Description | Definition |
|-------------------------|--|--|
| Q _{proj, avg} | Projected Flows in Five (5) Years, Average | = Q _{proj, peak} ÷ P.F. |
| Q _{proj, peak} | Projected Flows in Five (5) Years, Peak | = (Q _{ex, peak} + Q _p) x 1.05 |

| Projected Flow Calculations | | |
|-----------------------------|---------|------|
| Variable | Value | Unit |
| Q _{proj, avg} | 163,211 | gpd |
| Q _{proj, peak} | 571,240 | gpd |

Section F: Compare Results with Applicant's Submission

| Variable | PWSA, gpd | Applicant, gpd | Difference, gpd | Difference, % |
|-------------------------|------------|----------------|-----------------|---------------|
| Q _{d, avg} | 6,360,699 | 6,341,293 | 19,406 | 0% |
| Q _{d, peak} | 22,262,447 | 22,194,526 | 67,921 | 0% |
| Q _{ex, avg} | 21,000 | 21,000 | 0 | 0% |
| Q _{ex, peak} | 541,000 | 541,000 | 0 | 0% |
| Q _{proj, avg} | 163,211 | 163,211 | 0 | 0% |
| Q _{proj, peak} | 571,240 | 571,240 | 0 | 0% |

EXHIBIT H.

Component 3 – Sewage Collection and Treatment Facilities



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF POINT AND NON-POINT SOURCE MANAGEMENT

SEWAGE FACILITIES PLANNING MODULE

Component 3. Sewage Collection and Treatment Facilities

(Return completed module package to appropriate municipality)

| DEP USE ONLY | | | | |
|--------------|-------------|-----------|----------|-----------|
| DEP CODE # | CLIENT ID # | SITE ID # | APS ID # | AUTH ID # |
| 02001-19-030 | 76778 | 379960 | | |

This planning module component is used to fulfill the planning requirements of Act 537 for the following types of projects: (1) a subdivision to be served by sewage collection, conveyance or treatment facilities, (2) a tap-in to an existing collection system with flows on a lot of 2 EDU's or more, or (3) the construction of, or modification to, wastewater collection, conveyance or treatment facilities that will require DEP to issue or modify a Clean Streams Law permit. Planning for any project that will require DEP to issue or modify a permit cannot be processed by a delegated agency. Delegated agencies must send their projects to DEP for final planning approval.

This component, along with any other documents specified in the cover letter, must be completed and submitted to the municipality with jurisdiction over the project site for review and approval. All required documentation must be attached for the Sewage Facilities Planning Module to be complete. Refer to the instructions for help in completing this component.

REVIEW FEES: Amendments to the Sewage Facilities Act established fees to be paid by the developer for review of planning modules for land development. These fees may vary depending on the approving agency for the project (DEP or delegated local agency). Please see section R and the instructions for more information on these fees.

NOTE: All projects must complete Sections A through I, and Sections O through R. Complete Sections J, K, L, M and/or N if applicable or marked .

A. PROJECT INFORMATION (See Section A of instructions)

1. Project Name Maginn Building Lofts (915 Liberty Avenue Renovations)
2. Brief Project Description Conversion of a warehouse/manufacturing facility to residential condominiums

B. CLIENT (MUNICIPALITY) INFORMATION (See Section B of instructions)

| | | | | |
|---|-----------|-------------------------------------|--------------------------|--------------------------|
| Municipality Name | County | City | Boro | Twp |
| City of Pittsburgh - 2 nd Ward | Allegheny | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

| | | | | |
|---|------------|----|--------|-------|
| Municipality Contact Individual - Last Name | First Name | MI | Suffix | Title |
|---|------------|----|--------|-------|

| | | | | |
|---------------------------------|------------|----|--------|-------|
| Additional Individual Last Name | First Name | MI | Suffix | Title |
|---------------------------------|------------|----|--------|-------|

| | |
|--------------------------------------|---------------------------------------|
| Municipality Mailing Address Line 1 | Mailing Address Line 2 |
| Pittsburgh Water and Sewer Authority | Penn Liberty Plaza I 1200 Penn Avenue |

| | | |
|---------------------------|-------|------------|
| Address Last Line -- City | State | ZIP+4 |
| Pittsburgh | PA | 15222-4216 |

| | | |
|--------------------------|----------------|------------------|
| Area Code + Phone + Ext. | FAX (optional) | Email (optional) |
|--------------------------|----------------|------------------|

412-255-0841

C. SITE INFORMATION (See Section C of instructions)

Site (Land Development or Project) Name

Maginn Building Lofts (915 Liberty Avenue Renovations)

Site Location Line 1
915 Liberty Avenue

Site Location Line 2

Site Location Last Line -- City
Pittsburgh

State
PA

ZIP+4
15222-3701

Latitude
40.443285

Longitude
-79.997593

Detailed Written Directions to Site Traveling East on I-376, take Exit 70A, take exit travel east on Liberty Avenue just past the intersection of Liberty and 9th Street, Project Site is on the left. Traveling West on I-376, take exit 70D, travel north on Stanwix St to the intersection with Liberty Ave, make a right on Liberty and travel East past the interstion of 9th, site will be on the left

Description of Site Existing 8 story warehouse building

Site Contact (Developer/Owner)

Last Name

First Name

MI

Suffix

Phone

Ext.

Barnett

Matthew

412-618-2515

Site Contact Title

Site Contact Firm (if none, leave blank)

Construction Manager

Day3Design, LLC

FAX

Email

Mbarnett@day3design.com

Mailing Address Line 1

Mailing Address Line 2

1414 Commons Lane

Mailing Address Last Line -- City

State

ZIP+4

Bridgeville

PA

15017-2942

D. PROJECT CONSULTANT INFORMATION (See Section D of instructions)

Last Name

First Name

MI

Suffix

Reidenbach

Mark

Title

Consulting Firm Name

Engineer

The Gateway Engineers, Inc.

Mailing Address Line 1

Mailing Address Line 2

100 McMorris Road

Address Last Line -- City

State

ZIP+4

Country

Pittsburgh

PA

15205-9401

USA

Email

Area Code + Phone

Ext.

Area Code + FAX

mreidenbach@gatewayengineers.com 412-409-2405

E. AVAILABILITY OF DRINKING WATER SUPPLY

The project will be provided with drinking water from the following source: (Check appropriate box)

- Individual wells or cisterns.
- A proposed public water supply.
- An existing public water supply.

If existing public water supply is to be used, provide the name of the water company and attach documentation from the water company stating that it will serve the project.

Name of water company: PWSA

F. PROJECT NARRATIVE (See Section F of instructions)

- A narrative has been prepared as described in Section F of the instructions and is attached.

The applicant may choose to include additional information beyond that required by Section F of the instructions.

G. PROPOSED WASTEWATER DISPOSAL FACILITIES (See Section G of instructions)

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter 93 (relating to wastewater treatment requirements).

1. COLLECTION SYSTEM

a. Check appropriate box concerning collection system

- New collection system Pump Station Force Main
 Grinder pump(s) Extension to existing collection system Expansion of existing facility

Clean Streams Law Permit Number _____

b. Answer questions below on collection system

Number of EDU's and proposed connections to be served by collection system. EDU's 7.6

Connections 1 Sanitary/1 Storm

Name of:

existing collection or conveyance system 9th Street - 24" VCP

owner Pittsburgh Water and Sewer Authority

existing interceptor A-11 Allegheny River

owner ALCOSAN

2. WASTEWATER TREATMENT FACILITY

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter(s) 91 (relating to general provisions), 92 (relating to national Pollution Discharge Elimination System permitting, monitoring and compliance) and 93 (relating to water quality standards).

a. Check appropriate box and provide requested information concerning the treatment facility

- New facility Existing facility Upgrade of existing facility Expansion of existing facility

Name of existing facility ALCOSAN

NPDES Permit Number for existing facility 25989

Clean Streams Law Permit Number _____

Location of discharge point for a new facility. Latitude _____ Longitude _____

b. The following certification statement must be completed and signed by the wastewater treatment facility permittee or their representative.

As an authorized representative of the permittee, I confirm that the ALCOSAN
(Name from above) sewage treatment facilities can accept sewage flows from this project without adversely affecting the facility's ability to achieve all applicable technology and water quality based effluent limits (see Section I) and conditions contained in the NPDES permit identified above.

Name of Permittee Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent Joe Fedor

Agent Signature Joe Fedor Date 1-14-22

(Also see Section I. 4.)

G. PROPOSED WASTEWATER DISPOSAL FACILITIES (Continued)

3. PLOT PLAN

The following information is to be submitted on a plot plan of the proposed subdivision.

- a. Existing and proposed buildings.
- b. Lot lines and lot sizes.
- c. Adjacent lots.
- d. Remainder of tract.
- e. Existing and proposed sewerage facilities. Plot location of discharge point, land application field, spray field, COLDS, or LVCOLDS if a new facility is proposed.
- f. Show tap-in or extension to the point of connection to existing collection system (if applicable).
- g. Existing and proposed water supplies and surface water (wells, springs, ponds, streams, etc.)
- h. Existing and proposed rights-of-way.
- i. Existing and proposed buildings, streets, roadways, access roads, etc.
- j. Any designated recreational or open space area.
- k. Wetlands - from National Wetland Inventory Mapping and USGS Hydric Soils Mapping.
- l. Flood plains or Flood prone areas, floodways, (Federal Flood Insurance Mapping)
- m. Prime Agricultural Land.
- n. Any other facilities (pipelines, power lines, etc.)
- o. Orientation to north.
- p. Locations of all site testing activities (soil profile test pits, slope measurements, permeability test sites, background sampling, etc. (if applicable).
- q. Soils types and boundaries when a land based system is proposed.
- r. Topographic lines with elevations when a land based system is proposed

4. WETLAND PROTECTION

YES NO

- a. Are there wetlands in the project area? If yes, ensure these areas appear on the plot plan as shown in the mapping or through on-site delineation.
- b. Are there any construction activities (encroachments, or obstructions) proposed in, along, or through the wetlands? If yes, Identify any proposed encroachments on wetlands and identify whether a General Permit or a full encroachment permit will be required. If a full permit is required, address time and cost impacts on the project. Note that wetland encroachments should be avoided where feasible. Also note that a feasible alternative **MUST BE SELECTED** to an identified encroachment on an exceptional value wetland as defined in Chapter 105. Identify any project impacts on streams classified as HQ or EV and address impacts of the permitting requirements of said encroachments on the project.

5. PRIME AGRICULTURAL LAND PROTECTION

YES NO

- Will the project involve the disturbance of prime agricultural lands?
If yes, coordinate with local officials to resolve any conflicts with the local prime agricultural land protection program. The project must be consistent with such municipal programs before the sewage facilities planning module package may be submitted to DEP.
If no, prime agricultural land protection is not a factor to this project.
- Have prime agricultural land protection issues been settled?

6. HISTORIC PRESERVATION ACT

YES NO

- Sufficient documentation is attached to confirm that this project is consistent with DEP Technical Guidance 012-0700-001 *Implementation of the PA State History Code* (available online at the DEP website at www.dep.state.pa.us, select "subject" then select "technical guidance"). As a minimum this includes copies of the completed Cultural Resources Notice

(CRN), a return receipt for its submission to the PHMC and the PHMC review letter.

7. PROTECTION OF RARE, ENDANGERED OR THREATENED SPECIES

Check one:

- The "Pennsylvania Natural Diversity Inventory (PNDI) Project Environmental Review Receipt" resulting from my search of the PNDI database and all supporting documentation from jurisdictional agencies (when necessary) is/are attached.
- A completed "Pennsylvania Natural Diversity Inventory (PNDI) Project Planning & Environmental Review Form," (PNDI Form) available at www.naturalheritage.state.pa.us, and all required supporting documentation is attached. I request DEP staff to complete the required PNDI search for my project. I realize that my planning module will be considered incomplete upon submission to the Department and that the DEP review will not begin, and that processing of my planning module will be delayed, until a "PNDI Project Environmental Review Receipt" and all supporting documentation from jurisdictional agencies (when necessary) is/are received by DEP.

Applicant or Consultant Initials MR_____.

H. ALTERNATIVE SEWAGE FACILITIES ANALYSIS (See Section H of instructions)

- An alternative sewage facilities analysis has been prepared as described in Section H of the attached instructions and is attached to this component.
The applicant may choose to include additional information beyond that required by Section H of the attached instructions.

I. COMPLIANCE WITH WATER QUALITY STANDARDS AND EFFLUENT LIMITATIONS (See Section I of instructions) (Check and complete all that apply.)

1. Waters designated for Special Protection

- The proposed project will result in a new or increased discharge into special protection waters as identified in Title 25, Pennsylvania Code, Chapter 93. The Social or Economic Justification (SEJ) required by Section 93.4c. is attached.

2. Pennsylvania Waters Designated As Impaired

- The proposed project will result in a new or increased discharge of a pollutant into waters that DEP has identified as being impaired by that pollutant. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss water quality based discharge limitations.

3. Interstate and International Waters

- The proposed project will result in a new or increased discharge into interstate or international waters. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss effluent limitations necessary to meet the requirements of the interstate or international compact.

4. Tributaries To The Chesapeake Bay

- The proposed project result in a new or increased discharge of sewage into a tributary to the Chesapeake Bay. This proposal for a new sewage treatment facility or new flows to an existing facility includes total nitrogen and total phosphorus in the following amounts: _____ pounds of TN per year, and _____ pounds of TP per year. Based on the process design and effluent limits, the total nitrogen treatment capacity of the wastewater treatment facility is _____ pounds per year and the total phosphorus capacity is _____ pounds per year as determined by the wastewater treatment facility permittee. The permittee has determined that the additional TN and TP to be contributed by this project (as modified by credits and/or offsets to be provided) will not cause the discharge to exceed the annual total mass limits for these parameters. Documentation of compliance with nutrient allocations is attached.

Name of Permittee Agency, Authority, Municipality _____

Initials of Responsible Agent (See Section G 2.b) _____

See *Special Instructions* (Form 3800-FM-BPNPSM0353-1) for additional information on Chesapeake Bay watershed requirements.

J. CHAPTER 94 CONSISTENCY DETERMINATION (See Section J of instructions)

Projects that propose the use of existing municipal collection, conveyance or wastewater treatment facilities, or the construction of collection and conveyance facilities to be served by existing municipal wastewater treatment facilities must be consistent with the requirements of Title 25, Chapter 94 (relating to Municipal Wasteload Management). If not previously included in Section F, include a general map showing the path of the sewage to the treatment facility. If more than one municipality or authority will be affected by the project, please obtain the information required in this section for each. Additional sheets may be attached for this purpose.

1. Project Flows 3,038 gpd
2. Total Sewage Flows to Facilities (pathway from point of origin through treatment plant)

When providing "treatment facilities" sewage flows, use Annual Average Daily Flow for "average" and Maximum Monthly Average Daily Flow for "peak" in all cases. For "peak flows" in "collection" and "conveyance" facilities, indicate whether these flows are "peak hourly flow" or "peak instantaneous flow" and how this figure was derived (i.e., metered, measured, estimated, etc.).

- a. Enter average and peak sewage flows for each proposed or existing facility as designed or permitted.
- b. Enter the average and peak sewage flows for the most restrictive sections of the existing sewage facilities.
- c. Enter the average and peak sewage flows, projected for 5 years (2 years for pump stations) through the most restrictive sections of the existing sewage facilities. Include existing, proposed (this project) and future project (other approved projects) flows.

To complete the table, refer to the instructions, Section J.

| | a. Design and/or Permitted Capacity (gpd) | | b. Present Flows (gpd) | | c. Projected Flows in 5 years (gpd) (2 years for P.S.) | |
|------------|---|--------------------|------------------------|--------------------|---|--------------------|
| | Average | Peak | Average | Peak | Average | Peak |
| Collection | 6341293 | 22194526 | 21000 | 541000 | 163211 | 571240 |
| Conveyance | | <u>2,080,000</u> | <u>12,500</u> | <u>12,900</u> | <u>15,500</u> | <u>15,900</u> |
| Treatment | <u>250,000,000</u> | <u>250,000,000</u> | <u>190,200,000</u> | <u>250,000,000</u> | <u>219,021,000</u> | <u>295,000,000</u> |

3. Collection and Conveyance Facilities

The questions below are to be answered by the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities. These questions should be answered in coordination with the latest Chapter 94 annual report and the above table. The individual(s) signing below must be legally authorized to make representation for the organization.

YES NO

- a. YES NO This project proposes sewer extensions or tap-ins. Will these actions create a hydraulic overload within five years on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until all inconsistencies with Chapter 94 are resolved or unless there is an approved Corrective Action Plan (CAP) granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the module package.

If no, a representative of the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not affect that status.

b. Collection System

Name of Agency, Authority, Municipality Pittsburgh Water and Sewer Authority

Name of Responsible Agent Barry K. King, PE, PMP

Agent Signature  Date 1/6/2021

J. CHAPTER 94 CONSISTENCY DETERMINATION (See Section J of instructions)

c. Conveyance System

Name of Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent Joe Fedor

Agent Signature Joe Fedor

Date 1-14-22

4. Treatment Facility

The questions below are to be answered by a representative of the facility permittee in coordination with the information in the table and the latest Chapter 94 report. The individual signing below must be legally authorized to make representation for the organization.

YES NO

- a. This project proposes the use of an existing wastewater treatment plant for the disposal of sewage. Will this action create a hydraulic or organic overload within 5 years at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this inconsistency with Chapter 94 is resolved or unless there is an approved CAP granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the planning module.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not impact that status.

- b. Name of Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent Joe Fedor

Agent Signature Joe Fedor

Date 1-14-22

K. TREATMENT AND DISPOSAL OPTIONS (See Section K of instructions)

This section is for land development projects that propose construction of wastewater treatment facilities. Please note that, since these projects require permits issued by DEP, these projects may **NOT** receive final planning approval from a delegated local agency. Delegated local agencies must send these projects to DEP for final planning approval.

Check the appropriate box indicating the selected treatment and disposal option.

- 1. Spray irrigation (other than individual residential spray systems (IRSIS)) or other land application is proposed, and the information requested in Section K.1. of the planning module instructions are attached.
- 2. Recycle and reuse is proposed and the information requested in Section K-2 of the planning module instructions is attached.
- 3. A discharge to a dry stream channel is proposed, and the information requested in Section K.3. of the planning module instructions are attached.
- 4. A discharge to a perennial surface water body is proposed, and the information requested in Section K.4. of the planning module instructions are attached.

L. PERMEABILITY TESTING (See Section L of instructions)

- The information required in Section L of the instructions is attached.

M. PRELIMINARY HYDROGEOLOGIC STUDY (See Section M of instructions)

- The information required in Section M of the instructions is attached.

N. DETAILED HYDROGEOLOGIC STUDY (See Section N of instructions)

The detailed hydrogeologic information required in Section N. of the instructions is attached.

O. SEWAGE MANAGEMENT (See Section O of instructions)

(1-3 for completion by the developer(project sponser), 4-5 for completion by the non-municipal facility agent and 6 for completion by the municipality)

Yes No

1. Is connection to, or construction of, a DEP permitted, non-municipal sewage facility or a local agency permitted, community onlot sewage facility proposed.

If Yes, respond to the following questions, attach the supporting analysis, and an evaluation of the options available to assure long-term proper operation and maintenance of the proposed non-municipal facilities. If No, skip the remainder of Section O.

2. Project Flows _____ gpd

Yes No

3. Is the use of nutrient credits or offsets a part of this project?

If yes, attach a letter of intent to purchase the necessary credits and describe the assurance that these credits and offsets will be available for the remaining design life of the non-municipal sewage facility;

(For completion by non-municipal facility agent)

4. Collection and Conveyance Facilities

The questions below are to be answered by the organization/individual responsible for the non-municipal collection and conveyance facilities. The individual(s) signing below must be legally authorized to make representation for the organization.

Yes No

- a. If this project proposes sewer extensions or tap-ins, will these actions create a hydraulic overload on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, a representative of the organization responsible for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with Chapter 71 §71.53(d)(3) and that this proposal will not affect that status.

- b. Collection System

Name of Responsible Organization _____

Name of Responsible Agent _____

Agent Signature _____

Date _____

- c. Conveyance System

Name of Responsible Organization _____

Name of Responsible Agent _____

Agent Signature _____

Date _____

5. Treatment Facility

The questions below are to be answered by a representative of the facility permittee. The individual signing below must be legally authorized to make representation for the organization.

Yes No

- a. If this project proposes the use of an existing non-municipal wastewater treatment plant for the disposal of sewage, will this action create a hydraulic or organic overload at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with §71.53(d)(3) and that this proposal will not impact that status.

- b. Name of Facility _____
Name of Responsible Agent _____
Agent Signature _____
Date _____

(For completion by the municipality)

6. The **SELECTED OPTION** necessary to assure long-term proper operation and maintenance of the proposed non-municipal facilities is clearly identified with documentation attached in the planning module package.

P. PUBLIC NOTIFICATION REQUIREMENT (See Section P of instructions)

This section must be completed to determine if the applicant will be required to publish facts about the project in a newspaper of general circulation to provide a chance for the general public to comment on proposed new land development projects. This notice may be provided by the applicant or the applicant's agent, the municipality or the local agency by publication in a newspaper of general circulation within the municipality affected. Where an applicant or an applicant's agent provides the required notice for publication, the applicant or applicant's agent shall notify the municipality or local agency and the municipality and local agency will be relieved of the obligation to publish. The required content of the publication notice is found in Section P of the instructions.

To complete this section, each of the following questions must be answered with a "yes" or "no". Newspaper publication is required if any of the following are answered "yes".

Yes No

1. Does the project propose the construction of a sewage treatment facility ?
2. Will the project change the flow at an existing sewage treatment facility by more than 50,000 gallons per day?
3. Will the project result in a public expenditure for the sewage facilities portion of the project in excess of \$100,000?
4. Will the project lead to a major modification of the existing municipal administrative organizations within the municipal government?
5. Will the project require the establishment of *new* municipal administrative organizations within the municipal government?
6. Will the project result in a subdivision of 50 lots or more? (onlot sewage disposal only)
7. Does the project involve a major change in established growth projections?
8. Does the project involve a different land use pattern than that established in the municipality's Official Sewage Plan?

P. PUBLIC NOTIFICATION REQUIREMENT cont'd. (See Section P of instructions)

9. Does the project involve the use of large volume onlot sewage disposal systems (Flow > 10,000 gpd)?
10. Does the project require resolution of a conflict between the proposed alternative and consistency requirements contained in §71.21(a)(5)(i), (ii), (iii)?
11. Will sewage facilities discharge into high quality or exceptional value waters?
- Attached is a copy of:
- the public notice,
- all comments received as a result of the notice,
- the municipal response to these comments.
- No comments were received. A copy of the public notice is attached.

Q. FALSE SWEARING STATEMENT (See Section Q of instructions)

I verify that the statements made in this component are true and correct to the best of my knowledge, information and belief. I understand that false statements in this component are made subject to the penalties of 18 PA C.S.A. §4904 relating to unsworn falsification to authorities.

Mark W. Reidenbach, PE



Name (Print)

Signature

Engineer

2021-01-01

Title

Date

The Gateway Engineers
100 McMorris Road
Pittsburgh, PA 15205-9401

4124092362

Address

Telephone Number

R. REVIEW FEE (See Section R of instructions)

The Sewage Facilities Act establishes a fee for the DEP planning module review. DEP will calculate the review fee for the project and invoice the project sponsor **OR** the project sponsor may attach a self-calculated fee payment to the planning module prior to submission of the planning package to DEP. (Since the fee and fee collection procedures may vary if a "delegated local agency" is conducting the review, the project sponsor should contact the "delegated local agency" to determine these details.) Check the appropriate box.

- I request DEP calculate the review fee for my project and send me an invoice for the correct amount. I understand DEP's review of my project will not begin until DEP receives the correct review fee from me for the project.
- I have calculated the review fee for my project using the formula found below and the review fee guidance in the instructions. I have attached a check or money order in the amount of \$412.50 payable to "Commonwealth of PA, DEP". Include DEP code number on check. I understand DEP will not begin review of my project unless it receives the fee and determines the fee is correct. If the fee is incorrect, DEP will return my check or money order, send me an invoice for the correct amount. I understand DEP review will NOT begin until I have submitted the correct fee.
- I request to be exempt from the DEP planning module review fee because this planning module creates **only** one new lot and is the **only** lot subdivided from a parcel of land as that land existed on December 14, 1995. I realize that subdivision of a second lot from this parcel of land shall disqualify me from this review fee exemption. I am furnishing the following deed reference information in support of my fee exemption.

County Recorder of Deeds for _____ County, Pennsylvania

Deed Volume _____ Book Number _____

Page Number _____ Date Recorded _____

R. REVIEW FEE (continued)

Formula:

1. For a new collection system (with or without a Clean Streams Law Permit), a collection system extension, or individual tap-ins to an existing collection system use this formula.

$$\#7.70 \quad \text{Lots (or EDUs)} \times \$50.00 = \$ 385.00$$

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
 - For community sewer system projects, one EDU is equal to a sewage flow of 400 gallons per day.
2. For a surface or subsurface discharge system, use the appropriate one of these formulae.

- A. A new surface discharge greater than 2000 gpd will use a flat fee:

\$ 1,500 per submittal (non-municipal)
\$ 500 per submittal (municipal)

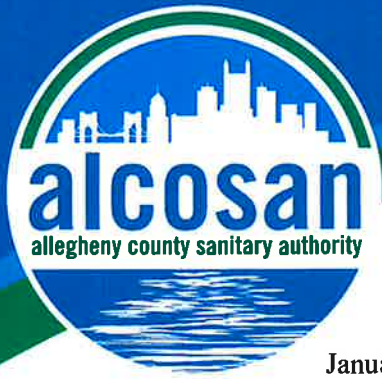
- B. An increase in an existing surface discharge will use:

$$\# \quad \text{Lots (or EDUs)} \times \$35.00 = \$$$

to a maximum of \$ 1,500 per submittal (non-municipal) or \$ 500 per submittal (municipal)

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
 - For community sewage system projects one EDU is equal to a sewage flow of 400 gallons per day.
 - For non-single family residential projects, EDUs are calculated using projected population figures
- C. A sub-surface discharge system that requires a permit under The Clean Streams Law will use a flat fee:
- \$ 1,500 per submittal (non-municipal)
\$ 500 per submittal (municipal)



January 14, 2022

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Governmental Affairs*

Joseph Vallarian
*Director
Communications*

Mark Reidenbach, P.E.
Gateway Engineers
100 McMorris Road
Pittsburgh, PA 15305

**Re: Maginn Building Lofts
City of Pittsburgh– Allegheny County
PA DEP Sewage Facilities Planning Module
ALCOSAN Regulator Structure A-11-00**

Dear Mr. Reidenbach:

We have reviewed the Component 3 Planning Module for the referenced project to be located at 915 Liberty Avenue, Pittsburgh. The project will generate a peak flow of 3,038 gpd in the ALCOSAN Allegheny River Interceptor and Woods Run Treatment Plant.

The capacity at the A-11-00 Regulator Structure is approximately 2.08 MGD. The estimated peak dry weather flow is approximately 0.01 MGD. Dry weather capacity exists for this connection. However, the Allegheny River Interceptor and the Woods Run Treatment Plant do not have the capacity for the flows generated during wet weather periods. This limitation will be addressed as ALCOSAN implements its Clean Water Plan.

ALCOSAN requests that this letter be made part of the planning module submission. The signed Component 3 Planning Module is attached. The sewers in this project are to be designed as separated sanitary and storm sewers. If you have any questions regarding this matter, please contact me at 412-734-8735.

Sincerely,

ALLEGHENY COUNTY SANITARY AUTHORITY



Joe Fedor

Attachment

cc: C. Dean (w/o attachment) B. King/PWSA (w/o attachment)
D. Thornton (w/o attachment) Thomas Flanagan/PADEP (w/o attachment)
M. Lichte (w/o attachment) Fred Fields/ACHD (w/o attachment)

EXHIBIT I.

PWSA Tap Allocation Letter

June 2, 2020

Mr. Thomas Flanagan
PA Department of Environmental Protection
Clean Water Program
400 Waterfront Drive
Pittsburgh, PA 15222

Subject: Tap Allocation Authorization Letter

Dear Mr. Flanagan:

Please be advised that the Pittsburgh Water and Sewer Authority (PWSA) authorizes the tap allocations associated with the following Project:

| | |
|--------------------|--|
| Project Name: | 915 Liberty Avenue |
| Project Address: | 915 Liberty Avenue Pittsburgh, PA 15222 |
| Net Flow, gpd: | 3,038 |
| EDU's, 400gpd/EDU: | 7.60 |

Our review is based on information provided by others under the assumption that this information was accurate and complete. Should you have any questions, please do not hesitate to contact me directly at x5523 or SConnell@pgh2o.com.

Sincerely,



Shannon Connell
Engineering Co-Op

cc: Barry King, P.E. – PWSA (via email)
Kate Mechler, P.E. – PWSA (via email)
Robert Herring, P.E. – PWSA (via email)
The Gateway Engineers, Inc. – Applicant (via email)
Regis Ryan – DEP (via email)
eBuilder – Filing System (via email)

EXHIBIT J.

**Pennsylvania Natural Diversity Inventory (PNDI) Environmental
Review**

1. PROJECT INFORMATION

Project Name: **915 Liberty Avenue Renovations**

Date of Review: **12/13/2019 09:59:05 AM**

Project Category: **Development, Additions/maintenance to existing development facilities**

Project Area: **0.11 acres**

County(s): **Allegheny**

Township/Municipality(s): **PITTSBURGH**

ZIP Code: **15222**

Quadrangle Name(s): **PITTSBURGH EAST**

Watersheds HUC 8: **Lower Allegheny**

Watersheds HUC 12: **Allegheny River-Ohio River**

Decimal Degrees: **40.443220, -79.997769**

Degrees Minutes Seconds: **40° 26' 35.5921" N, 79° 59' 51.9680" W**

2. SEARCH RESULTS

| Agency | Results | Response |
|---|-----------------------------|--|
| PA Game Commission | Potential Impact | FURTHER REVIEW IS REQUIRED, See Agency Response |
| PA Department of Conservation and Natural Resources | No Known Impact | No Further Review Required |
| PA Fish and Boat Commission | Conservation Measure | No Further Review Required, See Agency Comments |
| U.S. Fish and Wildlife Service | Conservation Measure | No Further Review Required, See Agency Comments |

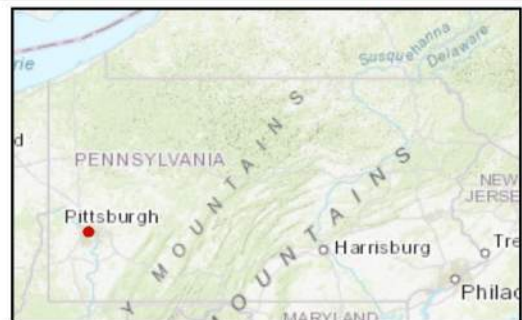
As summarized above, Pennsylvania Natural Diversity Inventory (PNDI) records indicate there may be potential impacts to threatened and endangered and/or special concern species and resources within the project area. If the response above indicates "No Further Review Required" no additional communication with the respective agency is required. If the response is "Further Review Required" or "See Agency Response," refer to the appropriate agency comments below. Please see the DEP Information Section of this receipt if a PA Department of Environmental Protection Permit is required.

915 Liberty Avenue Renovations

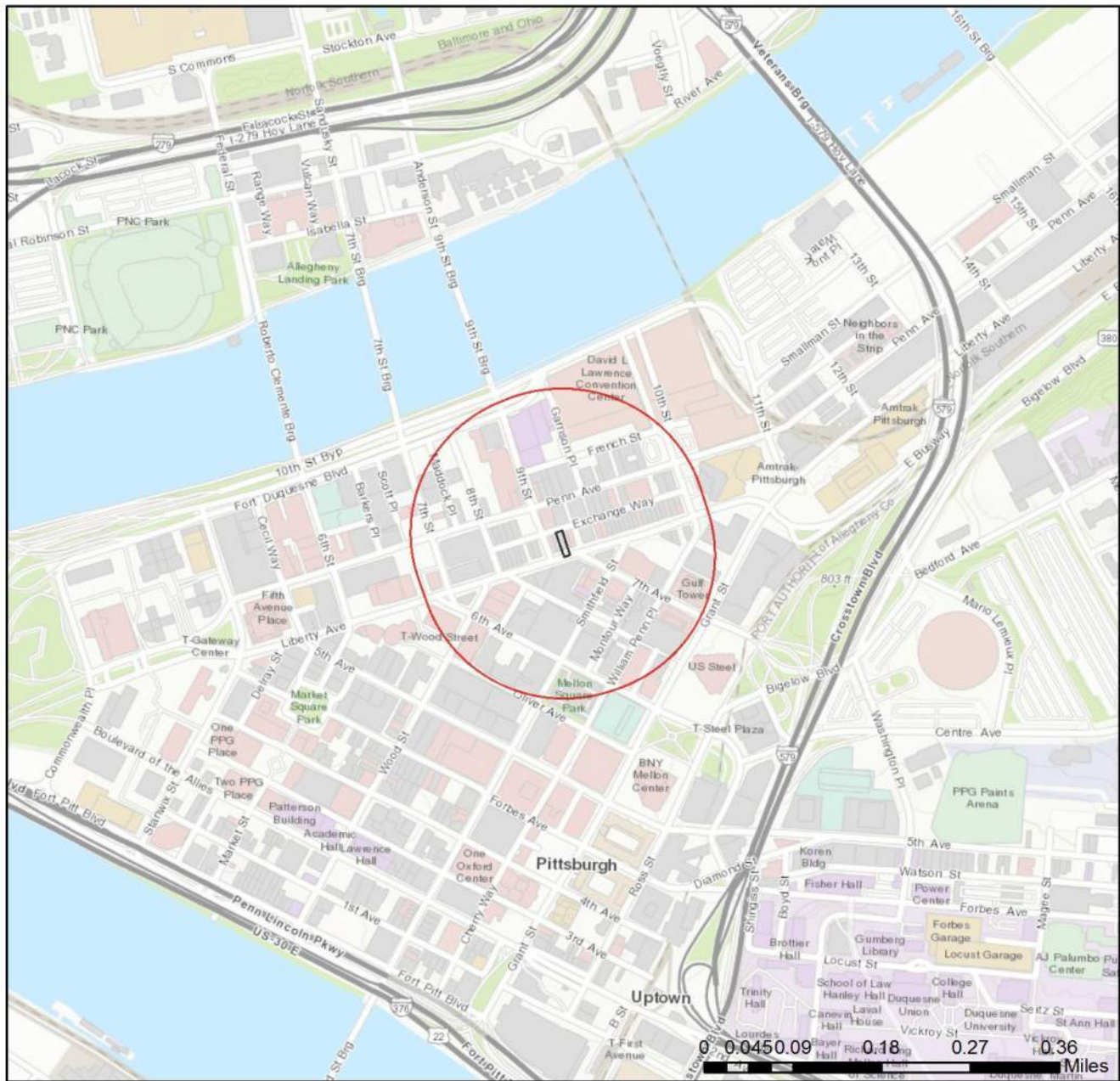


- Project Boundary
- Buffered Project Boundary

Service Layer Credits: Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community
Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community



915 Liberty Avenue Renovations



- Project Boundary
- Buffered Project Boundary

Service Layer Credits: Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community
 Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS,



RESPONSE TO QUESTION(S) ASKED

Q1: Select the statement below that accurately describes where the proposed project and project-associated activities will occur. "Project" includes all features of the project (including buildings, roads, utility lines, outfall and intake structures, wells, stormwater retention/detention basins, parking lots, driveways, lawns, etc.), as well as all associated impacts (e.g., temporary staging areas, work areas, temporary road crossings, areas subject to grading or clearing, etc.).

Your answer is: All project activities will occur in or on an existing building, parking lot, driveway, road, road shoulder, street, runway, paved area, or railroad bed.

Q2: Describe how wastewater (effluent) will be handled (select one). For the purpose of this question, wastewater/effluent does not include stormwater runoff. If the project involves solely the renewal or modification of an existing discharge permit (e.g., NPDES permit), select from options 3, 4, 5, or 6 below.

Your answer is: This project/activity (including construction, maintenance, and operation of the completed project) will not generate any wastewater/effluent; therefore, none will be discharged.

Q3: Select the statement below that accurately describes where the proposed project and project-associated activities will occur. "Project" includes all features of the project (including buildings, roads, utility lines, outfall and intake structures, wells, stormwater retention/detention basins, parking lots, driveways, lawns, etc.), as well as all associated impacts (e.g., temporary staging areas, work areas, temporary road crossings, areas subject to grading or clearing, etc.).

Your answer is: All project activities will occur in or on an existing building, parking lot, driveway, road, road shoulder, street, runway, paved area, or railroad bed.

3. AGENCY COMMENTS

Regardless of whether a DEP permit is necessary for this proposed project, any potential impacts to threatened and endangered species and/or special concern species and resources must be resolved with the appropriate jurisdictional agency. In some cases, a permit or authorization from the jurisdictional agency may be needed if adverse impacts to these species and habitats cannot be avoided.

These agency determinations and responses are **valid for two years** (from the date of the review), and are based on the project information that was provided, including the exact project location; the project type, description, and features; and any responses to questions that were generated during this search. If any of the following change: 1) project location, 2) project size or configuration, 3) project type, or 4) responses to the questions that were asked during the online review, the results of this review are not valid, and the review must be searched again via the PNDI Environmental Review Tool and resubmitted to the jurisdictional agencies. The PNDI tool is a primary screening tool, and a desktop review may reveal more or fewer impacts than what is listed on this PNDI receipt. The jurisdictional agencies **strongly advise against** conducting surveys for the species listed on the receipt prior to consultation with the agencies.

PA Game Commission

RESPONSE:

Further review of this project is necessary to resolve the potential impact(s). Please send project information to this agency for review (see WHAT TO SEND).

PGC Species: (Note: The Pennsylvania Conservation Explorer tool is a primary screening tool, and a desktop review may reveal more or fewer species than what is listed below.)

| Scientific Name | Common Name | Current Status |
|------------------|------------------|----------------|
| Falco peregrinus | Peregrine Falcon | Threatened |

PA Department of Conservation and Natural Resources

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

PA Fish and Boat Commission

RESPONSE:

Conservation Measure: The natural flow regime and water quality in this watershed are important to maintaining habitats occupied by rare fish and mussels. PFBC recommends that you take measures to maintain a natural flow regime, high water quality, and quantity. Maintenance or restoration of the riparian corridor will aid in connecting habitats and improving water quality and quantity for fish and mussels. PFBC recommends retaining (or restoring, if not already present) a riparian buffer (100 to 300 feet, if possible) on each side of the waterway (river, stream, creek). This buffer should be vegetated with native plant species. When adequately vegetated, this upland buffer will act to stabilize the streambanks (preventing or minimizing erosion), and filter pollutants (e.g., sediment, fertilizers, pesticides, road salt, oil). Where streambanks have become badly eroded (e.g., due to previous removal of native riparian vegetation), streambank fencing and/or bioengineering restoration techniques are recommended (geotextile, root wads, vegetative stabilization), rather than riprapping the streambanks; removing gravel bars; or attempting to dredge, ditch, channelize, or widen the stream. Use stringent erosion and sedimentation controls before, during, and after project implementation to ensure that sediment and contaminants do not enter any waterway(s) (rivers, creeks, streams, tributaries) or waterbodies (lakes, ponds).

PFBC Species: (Note: The Pennsylvania Conservation Explorer tool is a primary screening tool, and a desktop review may reveal more or fewer species than what is listed below.)

| Scientific Name | Common Name | Current Status |
|-------------------|--------------------|--------------------------|
| Leptodea fragilis | Fragile Papershell | Special Concern Species* |
| Quadrula quadrula | Mapleleaf | Special Concern Species* |

U.S. Fish and Wildlife Service

RESPONSE:

Conservation Measure: Voluntary implementation of the following recommendations will contribute to the conservation and recovery of endangered and threatened species. -- In order to maintain or improve water quality for endangered aquatic species, retain (or restore, if not already present) a 100- to 300-foot wide buffer on each side of the waterway (river, stream, creek) or waterbody (lake). Avoid construction, earth disturbance, and chemical application in this buffer. The buffer should be vegetated with native plant species. When adequately vegetated, this upland buffer will act to stabilize the streambanks (preventing or minimizing erosion), and filter pollutants (e.g., sediment, fertilizers, pesticides, road salt, oil). Where streambanks have become badly eroded (e.g., due to removal of native riparian vegetation), streambank fencing and/or bioengineering restoration techniques are recommended (geotextile, root wads, vegetative stabilization), rather than riprapping the streambanks; removing gravel bars; or attempting to dredge, ditch, channelize, or widen the stream.

* Special Concern Species or Resource - Plant or animal species classified as rare, tentatively undetermined or candidate as well as other taxa of conservation concern, significant natural communities, special concern populations (plants or animals) and unique geologic features.

** Sensitive Species - Species identified by the jurisdictional agency as collectible, having economic value, or being susceptible to decline as a result of visitation.

WHAT TO SEND TO JURISDICTIONAL AGENCIES

If project information was requested by one or more of the agencies above, upload* or email* the following information to the agency(s). Instructions for uploading project materials can be found [here](#). This option provides the applicant with the convenience of sending project materials to a single location accessible to all three state agencies. Alternatively, applicants may email or mail their project materials (see AGENCY CONTACT INFORMATION).

***Note:** U.S.Fish and Wildlife Service requires applicants to mail project materials to the USFWS PA field office (see AGENCY CONTACT INFORMATION). USFWS will not accept project materials submitted electronically (by upload or email).

Check-list of Minimum Materials to be submitted:

___ Project narrative with a description of the overall project, the work to be performed, current physical characteristics of the site and acreage to be impacted.

___ A map with the project boundary and/or a basic site plan (particularly showing the relationship of the project to the physical features such as wetlands, streams, ponds, rock outcrops, etc.)

In addition to the materials listed above, USFWS REQUIRES the following

___ **SIGNED** copy of a Final Project Environmental Review Receipt

The inclusion of the following information may expedite the review process.

___ Color photos keyed to the basic site plan (i.e. showing on the site plan where and in what direction each photo was taken and the date of the photos)

___ Information about the presence and location of wetlands in the project area, and how this was determined (e.g., by a qualified wetlands biologist), if wetlands are present in the project area, provide project plans showing the location of all project features, as well as wetlands and streams.

4. DEP INFORMATION

The Pa Department of Environmental Protection (DEP) requires that a signed copy of this receipt, along with any required documentation from jurisdictional agencies concerning resolution of potential impacts, be submitted with applications for permits requiring PNDI review. Two review options are available to permit applicants for handling PNDI coordination in conjunction with DEP's permit review process involving either T&E Species or species of special concern. Under sequential review, the permit applicant performs a PNDI screening and completes all coordination with the appropriate jurisdictional agencies prior to submitting the permit application. The applicant will include with its application, both a PNDI receipt and/or a clearance letter from the jurisdictional agency if the PNDI Receipt shows a Potential Impact to a species or the applicant chooses to obtain letters directly from the jurisdictional agencies. Under concurrent review, DEP, where feasible, will allow technical review of the permit to occur concurrently with the T&E species consultation with the jurisdictional agency. The applicant must still supply a copy of the PNDI Receipt with its permit application. The PNDI Receipt should also be submitted to the appropriate agency according to directions on the PNDI Receipt. The applicant and the jurisdictional agency will work together to resolve the potential impact(s). See the DEP PNDI policy at <https://conservationexplorer.dcnr.pa.gov/content/resources>.

5. ADDITIONAL INFORMATION

The PNDI environmental review website is a preliminary screening tool. There are often delays in updating species status classifications. Because the proposed status represents the best available information regarding the conservation status of the species, state jurisdictional agency staff give the proposed statuses at least the same consideration as the current legal status. If surveys or further information reveal that a threatened and endangered and/or special concern species and resources exist in your project area, contact the appropriate jurisdictional agency/agencies immediately to identify and resolve any impacts.

For a list of species known to occur in the county where your project is located, please see the species lists by county found on the PA Natural Heritage Program (PNHP) home page (www.naturalheritage.state.pa.us). Also note that the PNDI Environmental Review Tool only contains information about species occurrences that have actually been reported to the PNHP.

6. AGENCY CONTACT INFORMATION

PA Department of Conservation and Natural Resources

Bureau of Forestry, Ecological Services Section
400 Market Street, PO Box 8552
Harrisburg, PA 17105-8552
Email: RA-HeritageReview@pa.gov

U.S. Fish and Wildlife Service

Pennsylvania Field Office
Endangered Species Section
110 Radnor Rd; Suite 101
State College, PA 16801
NO Faxes Please

PA Fish and Boat Commission

Division of Environmental Services
595 E. Rolling Ridge Dr., Bellefonte, PA 16823
Email: RA-FBPACENOTIFY@pa.gov

PA Game Commission

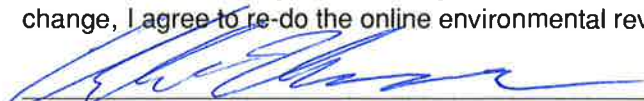
Bureau of Wildlife Habitat Management
Division of Environmental Planning and Habitat Protection
2001 Elmerton Avenue, Harrisburg, PA 17110-9797
Email: RA-PGC_PNDI@pa.gov
NO Faxes Please

7. PROJECT CONTACT INFORMATION

Name: Andrew Ungarino, E.I.T.
Company/Business Name: The Gateway Engineers, Inc.
Address: 100 McMorris Road
City, State, Zip: Pittsburgh, PA 15205
Phone: (412) 921 4030 x108 Fax: (412) 921 9960
Email: Aungarino@gatewayengineers.com

8. CERTIFICATION

I certify that ALL of the project information contained in this receipt (including project location, project size/configuration, project type, answers to questions) is true, accurate and complete. In addition, if the project type, location, size or configuration changes, or if the answers to any questions that were asked during this online review change, I agree to re-do the online environmental review.


applicant/project proponent signature

12-16-2019
date



COMMONWEALTH OF PENNSYLVANIA PENNSYLVANIA GAME COMMISSION

2001 Elmerton Avenue
Harrisburg, PA 17110-9797

Wildlife Habitat Management
(717) 787-6818

December 16, 2019

Mr. Andrew Ungarino
The Gateway Engineers
100 McMorris Road
Pittsburgh, Pennsylvania 15205
aungarino@gatewayengineers.com

PNDI Receipt File: *project_receipt_915_liberty_avenue_renova_692760_FINAL_2.pdf*
Re: 915 Liberty Avenue Renovations
City of Pittsburgh, Allegheny County, Pennsylvania

Dear Mr. Ungarino,

Thank you for submitting Pennsylvania Natural Diversity Inventory (PNDI) Environmental Review Receipt *project_receipt_915_liberty_avenue_renova_692760_FINAL_2.pdf* for review. The Pennsylvania Game Commission (PGC) screened this project for potential impacts to species and resources of concern under PGC responsibility, which includes birds and mammals only.

No Impact Anticipated

PNDI records indicate species or resources of concern are located within the vicinity of the project. However, based on the information you submitted concerning the nature of the project, the immediate location, and our detailed resource information, the PGC has determined that no impact is likely. Therefore, no further coordination with the PGC will be necessary for this project at this time.

This response represents the most up-to-date summary of the PNDI data files and is valid for two (2) years from the date of this letter. An absence of recorded information does not necessarily imply actual conditions on site. Should project plans change or additional information on listed or proposed species become available, this determination may be reconsidered.

Should the proposed work continue beyond the period covered by this letter, please resubmit the project to this agency as an "Update" (including an updated PNDI receipt, project narrative and accurate map). If the proposed work has not changed and no additional information concerning listed species is found, the project will be cleared for PNDI requirements under this agency for two additional years.

This finding applies to impacts to birds and mammals only. To complete your review of state and federally-listed threatened and endangered species and species of special concern, please be sure that the U.S. Fish and Wildlife Service, the PA Department of Conservation and Natural

Resources, and/or the PA Fish and Boat Commission have been contacted regarding this project as directed by the online PNDI ER Tool found at www.naturalheritage.state.pa.us.

Sincerely,



Olivia A. Braun
Environmental Planner
Division of Environmental Planning & Habitat Protection
Bureau of Wildlife Habitat Management
Phone: 717-787-4250, Extension 73128
Fax: 717-787-6957
E-mail: Olbraun@pa.gov

A PNHP Partner



OAB/oab

cc: File

EXHIBIT K.

Alternatives Analysis

Alternatives Analysis
For
Maginn Building Lofts
915 Liberty Avenue
City of Pittsburgh, Allegheny County

The proposed short-term and long-term ultimate method of sanitary sewer conveyance and treatment of the 3,038 GPD sewage flow from the Maginn Building Lofts multi-unit residential condominium complex project will involve the use of an existing sanitary sewer lateral, owned and maintained by the property owner, connecting into the 15” PWSA combination sewer system located in Exchange Way. This PWSA sewer system connects into ALCOSAN’s Allegheny River Interceptor Sewer at the A-11 Regulator Structure and sewage flows via gravity to ALCOSAN’s Woods Run Treatment Plant.

The project site and adjacent properties are located within the Golden Triangle District in the City of Pittsburgh. The properties directly adjacent to this parcel include a parking lot and commercial building for sale. All buildings surrounding the project site utilize the existing PWSA sewer system as their ultimate sewage disposal conveyance system and the Woods Run Treatment Plant as their ultimate sewage treatment method due to the dense nature of the urbanized area.

There are no feasible sewage disposal alternatives because access to the public sewer system is available, and the proposed building encompasses the entire property. If public sewers were not available, sewage could be temporarily stored using on-site holding tanks and trucked to an off-site facility; however, this alternative is not permissible as a long-term disposal solution according to 25 Pa. Code §71.63(c) because the proposed flow exceeds 800 GPD. Additionally, an on-lot treatment system cannot be utilized because there is no available area to install a system that would be able to treat sewage generated by the facility. Finally, there are no streams located on or near the project site; therefore, a stream discharge system cannot be used to dispose of the building’s sewage.

EXHIBIT L.

Component 4A – Municipal Planning Agency Review



**SEWAGE FACILITIES PLANNING MODULE
 COMPONENT 4A - MUNICIPAL PLANNING AGENCY REVIEW**

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning module package and one copy of this *Planning Agency Review Component* should be sent to the local municipal planning agency for their comments.

SECTION A. PROJECT NAME (See Section A of instructions)

Project Name
Maginn Building Lofts

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by municipal planning agency 1/24/2022
2. Date review completed by agency 1/27/2022

SECTION C. AGENCY REVIEW (See Section C of instructions)

| Yes | No | |
|-------------------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 1. Is there a municipal comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101, <i>et seq.</i>)? |
| <input type="checkbox"/> | N/A <input type="checkbox"/> | 2. Is this proposal consistent with the comprehensive plan for land use? If no, describe the inconsistencies _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 3. Is this proposal consistent with the use, development, and protection of water resources? If no, describe the inconsistencies _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 4. Is this proposal consistent with municipal land use planning relative to Prime Agricultural Land Preservation? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 5. Does this project propose encroachments, obstructions, or dams that will affect wetlands? If yes, describe impacts _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6. Will any known historical or archaeological resources be impacted by this project? If yes, describe impacts _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 7. Will any known endangered or threatened species of plant or animal be impacted by this project? If yes, describe impacts _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 8. Is there a municipal zoning ordinance? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 9. Is this proposal consistent with the ordinance? If no, describe the inconsistencies _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 10. Does the proposal require a change or variance to an existing comprehensive plan or zoning ordinance? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 11. Have all applicable zoning approvals been obtained? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 12. Is there a municipal subdivision and land development ordinance? |

SECTION C. AGENCY REVIEW (continued)

- | Yes | No | |
|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 13. Is this proposal consistent with the ordinance? If no, describe the inconsistencies _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 14. Is this plan consistent with the municipal Official Sewage Facilities Plan? If no, describe the inconsistencies _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 15. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality? If yes, describe _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16. Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision? |
| <input type="checkbox"/> | <input type="checkbox"/> | If yes, is the proposed waiver consistent with applicable ordinances? If no, describe the inconsistencies _____ |

17. Name, title and signature of planning agency staff member completing this section:
 Name: Kyla Prendergast
 Title: Senior Environmental Planner
 Signature: *Kyla Prendergast*
 Date: 1/27/2022
 Name of Municipal Planning Agency: City of Pittsburgh Department of City Planning
 Address 200 Ross Street 4th Floor, Pittsburgh, PA 15219
 Telephone Number: 412-255-2516

SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)

This component does not limit municipal planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The planning agency must complete this component within 60 days.

This component and any additional comments are to be returned to the applicant.

EXHIBIT M.

Component 4C – Allegheny County Health Department Review

COUNTY OF



ALLEGHENY

RICH FITZGERALD
COUNTY EXECUTIVE

January 24, 2022

Kelley R. Harrington, E.I.T.
The Gateway Engineers, Inc.
100 McMorris Road
Pittsburgh, PA 15205

**RE: SEWAGE FACILITIES PLANNING MODULE; ALLEGHENY COUNTY
Maginn Building Lots (915 Liberty Avenue Renovations, City of Pittsburgh)**

Dear Ms. Harrington:

Enclosed is a signed copy of Component 4C, County or Joint County Health Department Review, for the above-referenced development. This Planning Module Component was received on January 21, 2022. The project proposes the following:

| | |
|---------------------------------|--|
| Project Description: | Maginn Building Lots (915 Liberty Avenue Renovations). Proposing renovations to the existing warehouse/manufacturing building (Block 9-N, Lots 8) into a residential condominium complex consisting of seven (7) 2-bedroom units and four (4) 1-bedroom units as well as a first-floor retail space and accompanying bathroom located in the City of Pittsburgh, Allegheny County. |
| Sewage Flow: | 3,038 GPD |
| Conveyance: | The flow from this site will be conveyed to the Pittsburgh Water and Sewer Authority (PWSA) collection system to the ALCOSAN POC A-11 to the Allegheny River interceptor and then to the ALOSAN Treatment Plant at Woods Run. |
| Sewer's Owner: | PWSA (collection) and ALCOSAN (interceptor) |
| Name of Sewage Treatment Plant: | ALCOSAN |

Please be advised that a permit must be obtained from the Allegheny County Health Department's (ACHD) Plumbing Section prior to commencing any plumbing work for the proposed project. Plumbing work for which an ACHD Plumbing Permit must be obtained includes any plumbing work done on the site and any sewers, which will not be owned and operated by a municipality or a sewer authority.



KAREN HACKER, MD, MPH, DIRECTOR
ALLEGHENY COUNTY HEALTH DEPARTMENT

WATER POLLUTION CONTROL & SOLID WASTE MANAGEMENT
3901 PENN AVENUE • BUILDING 5 • PITTSBURGH, PA 15224-1318
PHONE: 412.578.8040 • FAX: 412.578.8053 • WWW.ACHD.NET



Kelley R. Harrington, E.I.T.
January 24, 2022
Page 2

In addition, it should be noted that the approval of this sewage facilities planning module does not include approval of pipe size and/or type. Approval for pipe size and/or type must be obtained by filing a specific plumbing plan with the ACHD's Plumbing Section. If you should have any questions relative to ACHD's plumbing requirements, Drew Grese, Acting Plumbing Chief at 412-578-8055.

The ACHD has no objection to the approval of this project. If you have any questions, please call me at 412-578-8046.

Sincerely,

A handwritten signature in blue ink, appearing to read "Freddie Fields", is shown on a light-colored background.

Freddie Fields, M.B.A.
Environmental Health Engineer III
Water Pollution Control & Solid Waste Management

FF/cb
Enclosure

cc: Thomas Flanagan, PA Department of Environmental Protection w/attachment (electrically)
Drew Grese, ACHD w/attachment (electronically)

**SEWAGE FACILITIES PLANNING MODULE
 COMPONENT 4C - COUNTY OR JOINT HEALTH DEPARTMENT REVIEW**

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning module package and one copy of this *Planning Agency Review Component* should be sent to the county or joint county health department for their comments.

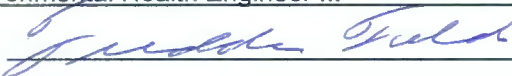
SECTION A. PROJECT NAME (See Section A of instructions)

Project Name
Maginn Building Lots (915 Liberty Avenue Renovations)

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by county or joint county health department January 21, 2022
 Agency name Allegheny County Health Department (ACHD)
2. Date review completed by agency January 24, 2022

SECTION C. AGENCY REVIEW (See Section C of instructions)

| Yes | No | |
|-------------------------------------|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 1. Is the proposed plan consistent with the municipality's Official Sewage Facilities Plan? If no, what are the inconsistencies? _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 2. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality? If yes, describe _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 3. Is there any known groundwater degradation in the area of this proposal? If yes, describe _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 4. The county or joint county health department recommendation concerning this proposed plan is as follows: <u>ACHD recommends approval. See attached letter.</u> |
| | | 5. Name, title and signature of person completing this section: Name: <u>Freddie Fields</u> Title: <u>Environmental Health Engineer III</u> Signature: <u></u> Date: <u>January 24, 2022</u> Name of County Health Department: <u>ACHD</u> Address: <u>3901 Penn Avenue, Building #5, Pittsburgh, PA 15224-1318</u> Telephone Number: <u>412-578-8046</u> |

SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)

This component does not limit county planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The county planning agency must complete this component within 60 days.
 This component and any additional comments are to be returned to the applicant.