

**PROJECT NARRATIVE**

**NORTH AIKEN DUPLEXES  
227-229, 231-231½ NORTH AIKEN AVE  
10<sup>th</sup> WARD, CITY OF PITTSBURGH  
ALLEGHENY COUNTY, PENNSYLVANIA**

*Prepared for:*

**ODIE'S DEVELOPMENT GROUP  
5150 PENN AVE #300  
PITTSBURGH, PENNSYLVANIA 15224**

*Prepared by:*

**KU RESOURCES, INC.  
22 SOUTH LINDEN STREET  
DUQUESNE, PENNSYLVANIA 15110**

**JULY 2021**

## DESCRIPTION OF PROPOSED DEVELOPMENT

Odie's development group is developing a lot at parcel numbers 50-M-35 & 50-M-37 located in the 10<sup>th</sup> Ward of the City of Pittsburgh, Allegheny County, Pennsylvania. The proposed development will include construction of two (2), 3-story duplexes.

The site is located at 227-229, 231-231½ North Aiken Ave in the Garfield neighborhood of the City of Pittsburgh. See Figure 1 for the Site Location Map and the Existing Conditions Plan. Two duplexes are proposed for construction, each duplex having two units for a total of four units.

According to the Federal Emergency Management Agency, the subject project area does not lie within the regulated floodplain. The existing utilities include a 15-inch combo sewer in North Aiken Ave and 12-inch water line located in North Aiken Avenue.

## EXISTING SANITARY FLOWS

The site is currently a vacant lot and does not have any existing sanitary flows.

## PROPOSED SANITARY FLOWS

All sanitary lines will connect into the existing 15-inch combo sewer line in North Aiken Ave.

The daily sanitary flow estimate was determined by applying PA DEP Code Chapter 73.17 Sanitary Sewage Flow Estimates for the following types of establishments:

- Duplex – 400 gpd/unit

Effluent will ultimately be sent to the Allegheny County Sanitation Authority (ALCOSAN). See the attached Pittsburgh Water and Sewer Authority (PWSA) Sewer System map with the route to ALCOSAN highlighted.

The daily projected sanitary flows are computed as follows (please refer to architectural drawings for floor areas of respective uses):

### 1<sup>st</sup> Duplex

2 units x 400 gpd/unit = **800 gpd**

### 2<sup>nd</sup> Duplex

2 units x 400 gpd/unit = **800 gpd**

**Total = 1,600 gpd (4 EDU's)**

**Based on a comparison of previous and proposed flows, a PADEP Planning Module is anticipated to be required.**

### **STORMWATER CONVEYANCE**

Stormwater management is not needed at this site as 5,000 sf on new impervious surface nor 10,000 sf of land disturbance is proposed. Stormwater will be routed via roof leader connections and tied into the existing sanitary lateral within 5' of the existing combined sewer.

Pre-development Storm Flows:

$$Q = CIA = 0.7(3.89)(0.11) = 0.30 \text{ cfs}$$

Post-development Storm Flows:

$$Q = CIA = 0.95(3.89)(0.11) = 0.40 \text{ cfs}$$

### **ALTERNATIVE SEWAGE FACILITIES ANALYSIS**

1. Describe the chosen disposal method, its location, the daily flow proposed and if the method is an interim method (to be replaced by the ultimate method in 5 years or less), or is an ultimate method (to serve the development in the long term, for 5 years or more). Provide a description of how the chosen method will provide compliance with effluent limitations. Also provide the number of lots or EDU's that will be served.

ALCOSAN Treatment Facility. Credit for previous flows have not been considered, therefore there are 4.00 new EDUs.

2. Describe the types of land uses adjacent to the project area (Agricultural, Residential, Commercial etc.) and the type of sewage disposal method serving each of those land uses. Properties adjacent to the project must be described by indicating present land uses and zoning designations. Describe the sewage disposal methods being used for each of those adjacent land uses (onlot, municipal treatment, etc.) and if those methods are intended for interim or ultimate use.

The adjacent land uses are a mix of residential and commercial. Sanitary flows from the existing location ultimately flow into the same interceptor.

3. Indicate if the sewage facilities described in (2) are in need of improvement due to noncompliance with effluent limitations, high rates of on-lot malfunction or overloaded public sewers. Is there a potential for a combined public/private project?

No potential for combined public/private project.

4. Determine and indicate what sewage disposal method is proposed for the development area in the municipality's Official Sewage Facilities Plan (such as: on-lot disposal systems, public sewers, etc.).

Public sewers (ALCOSAN).

5. Describe any existing sewage management program(s) in the area, and/or any sewage management program(s) that this project would be required to participate in, and that program's requirements.

ALCOSAN's Wet Weather Plan (WWP).

6. Describe any potential alternative sewage disposal methods that are available for the project. Consider all reasonable possibilities for sewage disposal, such as a stream discharge or an alternate method of land disposal. The municipality, delegated local agency or DEP may also require consideration of particular types of sewage disposal methods in the analysis. The chosen method must assure that applicable water quality standards are attained.

None.

7. Describe why the proposed method was chosen over any of the other methods described in the alternatives analysis. Environmental, administrative, and financial concerns may be addressed. Also indicate how the chosen method will guarantee adequate sewage disposal, including compliance with applicable water quality standards and effluent limitations, for the development in both the short-term (up to 5 years) and long-term (beyond 5 years) by describing the adequacy of the proposed facilities (organic and hydraulic loading) and the ability of the facility to accept additional flows or loads.

NA

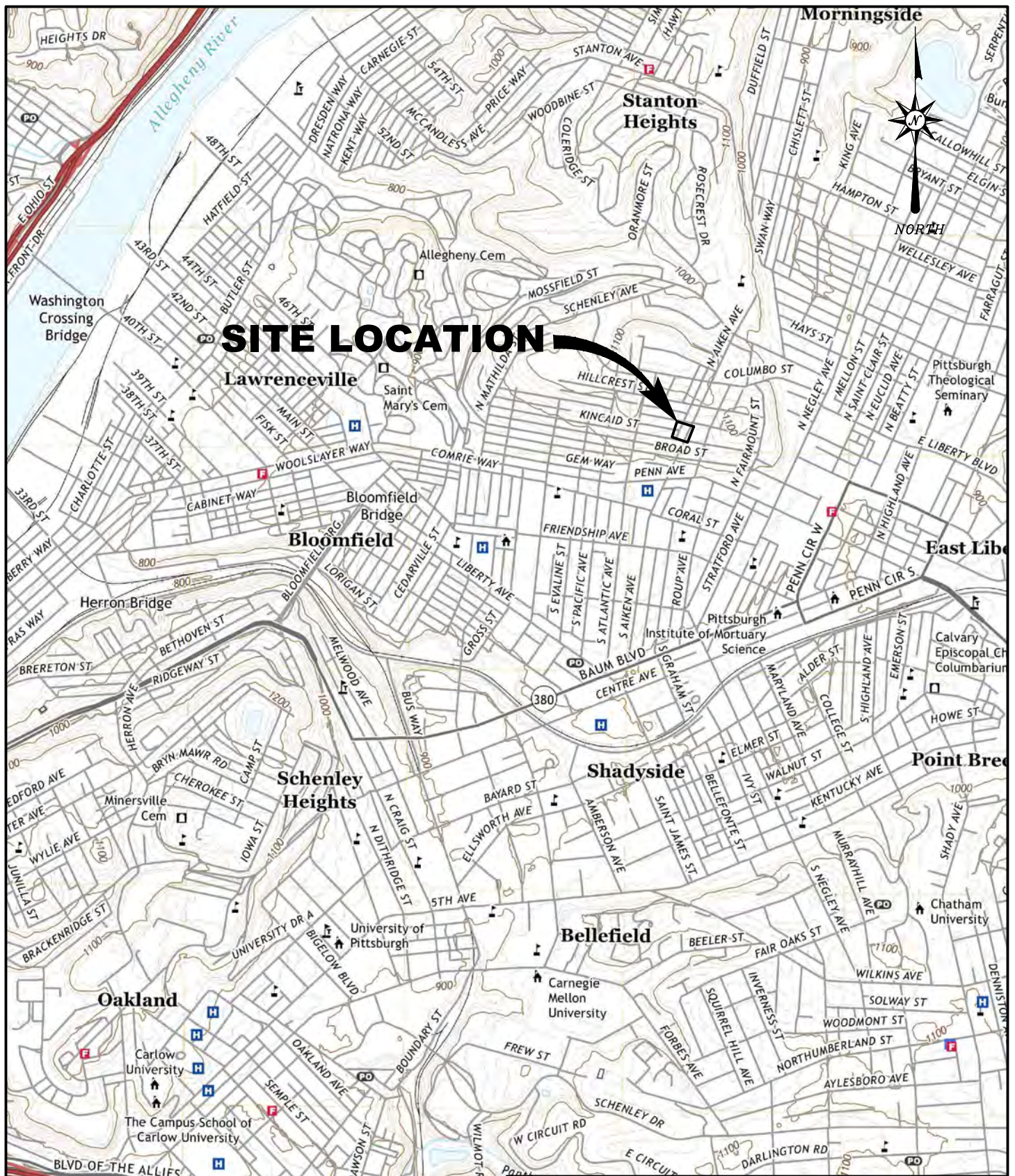
8. Indicate who will be the owner of the facility, and who will be responsible for operation and maintenance of the facility and ultimately compliance with applicable water quality standards and effluent limitations.

Public sewers (ALCOSAN).

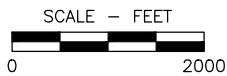
9. Finally, the applicant may use the narrative to describe any special considerations or provide any additional information that supports the choice of disposal method. The alternatives analysis must be attached to the planning module package for review by the municipality and approving agency.

NA





REFERENCE:  
 USGS 7.5-MIN TOPOGRAPHIC  
 QUADRANGLE PITTSBURGH EAST,  
 PENNSYLVANIA, DATED 2019.



APPROVED	RLS 05/11/2021
CHECKED	RLS 05/11/2021
DRAWN	APB 05/11/2021
CAD FILE NO.	21087A001
PROJECT NO.	CIST21087NAA



**KU Resources, Inc.**  
 22 South Linden Street  
 Duquesne, PA 15110  
 412.469.9331  
 412.469.9336 fax  
[www.kuresources.com](http://www.kuresources.com)

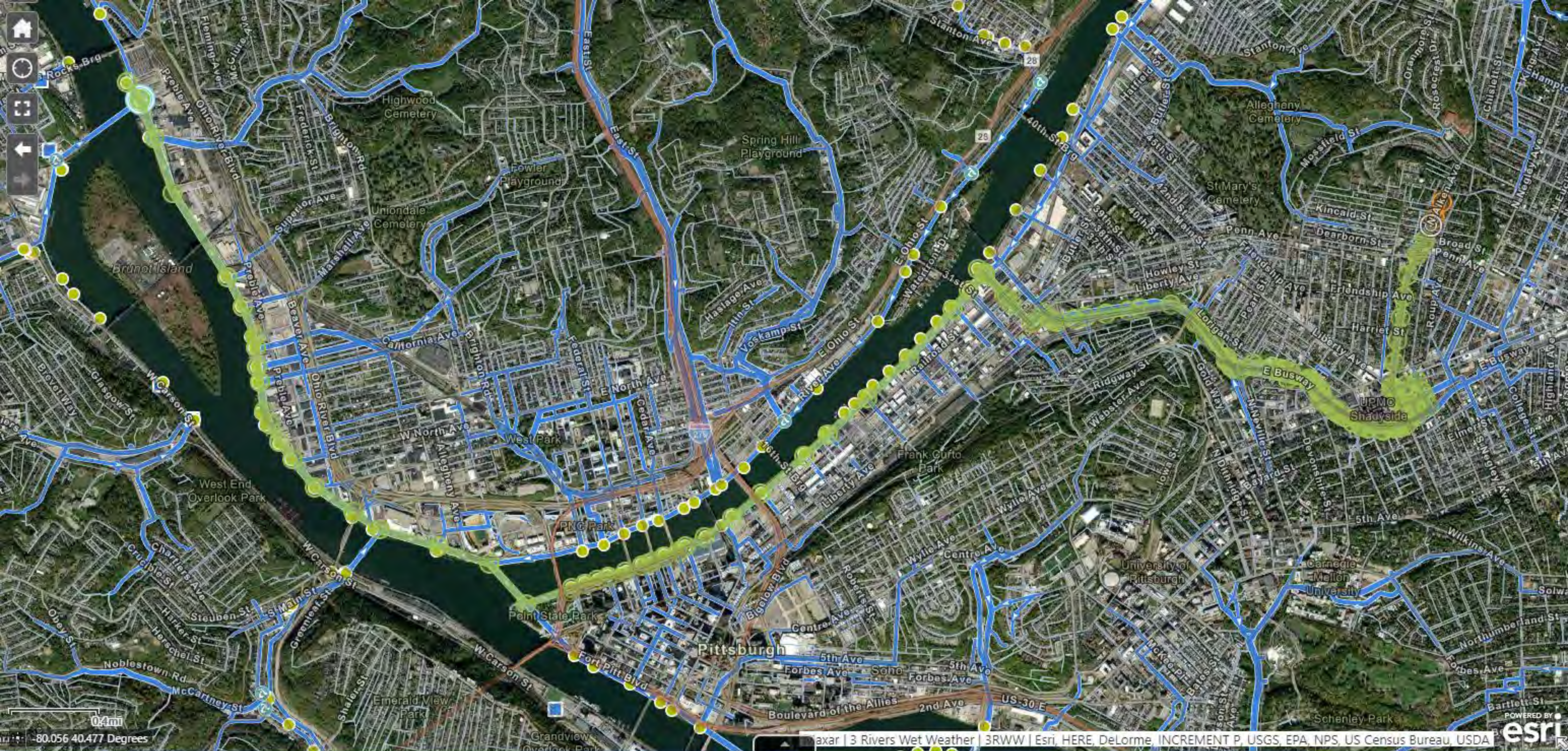
FIGURE 1

SITE LOCATION MAP  
 NORTH AIKEN DUPLEXES

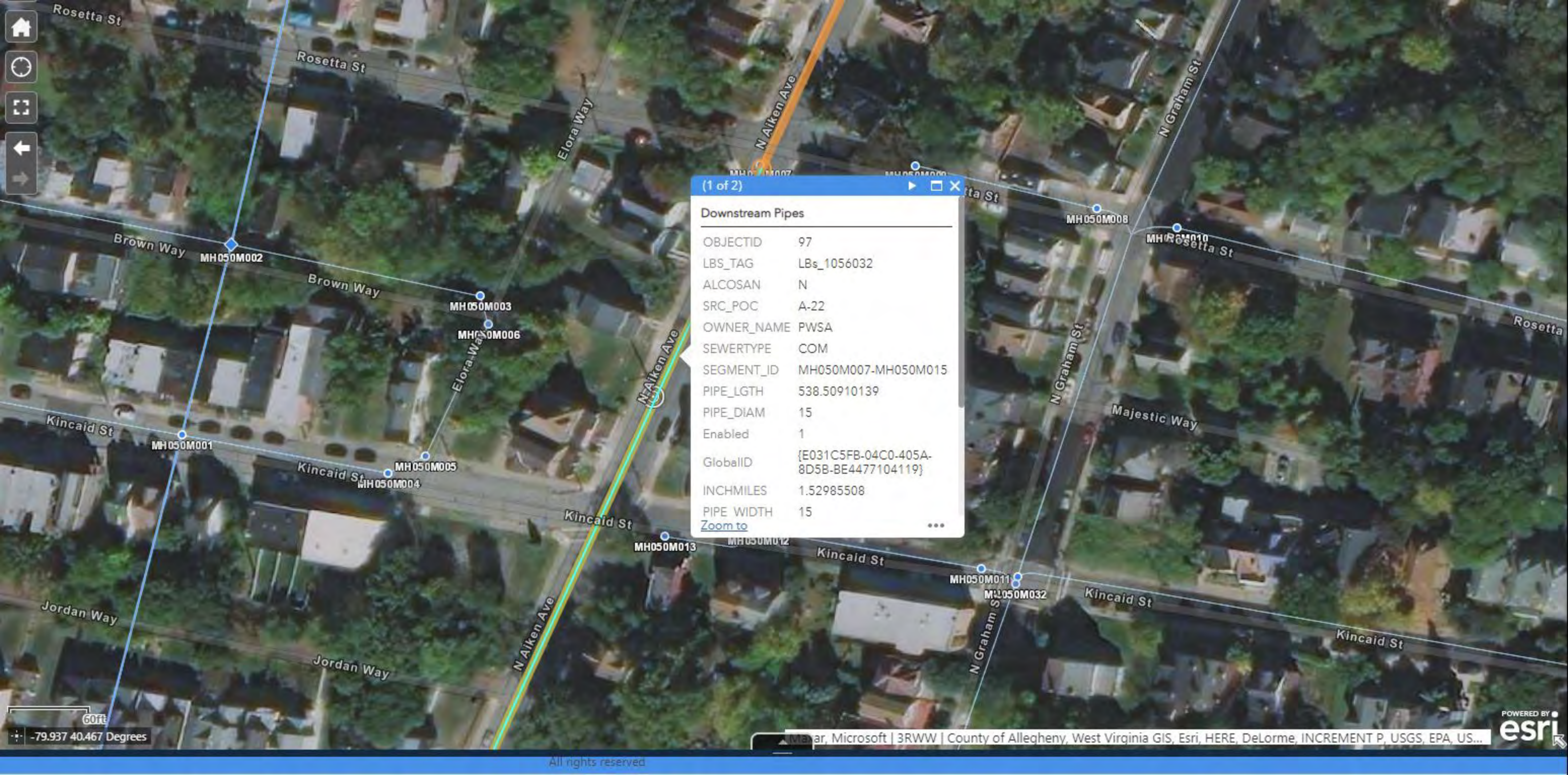
NORTH AIKEN AVE  
 ALLEGHENY COUNTY, PENNSYLVANIA

PREPARED FOR  
 ODIE'S DEVELOPMENT COMPANY  
 PITTSBURGH, PENNSYLVANIA









(1 of 2)

**Downstream Pipes**

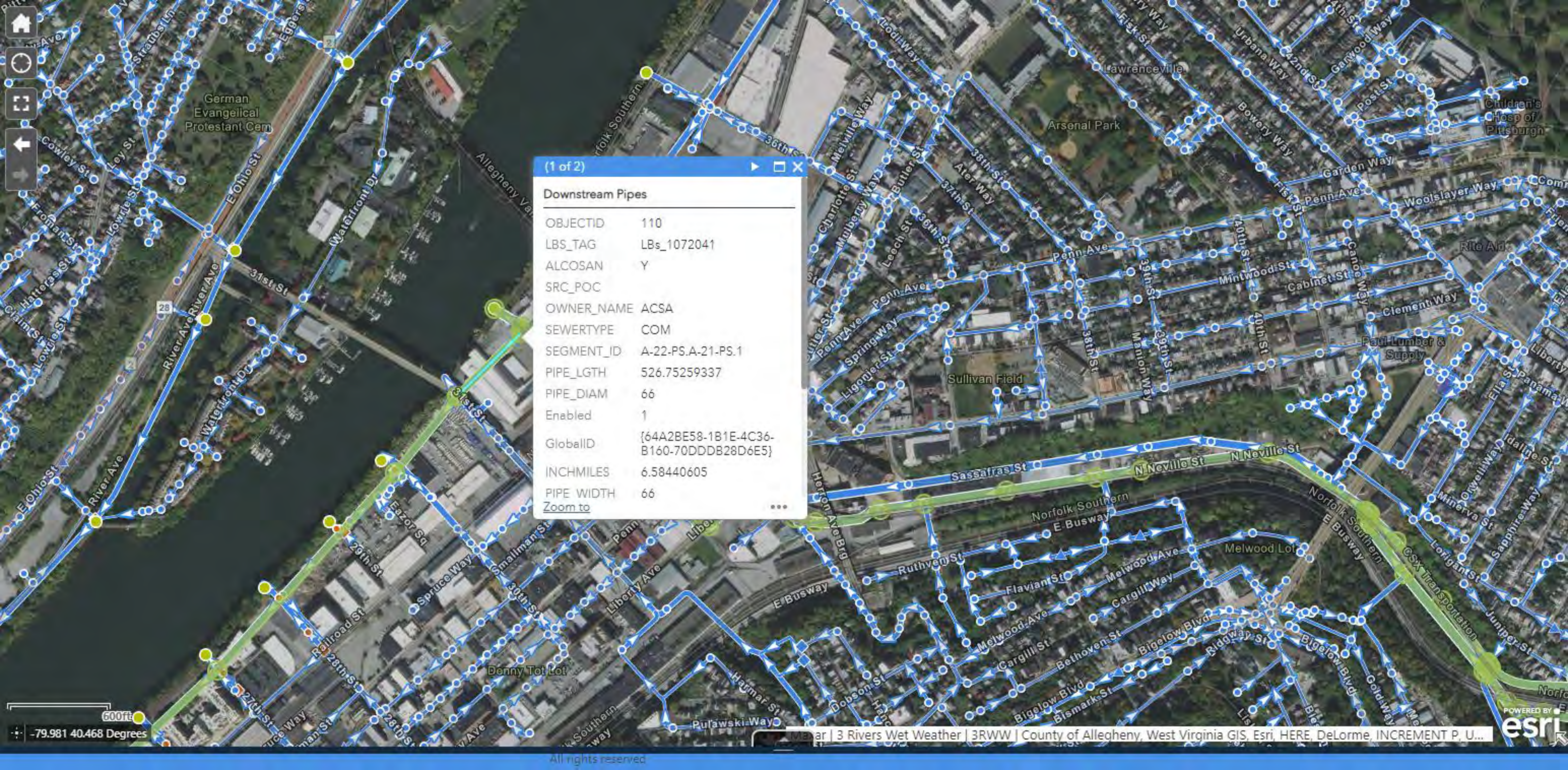
OBJECTID	97
LBS_TAG	LBs_1056032
ALCOSAN	N
SRC_POC	A-22
OWNER_NAME	PWSA
SEWERTYPE	COM
SEGMENT_ID	MH050M007-MH050M015
PIPE_LGTH	538.50910139
PIPE_DIAM	15
Enabled	1
GlobalID	{E031C5FB-04C0-405A-8D5B-BE4477104119}
INCHMILES	1.52985508
PIPE_WIDTH	15

[Zoom to](#) ...

60ft  
-79.937 40.467 Degrees







(1 of 2)

### Downstream Pipes

OBJECTID	110
LBS_TAG	LBs_1072041
ALCOSAN	Y
SRC_POC	
OWNER_NAME	ACSA
SEWERTYPE	COM
SEGMENT_ID	A-22-PS.A-21-PS.1
PIPE_LGTH	526.75259337
PIPE_DIAM	66
Enabled	1
GlobalID	{64A2BE58-1B1E-4C36-B160-70DDDB28D6E5}
INCHMILES	6.58440605
PIPE_WIDTH	66
Zoom to	...

600ft  
-79.981 40.468 Degrees



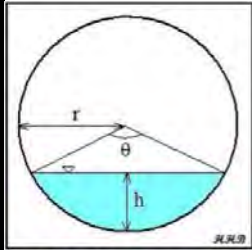


**Sewage Facilities Planning Module**  
**Chapter 94 Consistency Determination**  
**Hydraulic Calculations Spreadsheet for Average Present Flow Measurements**

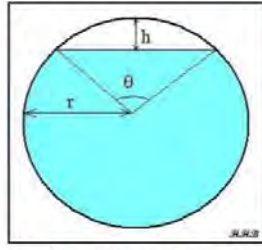
**PROJECT NAME:** North Aiken Duplexes  
**DATE:** August 4, 2021

**LEGEND:** Input Data Output Data

**Section A: Manning Equation for Partially Filled Pipes**



Partially Full Pipe Flow Parameters (Less Than Half Full)



Partially Full Pipe Flow Parameters (More Than Half Full)

Variable	Units	Description
Q	ft <sup>3</sup>	Volumetric flowrate
n	Unitless	Manning Roughness Coeff.
A	ft <sup>2</sup>	Cross-Sectional Area of Flow
R	ft	Hydraulic Radius
S	ft/ft	Slope of Hydraulic Grade Line
P	ft	Wetted Perimeter of "A"
r	ft	Radius
h	ft	Depth of Flow or Headspace
θ	radians	Central Angle

$$Q = \left(\frac{1.49}{n}\right) \times A \times R^{2/3} \times S^{1/2} \qquad R = \frac{A}{P} \qquad \theta = 2 \times \cos^{-1} \left(\frac{r-h}{r}\right)$$

$$A_{<50\% Full} = \frac{r^2(\theta - \sin \theta)}{2} \qquad \text{OR} \qquad A_{>50\% Full} = \pi \times r^2 \times \frac{r^2(\theta - \sin \theta)}{2}$$

$$P_{<50\% Full} = r \times \theta \qquad P_{>50\% Full} = (2 \times \pi \times r) - (r \times \theta)$$

**Section B: Data for Calculations**

Peaking Factor, P.F.	
Sanitary Sewers	3
Combined Sewers	3.5

Proposed Project Flows		
Variable	Value	Units
Q <sub>p</sub>	1,600	gpd

Variable	Value	Units
Material	VCP	
n	0.015	unitless
S	0.097	ft/ft
h	0.520	ft
D	1.25	ft
P.F.	3.5	unitless

**Section C: Calculations for Design and/or Permitted Capacities**

Variable	Description	Definition
Q <sub>d, avg</sub>	Design Capacity, Average	= full pipe flow conditions / peaking factor
Q <sub>d, peak</sub>	Design Capacity, Peak	full pipe flow conditions

Design Capacity, Average		
Variable	Value	Unit

Design Capacity, Peak		
Variable	Value	Unit



$Q_{d, avg}$	3,233,495	gpd
--------------	-----------	-----

D	1.250	ft
r	0.625	ft
A	1.227	ft <sup>2</sup>
P	3.927	ft
R	0.313	ft
$Q_{d, peak}$	18	cfs
$Q_{d, peak}$	11,317,231	gpd

#### Section D: Calculations for Present Flows

Variable	Description	Definition
$Q_{ex, avg}$	Present Flows, Average	existing flow conditions per site investigations
$Q_{ex, peak}$	Present Flows, Peak	= existing flow conditions x peaking factor

Present Flows, Peak		
Variable	Value	Unit
D	1.250	ft
r	0.625	ft
$\theta$	2.80	rad
h/D	0.416	ft/ft
A	0.48	ft <sup>2</sup>
P	1.75	ft
R	0.276	ft
$Q_{ex, avg}$	6	cfs
$Q_{ex, avg}$	4,095,886	gpd

Present Flows, Average		
Variable	Value	Unit
$Q_{ex, peak}$	1,170,253	gpd

#### Section E: Calculations for Projected Flows in Five (5) Years

Variable	Description	Definition
$Q_{proj, avg}$	Projected Flows in Five (5) Years, Average	= $Q_{proj, peak} \div P.F.$
$Q_{proj, peak}$	Projected Flows in Five (5) Years, Peak	= $(Q_{ex, peak} + Q_p) \times 1.05$

Projected Flow Calculations		
Variable	Value	Unit
$Q_{proj, peak}$	4,306,561	gpd
$Q_{proj, avg}$	1,230,446	gpd

#### Section F: Results

Variable	gpd
$Q_{d, avg}$	3,233,495
$Q_{d, peak}$	11,317,231
$Q_{ex, peak}$	4,095,886
$Q_{ex, avg}$	1,170,253
$Q_{proj, peak}$	4,306,561
$Q_{proj, avg}$	1,230,446

KU Resources Survey Crew obtained 5 flow depth measurements from MH050S006 on 07/23/21 between the hours of 7 AM and 8 AM and are as follows:  
 7am – 0.46', 7:15am – 0.52', 7:30am – 0.45', 7:45 am – 0.36', 8am – 0.37'.  
 Maximum flow depth observed was 0.52', which is the value used for design calculations.





Form



**pennsylvania**  
DEPARTMENT OF ENVIRONMENTAL  
PROTECTION

COMMONWEALTH OF PENNSYLVANIA  
DEPARTMENT OF ENVIRONMENTAL PROTECTION  
BUREAU OF POINT AND NON-POINT SOURCE MANAGEMENT

## SEWAGE FACILITIES PLANNING MODULE

### Component 3. Sewage Collection and Treatment Facilities

(Return completed module package to appropriate municipality)

DEP USE ONLY				
DEP CODE #	CLIENT ID #	SITE ID #	APS ID #	AUTH ID #

This planning module component is used to fulfill the planning requirements of Act 537 for the following types of projects: (1) a subdivision to be served by sewage collection, conveyance or treatment facilities, (2) a tap-in to an existing collection system with flows on a lot of 2 EDU's or more, or (3) the construction of, or modification to, wastewater collection, conveyance or treatment facilities that will require DEP to issue or modify a Clean Streams Law permit. Planning for any project that will require DEP to issue or modify a permit cannot be processed by a delegated agency. Delegated agencies must send their projects to DEP for final planning approval.

This component, along with any other documents specified in the cover letter, must be completed and submitted to the municipality with jurisdiction over the project site for review and approval. All required documentation must be attached for the Sewage Facilities Planning Module to be complete. Refer to the instructions for help in completing this component.

**REVIEW FEES:** Amendments to the Sewage Facilities Act established fees to be paid by the developer for review of planning modules for land development. These fees may vary depending on the approving agency for the project (DEP or delegated local agency). Please see section R and the instructions for more information on these fees.

**NOTE:** All projects must complete Sections A through I, and Sections O through R. Complete Sections J, K, L, M and/or N if applicable or marked .

#### A. PROJECT INFORMATION (See Section A of instructions)

1. Project Name North Aiken Duplexes

2. Brief Project Description Two duplexes are proposed for construction, each duplex having two units for a total of four units.

#### B. CLIENT (MUNICIPALITY) INFORMATION (See Section B of instructions)

Municipality Name	County	City	Boro	Twp
City of Pittsburgh	Allegheny	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Municipality Contact Individual - Last Name	First Name	MI	Suffix	Title
Battistone	Martina			Senior Environmental Planner
Additional Individual Last Name	First Name	MI	Suffix	Title
Municipality Mailing Address Line 1	Mailing Address Line 2			
Department of City Planning	200 Ross St. 4 <sup>th</sup> Floor			
Address Last Line -- City	State	ZIP+4		
Pittsburgh	PA	15219		
Area Code + Phone + Ext.	FAX (optional)	Email (optional)		
412-255-2516				



**C. SITE INFORMATION** (See Section C of instructions)

**Site (Land Development or Project) Name**

North Aiken Duplexes

Site Location Line 1

227-231.5 North Aiken Ave

Site Location Line 2

Site Location Last Line -- City

Pittsburgh

State

PA

ZIP+4

15206

Latitude

40.466463

Longitude

-79.935690

Detailed Written Directions to Site

Description of Site Vacant lot

**Site Contact (Developer/Owner)**

Last Name

England

First Name

Ryan

MI

Suffix

Phone

Ext.

Site Contact Title

Site Contact Firm (if none, leave blank)

FAX

Email

ryan@citystudiopgh.com

Mailing Address Line 1

5150 Penn Ave #300

Mailing Address Line 2

Mailing Address Last Line -- City

Pittsburgh

State

PA

ZIP+4

15224

**D. PROJECT CONSULTANT INFORMATION** (See Section D of instructions)

Last Name

Smith

First Name

Robert

MI

Suffix

L

Title

Project Manager

Consulting Firm Name

KU Resources, Inc.

Mailing Address Line 1

22 South Linden Street

Mailing Address Line 2

Address Last Line -- City

Duquesne

State

PA

ZIP+4

15110

Country

Email

bsmith@kuresources.com

Area Code + Phone

412-469-9331

Ext.

Area Code + FAX

**E. AVAILABILITY OF DRINKING WATER SUPPLY**

The project will be provided with drinking water from the following source: (Check appropriate box)

- Individual wells or cisterns.
- A proposed public water supply.
- An existing public water supply.

If existing public water supply is to be used, provide the name of the water company and attach documentation from the water company stating that it will serve the project.

Name of water company: Pittsburgh Water and Sewer Authority

**F. PROJECT NARRATIVE** (See Section F of instructions)

- A narrative has been prepared as described in Section F of the instructions and is attached.

The applicant may choose to include additional information beyond that required by Section F of the instructions.



**G. PROPOSED WASTEWATER DISPOSAL FACILITIES** (See Section G of instructions)

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter 93 (relating to wastewater treatment requirements).

**1. COLLECTION SYSTEM**

a. Check appropriate box concerning collection system

- New collection system       Pump Station       Force Main  
 Grinder pump(s)       Extension to existing collection system       Expansion of existing facility

Clean Streams Law Permit Number \_\_\_\_\_

b. Answer questions below on collection system

Number of EDU's and proposed connections to be served by collection system. EDU's 4

Connections 1

Name of:

existing collection or conveyance system North Aiken - 15" - VCP

owner Pittsburgh Water and Sewer Authority

existing interceptor Allegheny Interceptor

owner ALCOSAN

**2. WASTEWATER TREATMENT FACILITY**

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter(s) 91 (relating to general provisions), 92 (relating to national Pollution Discharge Elimination System permitting, monitoring and compliance) and 93 (relating to water quality standards).

a. Check appropriate box and provide requested information concerning the treatment facility

- New facility     Existing facility     Upgrade of existing facility     Expansion of existing facility

Name of existing facility ALCOSAN Woods Run WWTP

NPDES Permit Number for existing facility PA0025984

Clean Streams Law Permit Number \_\_\_\_\_

Location of discharge point for a new facility. Latitude \_\_\_\_\_ Longitude \_\_\_\_\_

b. The following certification statement must be completed and signed by the wastewater treatment facility permittee or their representative.

As an authorized representative of the permittee, I confirm that the ALCOSAN  
(Name from above) sewage treatment facilities can accept sewage flows from this project without adversely affecting the facility's ability to achieve all applicable technology and water quality based effluent limits (see Section I) and conditions contained in the NPDES permit identified above.

Name of Permittee Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent Joseph A. Sparbanc P.E.

Agent Signature [Signature] Date 10/29/21

(Also see Section I, 4.)



## G. PROPOSED WASTEWATER DISPOSAL FACILITIES (Continued)

### 3. PLOT PLAN

The following information is to be submitted on a plot plan of the proposed subdivision.

- a. Existing and proposed buildings.
- b. Lot lines and lot sizes.
- c. Adjacent lots.
- d. Remainder of tract.
- e. Existing and proposed sewerage facilities. Plot location of discharge point, land application field, spray field, COLDS, or LVCOLDS if a new facility is proposed.
- f. Show tap-in or extension to the point of connection to existing collection system (if applicable).
- g. Existing and proposed water supplies and surface water (wells, springs, ponds, streams, etc.)
- h. Existing and proposed rights-of-way.
- i. Existing and proposed buildings, streets, roadways, access roads, etc.
- j. Any designated recreational or open space area.
- k. Wetlands - from National Wetland Inventory Mapping and USGS Hydric Soils Mapping.
- l. Flood plains or Flood prone areas, floodways, (Federal Flood Insurance Mapping)
- m. Prime Agricultural Land.
- n. Any other facilities (pipelines, power lines, etc.)
- o. Orientation to north.
- p. Locations of all site testing activities (soil profile test pits, slope measurements, permeability test sites, background sampling, etc. (if applicable).
- q. Soils types and boundaries when a land based system is proposed.
- r. Topographic lines with elevations when a land based system is proposed

### 4. WETLAND PROTECTION

YES NO

- a.   Are there wetlands in the project area? If yes, ensure these areas appear on the plot plan as shown in the mapping or through on-site delineation.
- b.   Are there any construction activities (encroachments, or obstructions) proposed in, along, or through the wetlands? If yes, identify any proposed encroachments on wetlands and identify whether a General Permit or a full encroachment permit will be required. If a full permit is required, address time and cost impacts on the project. Note that wetland encroachments should be avoided where feasible. Also note that a feasible alternative **MUST BE SELECTED** to an identified encroachment on an exceptional value wetland as defined in Chapter 105. Identify any project impacts on streams classified as HQ or EV and address impacts of the permitting requirements of said encroachments on the project.

### 5. PRIME AGRICULTURAL LAND PROTECTION

YES NO

- Will the project involve the disturbance of prime agricultural lands?  
If yes, coordinate with local officials to resolve any conflicts with the local prime agricultural land protection program. The project must be consistent with such municipal programs before the sewage facilities planning module package may be submitted to DEP.  
If no, prime agricultural land protection is not a factor to this project.
- Have prime agricultural land protection issues been settled?

### 6. HISTORIC PRESERVATION ACT

YES NO

- Sufficient documentation is attached to confirm that this project is consistent with DEP Technical Guidance 012-0700-001 *Implementation of the PA State History Code* (available online at the DEP website at [www.dep.state.pa.us](http://www.dep.state.pa.us), select "subject" then select "technical guidance"). As a minimum this includes copies of the completed Cultural Resources Notice



(CRN), a return receipt for its submission to the PHMC and the PHMC review letter.

**7. PROTECTION OF RARE, ENDANGERED OR THREATENED SPECIES**

Check one:

- The "Pennsylvania Natural Diversity Inventory (PNDI) Project Environmental Review Receipt" resulting from my search of the PNDI database and all supporting documentation from jurisdictional agencies (when necessary) is/are attached.
- A completed "Pennsylvania Natural Diversity Inventory (PNDI) Project Planning & Environmental Review Form," (PNDI Form) available at [www.naturalheritage.state.pa.us](http://www.naturalheritage.state.pa.us), and all required supporting documentation is attached. I request DEP staff to complete the required PNDI search for my project. I realize that my planning module will be considered incomplete upon submission to the Department and that the DEP review will not begin, and that processing of my planning module will be delayed, until a "PNDI Project Environmental Review Receipt" and all supporting documentation from jurisdictional agencies (when necessary) is/are received by DEP.

Applicant or Consultant Initials RLS

**H. ALTERNATIVE SEWAGE FACILITIES ANALYSIS** (See Section H of instructions)

- An alternative sewage facilities analysis has been prepared as described in Section H of the attached instructions and is attached to this component.  
The applicant may choose to include additional information beyond that required by Section H of the attached instructions.

**I. COMPLIANCE WITH WATER QUALITY STANDARDS AND EFFLUENT LIMITATIONS** (See Section I of instructions) (Check and complete all that apply.)

**1. Waters designated for Special Protection**

- The proposed project will result in a new or increased discharge into special protection waters as identified in Title 25, Pennsylvania Code, Chapter 93. The Social or Economic Justification (SEJ) required by Section 93.4c. is attached.

**2. Pennsylvania Waters Designated As Impaired**

- The proposed project will result in a new or increased discharge of a pollutant into waters that DEP has identified as being impaired by that pollutant. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss water quality based discharge limitations.

**3. Interstate and International Waters**

- The proposed project will result in a new or increased discharge into interstate or international waters. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss effluent limitations necessary to meet the requirements of the interstate or international compact.

**4. Tributaries To The Chesapeake Bay**

- The proposed project result in a new or increased discharge of sewage into a tributary to the Chesapeake Bay. This proposal for a new sewage treatment facility or new flows to an existing facility includes total nitrogen and total phosphorus in the following amounts: \_\_\_\_\_ pounds of TN per year, and \_\_\_\_\_ pounds of TP per year. Based on the process design and effluent limits, the total nitrogen treatment capacity of the wastewater treatment facility is \_\_\_\_\_ pounds per year and the total phosphorus capacity is \_\_\_\_\_ pounds per year as determined by the wastewater treatment facility permittee. The permittee has determined that the additional TN and TP to be contributed by this project (as modified by credits and/or offsets to be provided) will not cause the discharge to exceed the annual total mass limits for these parameters. Documentation of compliance with nutrient allocations is attached.

Name of Permittee Agency, Authority, Municipality \_\_\_\_\_

Initials of Responsible Agent (See Section G 2.b) \_\_\_\_\_

See *Special Instructions* (Form 3800-FM-BPNPSM0353-1) for additional information on Chesapeake Bay watershed requirements.



**J. CHAPTER 94 CONSISTENCY DETERMINATION** (See Section J of instructions)

Projects that propose the use of existing municipal collection, conveyance or wastewater treatment facilities, or the construction of collection and conveyance facilities to be served by existing municipal wastewater treatment facilities must be consistent with the requirements of Title 25, Chapter 94 (relating to Municipal Wasteload Management). If not previously included in Section F, include a general map showing the path of the sewage to the treatment facility. If more than one municipality or authority will be affected by the project, please obtain the information required in this section for each. Additional sheets may be attached for this purpose.

1. Project Flows 1600 gpd
2. Total Sewage Flows to Facilities (pathway from point of origin through treatment plant)

When providing "treatment facilities" sewage flows, use Annual Average Daily Flow for "average" and Maximum Monthly Average Daily Flow for "peak" in all cases. For "peak flows" in "collection" and "conveyance" facilities, indicate whether these flows are "peak hourly flow" or "peak instantaneous flow" and how this figure was derived (i.e., metered, measured, estimated, etc.).

- a. Enter average and peak sewage flows for each proposed or existing facility as designed or permitted.
- b. Enter the average and peak sewage flows for the most restrictive sections of the existing sewage facilities.
- c. Enter the average and peak sewage flows, projected for 5 years (2 years for pump stations) through the most restrictive sections of the existing sewage facilities. Include existing, proposed (this project) and future project (other approved projects) flows.

To complete the table, refer to the instructions, Section J.

	a. Design and/or Permitted Capacity (gpd)		b. Present Flows (gpd)		c. Projected Flows in 5 years (gpd) (2 years for P.S.)	
	Average	Peak	Average	Peak	Average	Peak
Collection	3,233,495	11,317,231	1,170,253	4,095,886	1,230,446	4,306,561
Conveyance		31,200,000	8,810,000	10,900,000	8,920,000	10,930,000
Treatment	209,300,000	250,000,000	190,200,000	250,000,000	219,000,000	295,000,000

3. Collection and Conveyance Facilities

The questions below are to be answered by the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities. These questions should be answered in coordination with the latest Chapter 94 annual report and the above table. The individual(s) signing below must be legally authorized to make representation for the organization.

YES NO

- a.   This project proposes sewer extensions or tap-ins. Will these actions create a hydraulic overload within five years on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until all inconsistencies with Chapter 94 are resolved or unless there is an approved Corrective Action Plan (CAP) granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the module package.

If no, a representative of the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not affect that status.

b. Collection System

Name of Agency, Authority, Municipality Pittsburgh Water and Sewer Authority

Name of Responsible Agent Barry King, PE, PMP

Agent Signature  Date 8/9/2021



**J. CHAPTER 94 CONSISTENCY DETERMINATION** (See Section J of instructions)

c. Conveyance System

Name of Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent Joseph A. Sparbanie, P.E.

Agent Signature [Signature]

Date 10-29-21

4. Treatment Facility

The questions below are to be answered by a representative of the facility permittee in coordination with the information in the table and the latest Chapter 94 report. The individual signing below must be legally authorized to make representation for the organization.

YES NO

- a.  YES  NO This project proposes the use of an existing wastewater treatment plant for the disposal of sewage. Will this action create a hydraulic or organic overload within 5 years at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this inconsistency with Chapter 94 is resolved or unless there is an approved CAP granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the planning module.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not impact that status.

- b. Name of Agency, Authority, Municipality ALCOSAN

Name of Responsible Agent Joseph A. Sparbanie, P.E.

Agent Signature [Signature]

Date 10-29-21

**K. TREATMENT AND DISPOSAL OPTIONS** (See Section K of instructions)

This section is for land development projects that propose construction of wastewater treatment facilities. Please note that, since these projects require permits issued by DEP, these projects may **NOT** receive final planning approval from a delegated local agency. Delegated local agencies must send these projects to DEP for final planning approval.

Check the appropriate box indicating the selected treatment and disposal option.

- 1. Spray irrigation (other than individual residential spray systems (IRSIS)) or other land application is proposed, and the information requested in Section K.1. of the planning module instructions are attached.
- 2. Recycle and reuse is proposed and the information requested in Section K-2 of the planning module instructions is attached.
- 3. A discharge to a dry stream channel is proposed, and the information requested in Section K.3. of the planning module instructions are attached.
- 4. A discharge to a perennial surface water body is proposed, and the information requested in Section K.4. of the planning module instructions are attached.

**L. PERMEABILITY TESTING** (See Section L of instructions)

- The information required in Section L of the instructions is attached.

**M. PRELIMINARY HYDROGEOLOGIC STUDY** (See Section M of instructions)



The information required in Section M of the instructions is attached.



**N. DETAILED HYDROGEOLOGIC STUDY** (See Section N of instructions)

The detailed hydrogeologic information required in Section N. of the instructions is attached.

**O. SEWAGE MANAGEMENT** (See Section O of instructions)

(1-3 for completion by the developer(project sponser), 4-5 for completion by the non-municipal facility agent and 6 for completion by the municipality)

Yes No

1.   Is connection to, or construction of, a DEP permitted, non-municipal sewage facility or a local agency permitted, community onlot sewage facility proposed.

If Yes, respond to the following questions, attach the supporting analysis, and an evaluation of the options available to assure long-term proper operation and maintenance of the proposed non-municipal facilities. If No, skip the remainder of Section O.

2. Project Flows 1600 gpd

Yes No

3.   Is the use of nutrient credits or offsets a part of this project?

If yes, attach a letter of intent to purchase the necessary credits and describe the assurance that these credits and offsets will be available for the remaining design life of the non-municipal sewage facility;

**(For completion by non-municipal facility agent)**

4. Collection and Conveyance Facilities

The questions below are to be answered by the organization/individual responsible for the non-municipal collection and conveyance facilities. The individual(s) signing below must be legally authorized to make representation for the organization.

Yes No

- a.   If this project proposes sewer extensions or tap-ins, will these actions create a hydraulic overload on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, a representative of the organization responsible for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with Chapter 71 §71.53(d)(3) and that this proposal will not affect that status.

- b. Collection System

Name of Responsible Organization \_\_\_\_\_

Name of Responsible Agent \_\_\_\_\_

Agent Signature \_\_\_\_\_

Date \_\_\_\_\_

- c. Conveyance System

Name of Responsible Organization \_\_\_\_\_

Name of Responsible Agent \_\_\_\_\_

Agent Signature \_\_\_\_\_

Date \_\_\_\_\_



5. Treatment Facility

The questions below are to be answered by a representative of the facility permittee. The individual signing below must be legally authorized to make representation for the organization.

Yes No

- a.   If this project proposes the use of an existing non-municipal wastewater treatment plant for the disposal of sewage, will this action create a hydraulic or organic overload at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with §71.53(d)(3) and that this proposal will not impact that status.

- b. Name of Facility \_\_\_\_\_  
Name of Responsible Agent \_\_\_\_\_  
Agent Signature \_\_\_\_\_  
Date \_\_\_\_\_

(For completion by the municipality)

6.  The **SELECTED OPTION** necessary to assure long-term proper operation and maintenance of the proposed non-municipal facilities is clearly identified with documentation attached in the planning module package.

---

**P. PUBLIC NOTIFICATION REQUIREMENT** (See Section P of instructions)

---

This section must be completed to determine if the applicant will be required to publish facts about the project in a newspaper of general circulation to provide a chance for the general public to comment on proposed new land development projects. This notice may be provided by the applicant or the applicant's agent, the municipality or the local agency by publication in a newspaper of general circulation within the municipality affected. Where an applicant or an applicant's agent provides the required notice for publication, the applicant or applicant's agent shall notify the municipality or local agency and the municipality and local agency will be relieved of the obligation to publish. The required content of the publication notice is found in Section P of the instructions.

To complete this section, each of the following questions must be answered with a "yes" or "no". Newspaper publication is required if any of the following are answered "yes".

Yes No

1.   Does the project propose the construction of a sewage treatment facility ?
2.   Will the project change the flow at an existing sewage treatment facility by more than 50,000 gallons per day?
3.   Will the project result in a public expenditure for the sewage facilities portion of the project in excess of \$100,000?
4.   Will the project lead to a major modification of the existing municipal administrative organizations within the municipal government?
5.   Will the project require the establishment of *new* municipal administrative organizations within the municipal government?
6.   Will the project result in a subdivision of 50 lots or more? (onlot sewage disposal only)
7.   Does the project involve a major change in established growth projections?
8.   Does the project involve a different land use pattern than that established in the municipality's Official Sewage Plan?

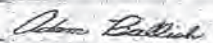


**P. PUBLIC NOTIFICATION REQUIREMENT cont'd.** (See Section P of instructions)

- 9.   Does the project involve the use of large volume onlot sewage disposal systems (Flow > 10,000 gpd)?
- 10.   Does the project require resolution of a conflict between the proposed alternative and consistency requirements contained in §71.21(a)(5)(i), (ii), (iii)?
- 11.   Will sewage facilities discharge into high quality or exceptional value waters?
- Attached is a copy of:
  - the public notice,
  - all comments received as a result of the notice,
  - the municipal response to these comments.
- No comments were received. A copy of the public notice is attached.

**Q. FALSE SWEARING STATEMENT** (See Section Q of instructions)

I verify that the statements made in this component are true and correct to the best of my knowledge, information and belief. I understand that false statements in this component are made subject to the penalties of 18 PA C.S.A. §4904 relating to unsworn falsification to authorities.

Adam Ballish		
Name (Print)	Signature	
Engineer	07/27/21	
Title	Date	
22 South Linden Street	412-469-9331	
Address	Telephone Number	

**R. REVIEW FEE** (See Section R of instructions)

The Sewage Facilities Act establishes a fee for the DEP planning module review. DEP will calculate the review fee for the project and invoice the project sponsor **OR** the project sponsor may attach a self-calculated fee payment to the planning module prior to submission of the planning package to DEP. (Since the fee and fee collection procedures may vary if a "delegated local agency" is conducting the review, the project sponsor should contact the "delegated local agency" to determine these details.) Check the appropriate box.

- I request DEP calculate the review fee for my project and send me an invoice for the correct amount. I understand DEP's review of my project will not begin until DEP receives the correct review fee from me for the project.
- I have calculated the review fee for my project using the formula found below and the review fee guidance in the instructions. I have attached a check or money order in the amount of \$1600 payable to "Commonwealth of PA, DEP". Include DEP code number on check. I understand DEP will not begin review of my project unless it receives the fee and determines the fee is correct. If the fee is incorrect, DEP will return my check or money order, send me an invoice for the correct amount. I understand DEP review will NOT begin until I have submitted the correct fee.
- I request to be exempt from the DEP planning module review fee because this planning module creates **only** one new lot and is the **only** lot subdivided from a parcel of land as that land existed on December 14, 1995. I realize that subdivision of a second lot from this parcel of land shall disqualify me from this review fee exemption. I am furnishing the following deed reference information in support of my fee exemption.

County Recorder of Deeds for \_\_\_\_\_ County, Pennsylvania

Deed Volume \_\_\_\_\_ Book Number \_\_\_\_\_

Page Number \_\_\_\_\_ Date Recorded \_\_\_\_\_



---

**R. REVIEW FEE** (continued)

---

Formula:

1. For a new collection system (with or without a Clean Streams Law Permit), a collection system extension, or individual tap-ins to an existing collection system use this formula.

$$\#4 \quad \text{Lots (or EDUs)} \times \$50.00 = \$ 200$$

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
- For community sewer system projects, one EDU is equal to a sewage flow of 400 gallons per day.

2. For a surface or subsurface discharge system, use the appropriate one of these formulae.

- A. A new surface discharge greater than 2000 gpd will use a flat fee:

$$\begin{aligned} & \$ 1,500 \text{ per submittal (non-municipal)} \\ & \$ 500 \text{ per submittal (municipal)} \end{aligned}$$

- B. An increase in an existing surface discharge will use:

$$\# \quad \text{Lots (or EDUs)} \times \$35.00 = \$$$

to a maximum of \$ 1,500 per submittal (non-municipal) or \$ 500 per submittal (municipal)

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
- For community sewage system projects one EDU is equal to a sewage flow of 400 gallons per day.
- For non-single family residential projects, EDUs are calculated using projected population figures

- C. A sub-surface discharge system that requires a permit under The Clean Streams Law will use a flat fee:

$$\begin{aligned} & \$ 1,500 \text{ per submittal (non-municipal)} \\ & \$ 500 \text{ per submittal (municipal)} \end{aligned}$$





## INSTRUCTIONS FOR COMPLETING COMPONENT 4A MUNICIPAL PLANNING AGENCY REVIEW

***Remove and recycle these instructions prior to mailing component to the approving agency.***

### Background

This component, Component 4, is used to obtain the comments of planning agencies and/or health departments having jurisdiction over the project area. It is used in conjunction with other planning module components appropriate to the characteristics of the project proposed.

### Who Should Complete the Component?

The component should be completed by any existing municipal planning agency, county planning agency, planning agency with areawide jurisdiction, and/or health department having jurisdiction over the project site. It is divided into sections to allow for convenient use by the appropriate agencies.

The project sponsor must forward copies of this component, along with supporting components and data, to the appropriate planning agency(ies) and health department(s) (if any) having jurisdiction over the development site. These agencies are responsible for responding to the questions in their respective sections of Component 4, as well as providing whatever additional comments they may wish to provide on the project plan. After the agencies have completed their review, the component will be returned to the applicant. The agencies have 60 days in which to provide comments to the applicant. If the agencies fail to comment within this 60 day period, the applicant may proceed to the next stage of the review without the comments. The use of registered mail or certified mail (return receipt requested) by the applicant when forwarding the module package to the agencies will document a date of receipt.

After receipt of the completed Component 4 from the planning agencies, or following expiration of the 60 day period without comments, the applicant must submit the entire component package to the municipality having jurisdiction over the project area for review and action. If approved by the municipality, the proposed plan, along with the municipal action, will be forwarded to the approving agency (Department of Environmental Protection or delegated local agency). The approving agency, in turn, will either approve the proposed plan, return it as incomplete, or disapprove the plan, based upon the information provided.

### ***Instructions for Completing Planning Agency and/or Health Department Review Component***

#### **Section A. Project Name**

Enter the project name as it appears on the accompanying sewage facilities planning module component (Component 2, 2m, 3, 3s or 3m).

#### **Section B. Review Schedule**

Enter the date the package was received by the reviewing agency, and the date that the review was completed.

#### **Section C. Agency Review**

1. Answer the yes/no questions and provide any descriptive information necessary on the lines provided. Attach additional sheets, if necessary.
2. Complete the name, title, and signature block.

#### **Section D. Additional Comments**

The Agency may provide whatever additional comment(s) it deems necessary, as described in the form. Attach additional sheets, if necessary.





COMMONWEALTH OF PENNSYLVANIA  
DEPARTMENT OF ENVIRONMENTAL PROTECTION  
BUREAU OF CLEAN WATER

DEP Code #:

**SEWAGE FACILITIES PLANNING MODULE  
COMPONENT 4A - MUNICIPAL PLANNING AGENCY REVIEW**

**Note to Project Sponsor:** To expedite the review of your proposal, one copy of your completed planning module package and one copy of this *Planning Agency Review Component* should be sent to the local municipal planning agency for their comments.

**SECTION A. PROJECT NAME** (See Section A of instructions)

Project Name

North Aiken Duplexes

**SECTION B. REVIEW SCHEDULE** (See Section B of instructions)

1. Date plan received by municipal planning agency July 28, 20212. Date review completed by agency July 29, 2021

**SECTION C. AGENCY REVIEW** (See Section C of instructions)

Yes	No	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	1. Is there a municipal comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101, <i>et seq.</i> )?
<input type="checkbox"/>	N/A <input type="checkbox"/>	2. Is this proposal consistent with the comprehensive plan for land use? If no, describe the inconsistencies _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	3. Is this proposal consistent with the use, development, and protection of water resources? If no, describe the inconsistencies _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	4. Is this proposal consistent with municipal land use planning relative to Prime Agricultural Land Preservation?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	5. Does this project propose encroachments, obstructions, or dams that will affect wetlands? If yes, describe impacts _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	6. Will any known historical or archaeological resources be impacted by this project? If yes, describe impacts _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	7. Will any known endangered or threatened species of plant or animal be impacted by this project? If yes, describe impacts _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	8. Is there a municipal zoning ordinance?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	9. Is this proposal consistent with the ordinance? If no, describe the inconsistencies _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	10. Does the proposal require a change or variance to an existing comprehensive plan or zoning ordinance?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	11. Have all applicable zoning approvals been obtained?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	12. Is there a municipal subdivision and land development ordinance?



**SECTION C. AGENCY REVIEW (continued)**

- | Yes                                 | No                                  |  |
|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | 13. Is this proposal consistent with the ordinance?<br>If no, describe the inconsistencies _____   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | 14. Is this plan consistent with the municipal Official Sewage Facilities Plan?<br>If no, describe the inconsistencies _____                               |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | 15. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality?<br>If yes, describe _____ |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | 16. Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision?                                 |
| <input type="checkbox"/>            | <input type="checkbox"/>            | If yes, is the proposed waiver consistent with applicable ordinances?<br>If no, describe the inconsistencies<br>_____                                      |

17. Name, title and signature of planning agency staff member completing this section:  
 Name: Martina Wolf Battistone  
 Title: Principal Environmental Planner  
 Signature: *Martina Wolf Battistone*  
 Date: July 29, 2021  
 Name of Municipal Planning Agency: City of Pittsburgh Department of City Planning  
 Address 200 Ross Street 4th Floor Pittsburgh, PA 15219  
 Telephone Number: (412) 255-2516

**SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)**

This component does not limit municipal planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The planning agency must complete this component within 60 days.

This component and any additional comments are to be returned to the applicant.



COUNTY OF



ALLEGHENY

RICH FITZGERALD  
COUNTY EXECUTIVE

November 12, 2021

Bob Smith, P.E.  
KU Resources, Inc.  
22 South Linden Street  
Duquesne, PA 15110

**RE: SEWAGE FACILITIES PLANNING MODULE**  
North Aiken Duplexes  
City of Pittsburgh, Allegheny County

Dear Mr. Smith:

Enclosed is a signed copy of Component 4C, County or Joint County Health Department Review, for the above-referenced development. This Planning Module Component was received on November 12, 2021. The project proposes the following:

Project Description:	North Aiken Duplexes. Proposing the development of a lot at parcel numbers 50-M-35 & 50-M-37 that will include the construction of two (2), three (3) story duplexes with each duplex having two units for a total of four units located at 227-231.5 North Aikens Avenue in the City of Pittsburgh, Allegheny County.
Sewage Flow:	1,600 GPD
Conveyance:	The flow from this site will be conveyed to the Pittsburgh Water and Sewer Authority (PWSA) collection system to the ALCOSAN POC A-22 to the Allegheny River interceptor and then to the ALOSAN Treatment Plant at Woods Run.
Sewer's Owner:	PWSA (collection) and ALCOSAN (interceptor)
Sewage Treatment Plant:	ALCOSAN



DEBRA BOGEN, MD, DIRECTOR  
**ALLEGHENY COUNTY HEALTH DEPARTMENT**  
**WATER POLLUTION CONTROL & SOLID WASTE MANAGEMENT**  
3901 PENN AVENUE • BUILDING 5 • PITTSBURGH, PA 15224-1318  
PHONE: 412.578.8040 • FAX: 412.578.8053  
[WWW.ALLEGHENYCOUNTY.US/HEALTHDEPARTMENT](http://WWW.ALLEGHENYCOUNTY.US/HEALTHDEPARTMENT)





Please be advised that a permit must be obtained from the Allegheny County Health Department's (ACHD) Plumbing Section prior to commencing any plumbing work for the proposed project. Plumbing work for which an ACHD Plumbing Permit must be obtained includes any plumbing work done on the site and any sewers, which will not be owned and operated by a municipality or a sewer authority. In addition, it should be noted that the approval of this sewage facilities planning module does not include approval of pipe size and/or type. Approval for pipe size and/or type must be obtained by filing a specific plumbing plan with the ACHD's Plumbing Section. If you should have any questions relative to ACHD's plumbing requirements, Ivo Miller, Plumbing Program Manager at 412-578-8393.

The ACHD has no objection to the approval of this project. If you have any questions, please call me at 412-578-8046.

Sincerely,



Freddie Fields, M.B.A.  
Environmental Health Engineer III  
Water Pollution Control & Solid Waste Management

Enclosure

cc: Thomas Flanagan, PA Department of Environmental Protection w/attachment  
Ivo Miller, ACHD w/attachment



## INSTRUCTIONS FOR COMPLETING COMPONENT 4C COUNTY OR JOINT HEALTH DEPARTMENT REVIEW

---

*Remove and recycle these instructions prior to mailing component to the approving agency.*

### Background

This component, Component 4, is used to obtain the comments of planning agencies and/or health departments having jurisdiction over the project area. It is used in conjunction with other planning module components appropriate to the characteristics of the project proposed.

### Who Should Complete the Component?

The component should be completed by any existing municipal planning agency, county planning agency, planning agency with areawide jurisdiction, and/or health department having jurisdiction over the project site. It is divided into sections to allow for convenient use by the appropriate agencies.

The project sponsor must forward copies of this component, along with supporting components and data, to the appropriate planning agency(ies) and health department(s) (if any) having jurisdiction over the development site. These agencies are responsible for responding to the questions in their respective sections of Component 4, as well as providing whatever additional comments they may wish to provide on the project plan. After the agencies have completed their review, the component will be returned to the applicant. The agencies have 60 days in which to provide comments to the applicant. If the agencies fail to comment within this 60 day period, the applicant may proceed to the next stage of the review without the comments. The use of registered mail or certified mail (return receipt requested) by the applicant when forwarding the module package to the agencies will document a date of receipt.

After receipt of the completed Component 4 from the planning agencies, or following expiration of the 60 day period without comments, the applicant must submit the entire component package to the municipality having jurisdiction over the project area for review and action. If approved by the municipality, the proposed plan, along with the municipal action, will be forwarded to the approving agency (Department of Environmental Protection or delegated local agency). The approving agency, in turn, will either approve the proposed plan, return it as incomplete, or disapprove the plan, based upon the information provided.

---

### *Instructions for Completing Planning Agency and/or Health Department Review Component*

---

#### **Section A. Project Name**

Enter the project name as it appears on the accompanying sewage facilities planning module component (Component 2, 2m, 3, 3s or 3m).

---

#### **Section B. Review Schedule**

Enter the date the package was received by the reviewing agency, and the date that the review was completed.

---

#### **Section C. Agency Review**

1. Answer the yes/no questions and provide any descriptive information necessary on the lines provided. Attach additional sheets, if necessary.
2. Complete the name, title, and signature block.

---

#### **Section D. Additional Comments**

The Agency may provide whatever additional comment(s) it deems necessary, as described in the form. Attach additional sheets, if necessary.





## SEWAGE FACILITIES PLANNING MODULE

### COMPONENT 4C - COUNTY OR JOINT HEALTH DEPARTMENT REVIEW

**Note to Project Sponsor:** To expedite the review of your proposal, one copy of your completed planning module package and one copy of this *Planning Agency Review Component* should be sent to the county or joint county health department for their comments.

#### SECTION A. PROJECT NAME (See Section A of instructions)

Project Name

North Aiken Duplexes

#### SECTION B. REVIEW SCHEDULE (See Section B of instructions)

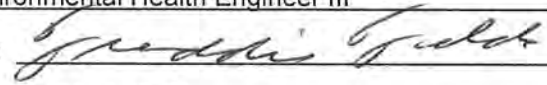
1. Date plan received by county or joint county health department November 12, 2021Agency name Allegheny County Health Department (ACHD)2. Date review completed by agency November 12, 2021

#### SECTION C. AGENCY REVIEW (See Section C of instructions)

Yes No

1. Is the proposed plan consistent with the municipality's Official Sewage Facilities Plan?  
If no, what are the inconsistencies? \_\_\_\_\_
2. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality?  
If yes, describe \_\_\_\_\_
3. Is there any known groundwater degradation in the area of this proposal?  
If yes, describe \_\_\_\_\_
4. The county or joint county health department recommendation concerning this proposed plan is as follows: ACHD recommends approval. See attached letter.

5. Name, title and signature of person completing this section:

Name: Freddie FieldsTitle: Environmental Health Engineer IIISignature: Date: November 12, 2021Name of County Health Department: ACHDAddress: 3901 Penn Avenue, Building #5, Pittsburgh, PA 15224-1318Telephone Number: 412-578-8046

#### SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)

This component does not limit county planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The county planning agency must complete this component within 60 days.

This component and any additional comments are to be returned to the applicant.

## 1. PROJECT INFORMATION

Project Name: **North Aiken Duplexes**  
Date of Review: **11/16/2021 03:24:39 PM**  
Project Category: **Development, Residential, single-family living unit (not located within a subdivision)**  
Project Area: **0.31 acres**  
County(s): **Allegheny**  
Township/Municipality(s): **PITTSBURGH**  
ZIP Code:  
Quadrangle Name(s): **PITTSBURGH EAST**  
Watersheds HUC 8: **Lower Allegheny**  
Watersheds HUC 12: **Allegheny River-Ohio River**  
Decimal Degrees: **40.467198, -79.935191**  
Degrees Minutes Seconds: **40° 28' 1.9110" N, 79° 56' 6.6886" W**

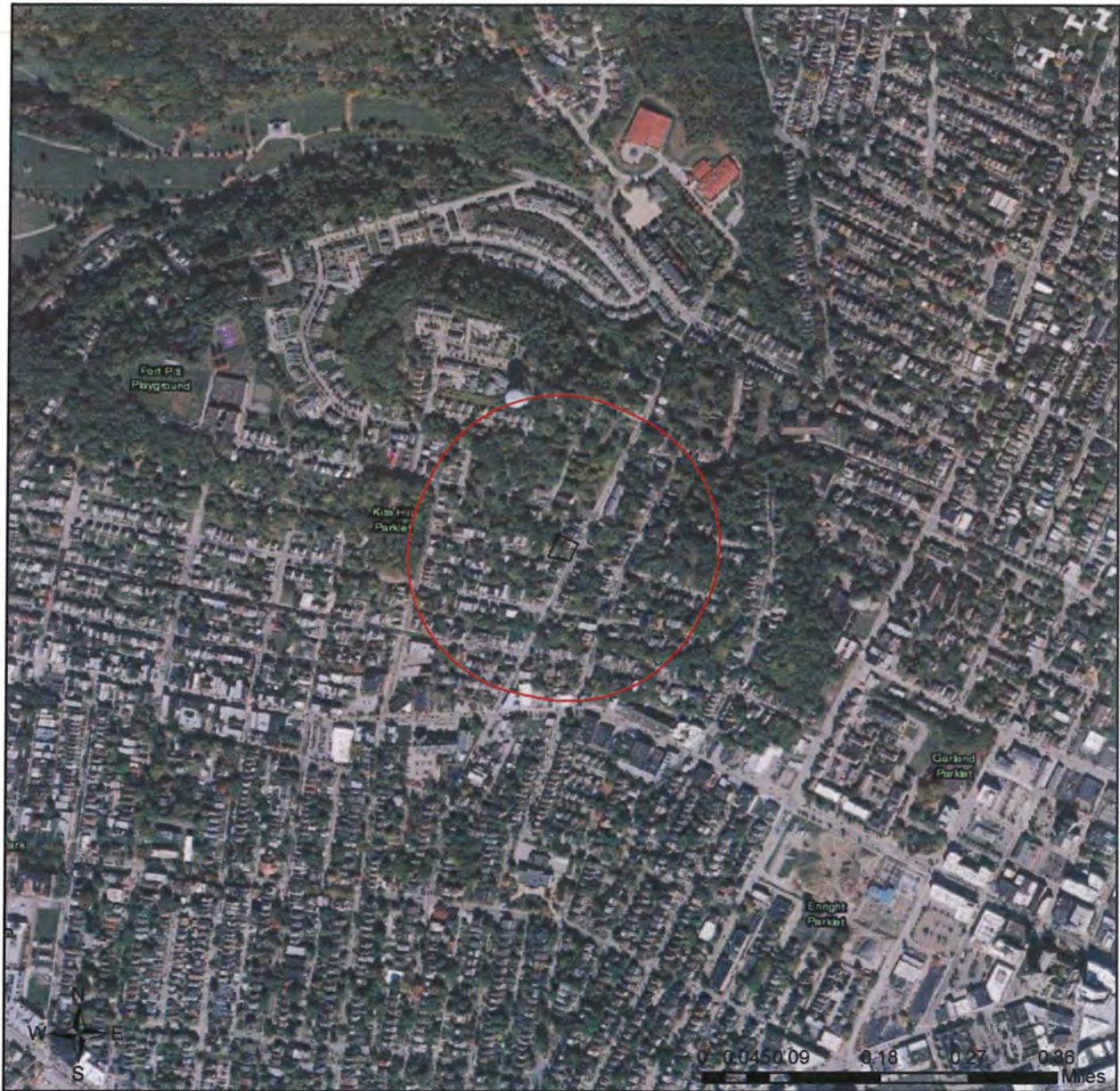
## 2. SEARCH RESULTS

Agency	Results	Response
PA Game Commission	No Known Impact	No Further Review Required
PA Department of Conservation and Natural Resources	No Known Impact	No Further Review Required
PA Fish and Boat Commission	No Known Impact	No Further Review Required
U.S. Fish and Wildlife Service	No Known Impact	No Further Review Required

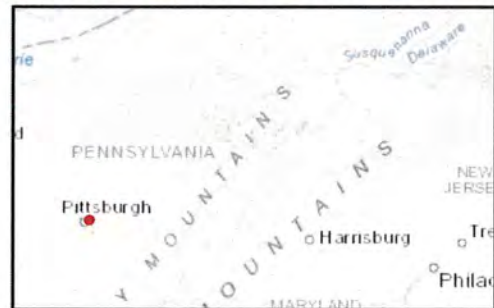
As summarized above, Pennsylvania Natural Diversity Inventory (PNDI) records indicate no known impacts to threatened and endangered species and/or special concern species and resources within the project area. Therefore, based on the information you provided, no further coordination is required with the jurisdictional agencies. This response does not reflect potential agency concerns regarding impacts to other ecological resources, such as wetlands.



### North Aiken Duplexes



- Project Boundary
- Buffered Project Boundary



Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community  
Sources: Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community  
Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China

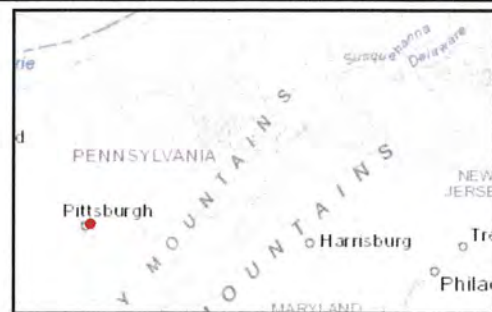


### North Aiken Duplexes



- Project Boundary
- Buffered Project Boundary

Service Layer Credits: Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community





### 3. AGENCY COMMENTS

Regardless of whether a DEP permit is necessary for this proposed project, any potential impacts to threatened and endangered species and/or special concern species and resources must be resolved with the appropriate jurisdictional agency. In some cases, a permit or authorization from the jurisdictional agency may be needed if adverse impacts to these species and habitats cannot be avoided.

These agency determinations and responses are **valid for two years** (from the date of the review), and are based on the project information that was provided, including the exact project location; the project type, description, and features; and any responses to questions that were generated during this search. If any of the following change: 1) project location, 2) project size or configuration, 3) project type, or 4) responses to the questions that were asked during the online review, the results of this review are not valid, and the review must be searched again via the PNDI Environmental Review Tool and resubmitted to the jurisdictional agencies. The PNDI tool is a primary screening tool, and a desktop review may reveal more or fewer impacts than what is listed on this PNDI receipt. The jurisdictional agencies **strongly advise against** conducting surveys for the species listed on the receipt prior to consultation with the agencies.

#### PA Game Commission

##### RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

#### PA Department of Conservation and Natural Resources

##### RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

#### PA Fish and Boat Commission

##### RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

#### U.S. Fish and Wildlife Service

##### RESPONSE:

No impacts to **federally** listed or proposed species are anticipated. Therefore, no further consultation/coordination under the Endangered Species Act (87 Stat. 884, as amended; 16 U.S.C. 1531 et seq. is required. Because no take of federally listed species is anticipated, none is authorized. This response does not reflect potential Fish and Wildlife Service concerns under the Fish and Wildlife Coordination Act or other authorities.

### 4. DEP INFORMATION

The Pa Department of Environmental Protection (DEP) requires that a signed copy of this receipt, along with any required documentation from jurisdictional agencies concerning resolution of potential impacts, be submitted with applications for permits requiring PNDI review. Two review options are available to permit applicants for handling PNDI coordination in conjunction with DEP's permit review process involving either T&E Species or species of special concern. Under sequential review, the permit applicant performs a PNDI screening and completes all coordination with the appropriate jurisdictional agencies prior to submitting the permit application. The applicant will include with its application, both a PNDI receipt and/or a clearance letter from the jurisdictional agency if the PNDI Receipt shows a Potential Impact to a species or the applicant chooses to obtain letters directly from the jurisdictional agencies. Under concurrent review, DEP, where feasible, will allow technical review of the permit to occur concurrently with the T&E species consultation with the jurisdictional agency. The applicant must still supply a copy of the PNDI Receipt with its permit application. The PNDI Receipt should also be submitted to the appropriate agency according to directions on the PNDI Receipt. The applicant and the jurisdictional agency will work together to resolve the potential impact(s). See the DEP PNDI policy at <https://conservationexplorer.dcnr.pa.gov/content/resources>.



## 5. ADDITIONAL INFORMATION

The PNDI environmental review website is a preliminary screening tool. There are often delays in updating species status classifications. Because the proposed status represents the best available information regarding the conservation status of the species, state jurisdictional agency staff give the proposed statuses at least the same consideration as the current legal status. If surveys or further information reveal that a threatened and endangered and/or special concern species and resources exist in your project area, contact the appropriate jurisdictional agency/agencies immediately to identify and resolve any impacts.

For a list of species known to occur in the county where your project is located, please see the species lists by county found on the PA Natural Heritage Program (PNHP) home page ([www.naturalheritage.state.pa.us](http://www.naturalheritage.state.pa.us)). Also note that the PNDI Environmental Review Tool only contains information about species occurrences that have actually been reported to the PNHP.

## 6. AGENCY CONTACT INFORMATION

### PA Department of Conservation and Natural Resources

Bureau of Forestry, Ecological Services Section  
400 Market Street, PO Box 8552  
Harrisburg, PA 17105-8552  
Email: [RA-HeritageReview@pa.gov](mailto:RA-HeritageReview@pa.gov)

### PA Fish and Boat Commission

Division of Environmental Services  
595 E. Rolling Ridge Dr., Bellefonte, PA 16823  
Email: [RA-FBPACENOTIFY@pa.gov](mailto:RA-FBPACENOTIFY@pa.gov)

### U.S. Fish and Wildlife Service

Pennsylvania Field Office  
Endangered Species Section  
110 Radnor Rd; Suite 101  
State College, PA 16801  
Email: [IR1\\_ESPenn@fws.gov](mailto:IR1_ESPenn@fws.gov)  
NO Faxes Please

### PA Game Commission

Bureau of Wildlife Habitat Management  
Division of Environmental Planning and Habitat Protection  
2001 Elmerton Avenue, Harrisburg, PA 17110-9797  
Email: [RA-PGC\\_PNDI@pa.gov](mailto:RA-PGC_PNDI@pa.gov)  
NO Faxes Please

## 7. PROJECT CONTACT INFORMATION

Name: Adam Ballish  
Company/Business Name: KU Resources Inc.  
Address: 22 South Linden Street  
City, State, Zip: Duquesne PA 15110  
Phone: (724) 980-2428 Fax: ( )  
Email: aballish@kuresources.com

## 8. CERTIFICATION

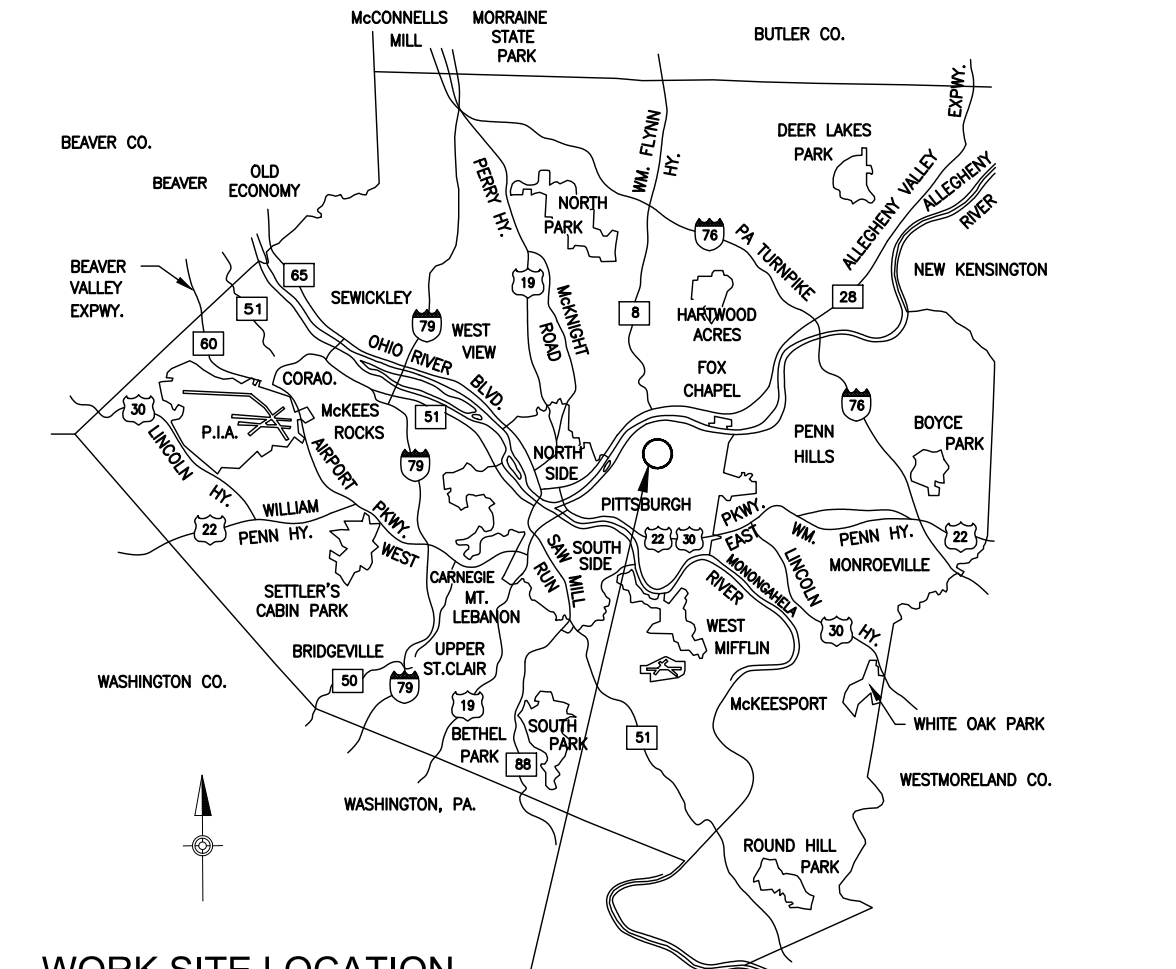
I certify that ALL of the project information contained in this receipt (including project location, project size/configuration, project type, answers to questions) is true, accurate and complete. In addition, if the project type, location, size or configuration changes, or if the answers to any questions that were asked during this online review change, I agree to re-do the online environmental review.

Adam Ballish  
applicant/project proponent signature

11/16/2021  
date



DRAWN BY: SBE 09/09/2019 CAD FILE NUMBER: 210872601 24436 PROJECT NUMBER: KURTD00K0R



WORK SITE LOCATION  
LOCATION MAP  
N.T.S.

- THE PITTSBURGH WATER & SEWER AUTHORITY APPROVAL BLOCK**  
To be completed by the Applicant:  
(Check all that apply)
- NEW WATER CONNECTION(S)
  - NEW SEWER CONNECTION(S)
  - REUSE EXISTING WATER CONNECTION(S)
  - REUSE EXISTING SEWER CONNECTION(S)
  - TERMINATE EXISTING WATER CONNECTION(S)
  - TERMINATE EXISTING SEWER CONNECTION(S)
  - PRIVATE CONSTRUCTION OF PUBLIC FACILITIES

To be completed by the PWSA:  
(Required for ALL approvals)

REVIEWER \_\_\_\_\_

CHIEF OF OPERATIONS \_\_\_\_\_

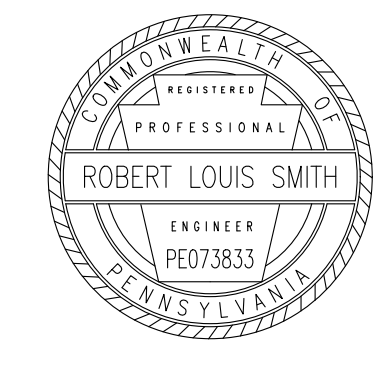
(Required for "Private Construction of Public Facilities" ONLY)

DIRECTOR OF ENGINEERING AND CONSTRUCTION \_\_\_\_\_

PWSA PROJECT NUMBER 20014.58

TAP C RECORD NUMBER \_\_\_\_\_

Signatures / Approval by PWSA are for the physical connection(s) to the water and/or sewer system only. Responsibility for the design and work depicted by the drawings, including the flow design for the facilities, is by the Professional Engineer shown by the seal and signature affixed to the drawing. The PWSA does not represent or warrant that the water supply to the facilities is sufficient to support the design.



**PEAK OPERATING WATER DEMANDS**

To be completed by the Applicant:

METER INFORMATION					DOMESTIC SYSTEM		FIRE SYSTEM	
I.D.	QUANTITY	SIZE	TYPE	USE	FLOW, GPM	PRESSURE, PSI	FLOW, GPM	PRESSURE, PSI
A	2	3/4"	POSITIVE DISPLACEMENT	DOMESTIC	30	20		
B								
C								
D								
E								

METER SIZE: 3/8", 1/2", 3/4", 1", 1 1/2", 2", 3", 4", 6", 8", 10", 12", 16"

METER TYPE: POSITIVE DISPLACEMENT, COMPOUND, ELECTROMAGNETIC, ULTRASONIC, TURBINE

METER USE: DOMESTIC, FIRE, COMBINATION

**PEAK DAILY FLOW DEMANDS**

To be completed by the Applicant:

TYPE OF FLOW	SANITARY, GPD	WATER, GPD	STORM, CFS
PROJECT FLOW	1,600	1,600	1.50
EXISTING FLOW	0	0	2.50
NET FLOW	1,600	1,600	NOT REQUIRED

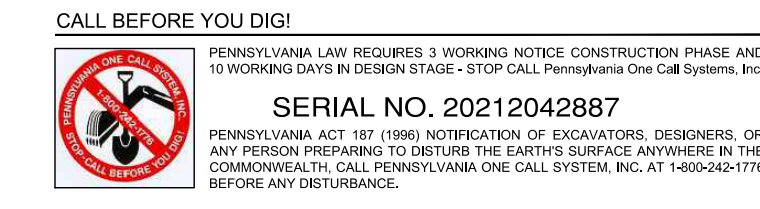
PWSA W&S USE APPROVAL DATE July 16th, 2021  
(If required)

DEP SFPM APPROVAL DATE \_\_\_\_\_  
(If required)

- NOTES:
- INTERNAL SANITARY PIPING AND CONNECTIONS PER ACHD PLUMBING CODE.



PREPARED BY: **KU Resources, Inc.**  
22 South Linden Street  
Duquesne, PA 15110  
412.469.9331  
412.469.9336 fax



EXISTING PWSA ACCOUNT NUMBER: \_\_\_\_\_  
EXISTING PWSA METER NUMBER: \_\_\_\_\_

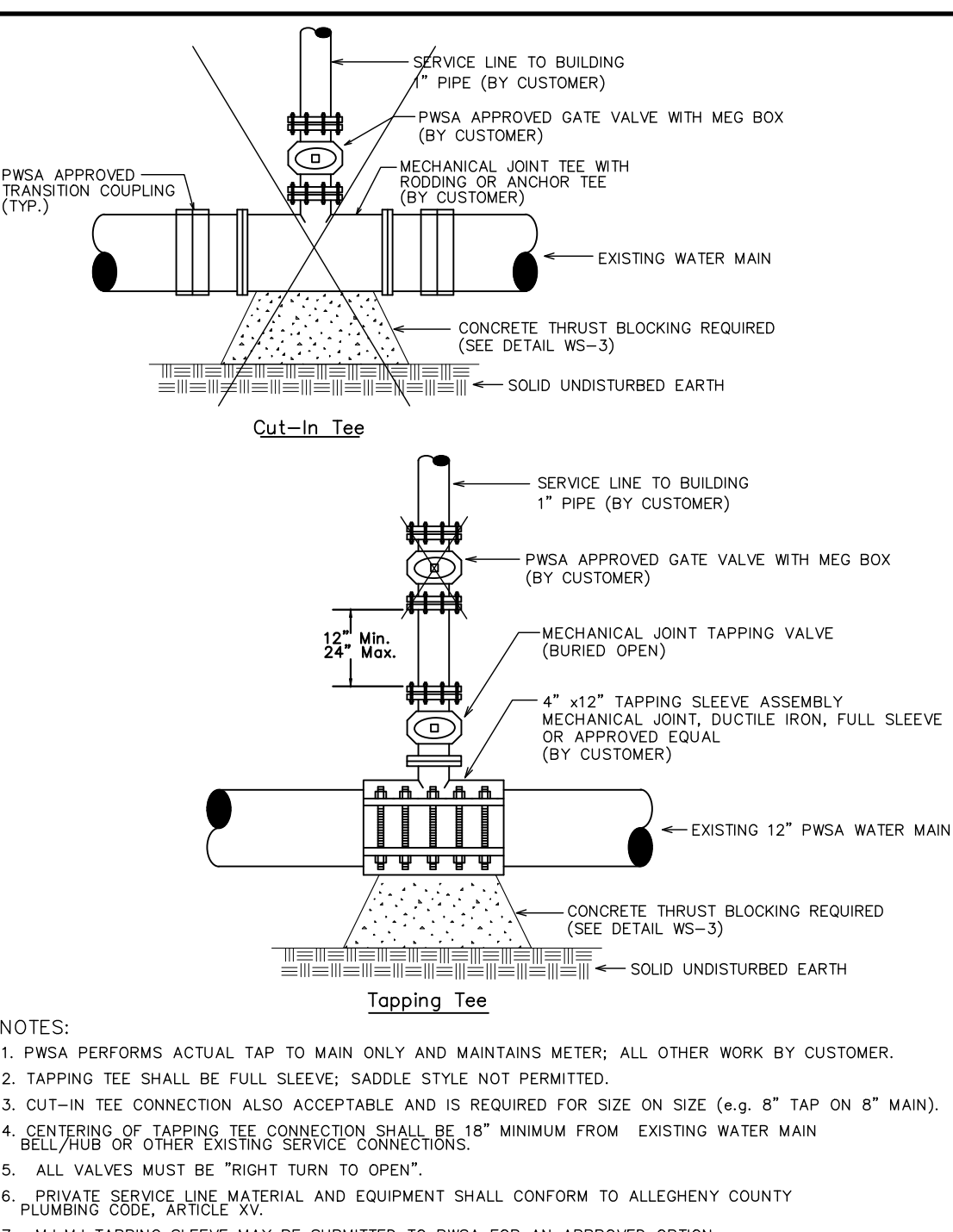
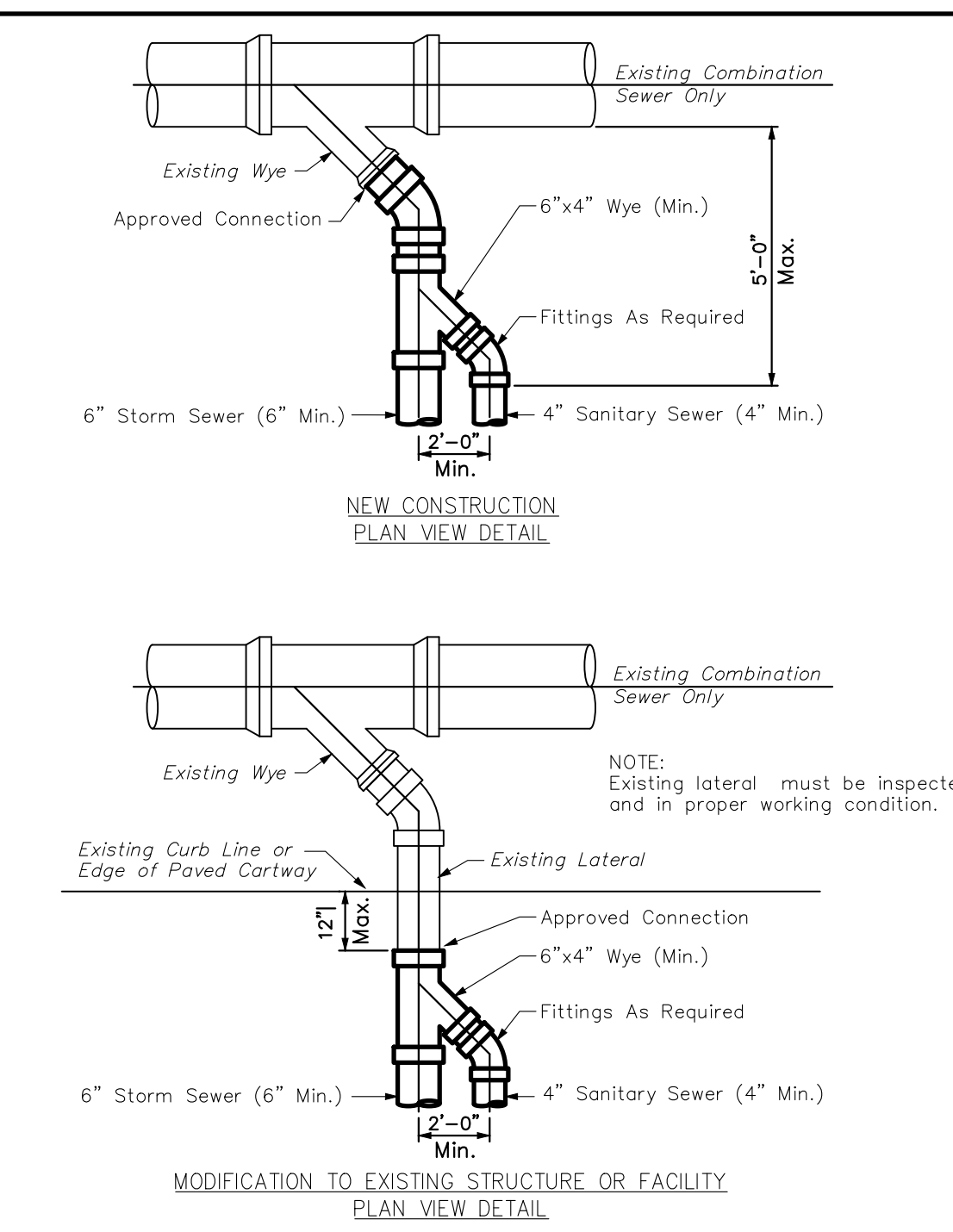
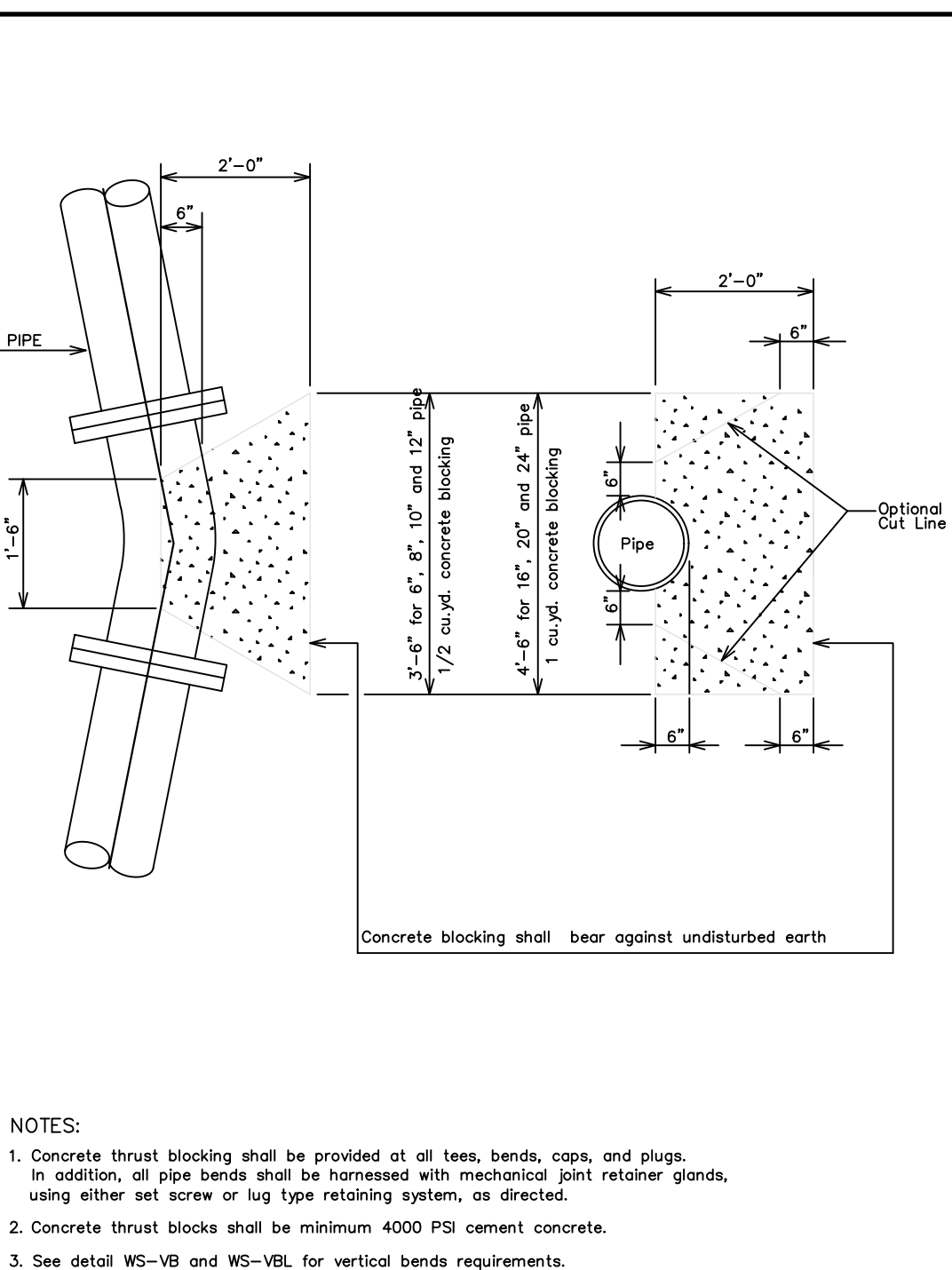
citySTUDIO  
5150 PENN AVENUE  
PITTSBURGH, PA 15224  
WATER & SEWER SERVICE TAP-IN

**RESIDENTIAL DEVELOPMENT**  
NORTH AIKEN AVENUE,  
CITY OF PITTSBURGH  
ALLEGHENY COUNTY PENNSYLVANIA

SCALE: PLAN - 1" = 10'  
DATE: \_\_\_\_\_ SHEET \_\_\_\_\_ ACCESSION NO. \_\_\_\_\_  
REV1: August 2, 2021 1 OF 3 CASE NO. \_\_\_\_\_



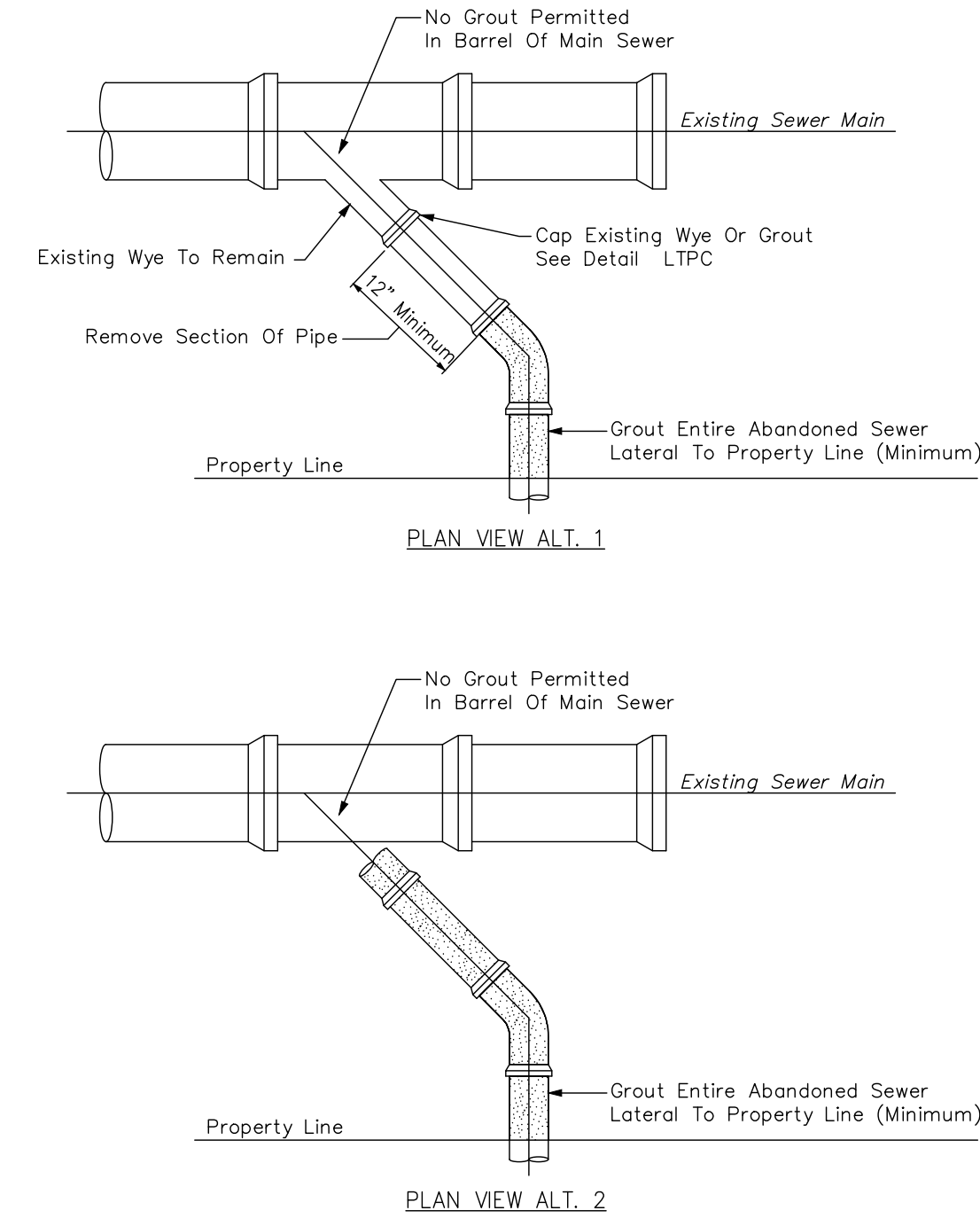
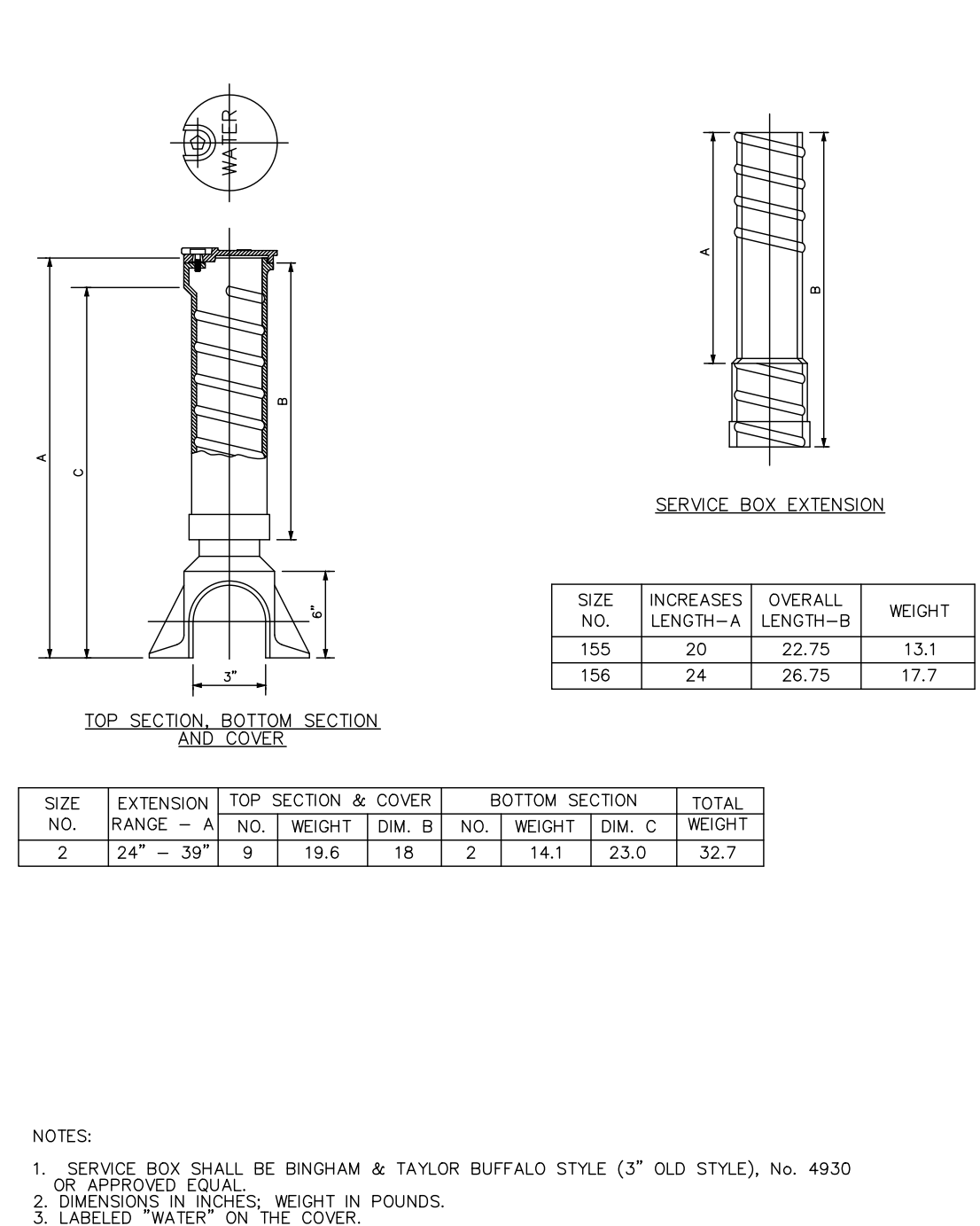
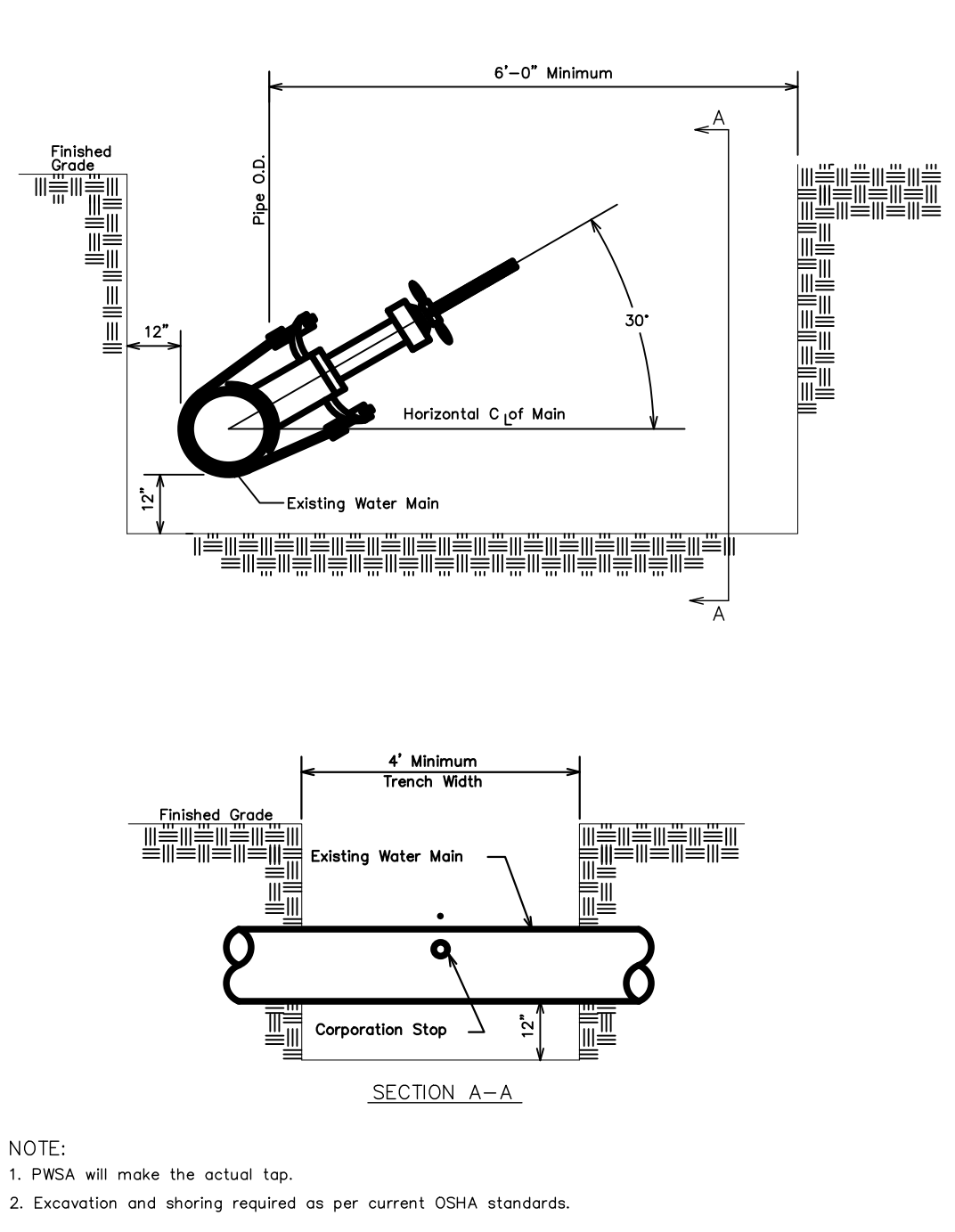
DRAWN BY: SBE 07/09/2019 CAD FILE NUMBER: 24436 PROJECT NUMBER: KURTBOOKOR



REVISIONS	PGH2O	The Pittsburgh Water and Sewer Authority
Approved by:	Pittsburgh Water & Sewer Authority	Scale: N.T.S. Supplemental Detail Drawing: WS-3

REVISIONS	PGH2O	The Pittsburgh Water and Sewer Authority
Approved by:	Pittsburgh Water & Sewer Authority	Scale: N.T.S. Supplemental Detail Drawing: ST-5

REVISIONS	PGH2O	The Pittsburgh Water and Sewer Authority
Approved by:	Pittsburgh Water & Sewer Authority	Scale: N.T.S. Supplemental Detail Drawing: WS-CTT



REVISIONS	PGH2O	The Pittsburgh Water and Sewer Authority
Approved by:	Pittsburgh Water & Sewer Authority	Scale: N.T.S. Supplemental Detail Drawing: WS-C

REVISIONS	PGH2O	The Pittsburgh Water and Sewer Authority
Approved by:	Pittsburgh Water & Sewer Authority	Scale: N.T.S. Supplemental Detail Drawing: WCB-1

REVISIONS	PGH2O	The Pittsburgh Water and Sewer Authority
Approved by:	Pittsburgh Water & Sewer Authority	Scale: N.T.S. Supplemental Detail Drawing: SLT1

**THE PITTSBURGH WATER & SEWER AUTHORITY APPROVAL BLOCK**

To be completed by the Applicant:  
 (Check all that apply)

NEW WATER CONNECTION(S)  
 NEW SEWER CONNECTION(S)  
 REUSE EXISTING WATER CONNECTION(S)  
 REUSE EXISTING SEWER CONNECTION(S)  
 TERMINATE EXISTING WATER CONNECTION(S)  
 TERMINATE EXISTING SEWER CONNECTION(S)  
 PRIVATE CONSTRUCTION OF PUBLIC FACILITIES

To be completed by the PWSA:  
 (Required for ALL approvals)

REVIEWER \_\_\_\_\_

CHIEF OF OPERATIONS \_\_\_\_\_

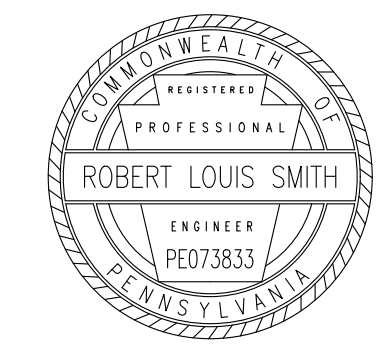
(Required for "Private Construction of Public Facilities" ONLY)

DIRECTOR OF ENGINEERING AND CONSTRUCTION \_\_\_\_\_

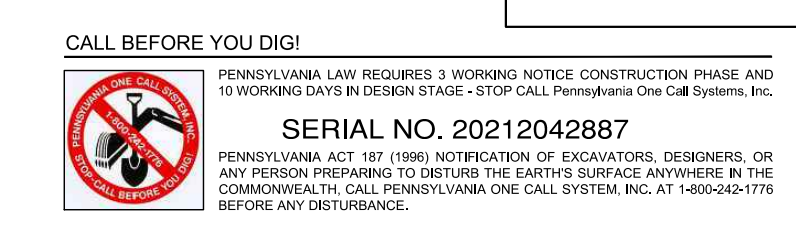
PWSA PROJECT NUMBER 20014.58

TAP C RECORD NUMBER \_\_\_\_\_

Signatures / Approval by PWSA are for the physical connection(s) to the water and/or sewer system only. Responsibility for the design and work depicted by the drawings, including the flow design for the facilities, is by the Professional Engineer shown by the seal and signature affixed to the drawing. The PWSA does not represent or warrant that the water supply to the facilities is sufficient to support the design.



EXISTING PWSA ACCOUNT NUMBER: \_\_\_\_\_  
 EXISTING PWSA METER NUMBER: \_\_\_\_\_



PREPARED BY: **KU Resources, Inc.**  
 22 South Linden Street  
 Duquesne, PA 15110  
 412.469.9331  
 412.469.9336 fax

citySTUDIO  
 5150 PENN AVENUE  
 PITTSBURGH, PA 15224  
 WATER & SEWER SERVICE TAP-IN

**RESIDENTIAL DEVELOPMENT**  
 NORTH AIKEN AVENUE,  
 CITY OF PITTSBURGH  
 ALLEGHENY COUNTY PENNSYLVANIA

SCALE: PLAN - 1" = 10'  
 DATE: \_\_\_\_\_ SHEET: \_\_\_\_\_ ACCESSION NO. \_\_\_\_\_  
 REV1: August 2, 2021 2 OF 3 CASE NO. \_\_\_\_\_



DRAWN BY: SBE 07/09/2019 CAD FILE NUMBER: 24436 PROJECT NUMBER: KURTD000009

**THE PITTSBURGH WATER & SEWER AUTHORITY APPROVAL BLOCK**

To be completed by the Applicant:  
(Check all that apply)

NEW WATER CONNECTION(S)  
 NEW SEWER CONNECTION(S)  
 REUSE EXISTING WATER CONNECTION(S)  
 REUSE EXISTING SEWER CONNECTION(S)  
 TERMINATE EXISTING WATER CONNECTION(S)  
 TERMINATE EXISTING SEWER CONNECTION(S)  
 PRIVATE CONSTRUCTION OF PUBLIC FACILITIES

To be completed by the PWSA:  
(Required for ALL approvals)

REVIEWER \_\_\_\_\_

CHIEF OF OPERATIONS \_\_\_\_\_

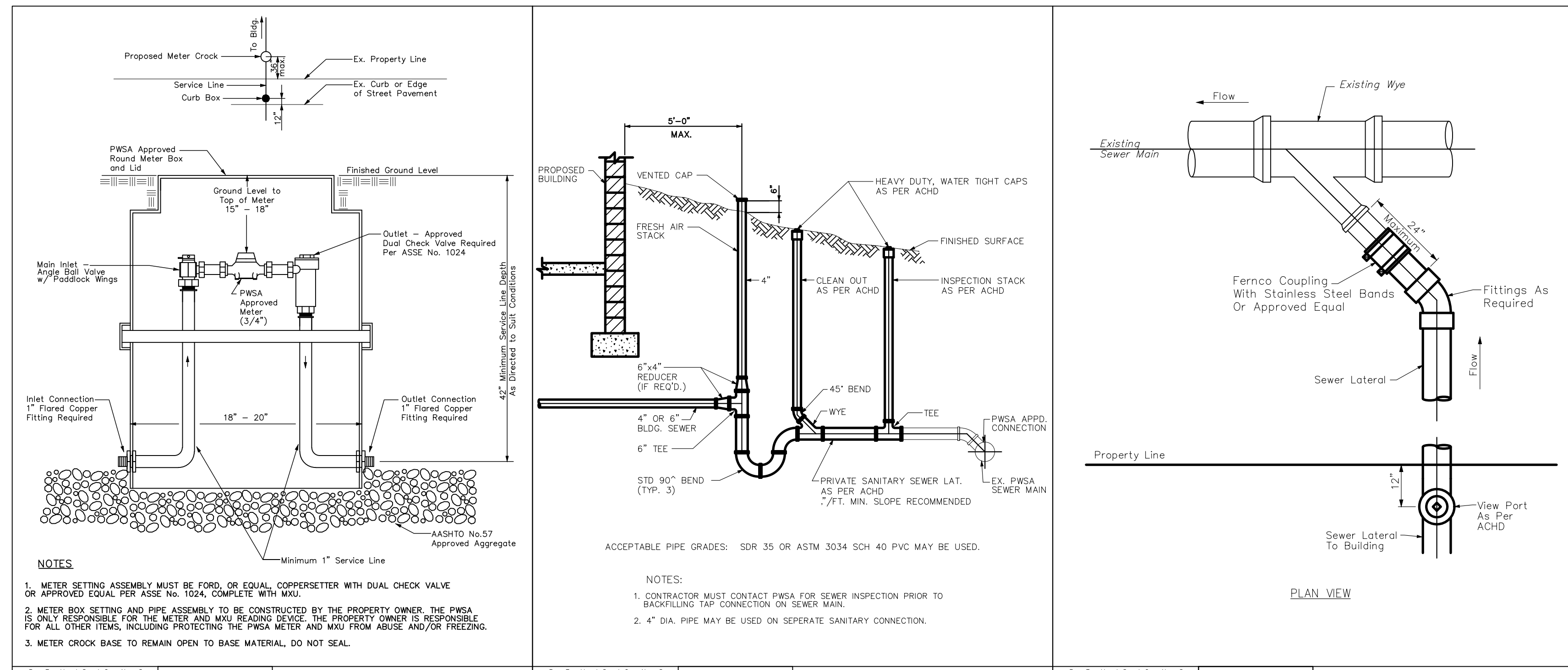
(Required for "Private Construction of Public Facilities" ONLY)

DIRECTOR OF ENGINEERING AND CONSTRUCTION \_\_\_\_\_

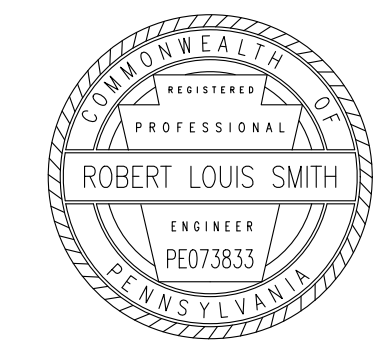
PWSA PROJECT NUMBER 20014.58

TAP C RECORD NUMBER \_\_\_\_\_

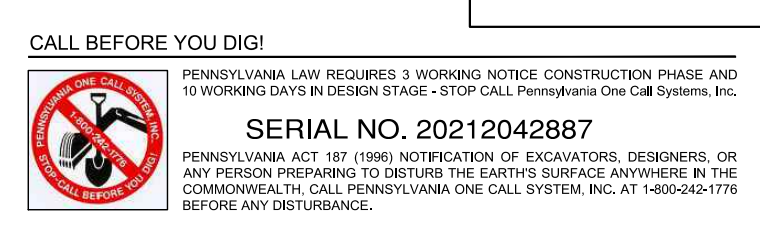
Signatures / Approval by PWSA are for the physical connection(s) to the water and/or sewer system only. Responsibility for the design and work depicted by the drawings, including the flow design for the facilities, is by the Professional Engineer shown by the seal and signature affixed to the drawing. The PWSA does not represent or warrant that the water supply to the facilities is sufficient to support the design.



<p><b>REVISIONS</b></p> <p><b>PGH<sub>2</sub>O</b></p> <p>The Pittsburgh Water and Sewer Authority Residential Domestic Service External Setting S1/8" - 1" Meter</p> <p>Approved by: _____ Pittsburgh Water &amp; Sewer Authority</p> <p>Scale: N.T.S. Supplemental Detail Drawing: <b>YS-SMPR</b></p>	<p><b>REVISIONS</b></p> <p><b>PGH<sub>2</sub>O</b></p> <p>The Pittsburgh Water and Sewer Authority House Sewer Lateral</p> <p>Approved by: _____ Pittsburgh Water &amp; Sewer Authority</p> <p>Scale: N.T.S. Supplemental Detail Drawing: <b>SLD-1</b></p>	<p><b>REVISIONS</b></p> <p><b>PGH<sub>2</sub>O</b></p> <p>The Pittsburgh Water and Sewer Authority Sewer Tap To Existing Sewer Wye</p> <p>Approved by: _____ Pittsburgh Water &amp; Sewer Authority</p> <p>Scale: N.T.S. Supplemental Detail Drawing: <b>ST-2</b></p>
---	--	---



EXISTING PWSA ACCOUNT NUMBER: \_\_\_\_\_  
EXISTING PWSA METER NUMBER: \_\_\_\_\_



PREPARED BY: **KU Resources, Inc.**  
22 South Linden Street  
Duquesne, PA 15110  
412.469.9331  
412.469.9336 fax  
www.kuresources.com

citySTUDIO  
5150 PENN AVENUE  
PITTSBURGH, PA 15224  
WATER & SEWER SERVICE TAP-IN

**RESIDENTIAL DEVELOPMENT  
NORTH AIKEN AVENUE,  
CITY OF PITTSBURGH  
ALLEGHENY COUNTY PENNSYLVANIA**

SCALE: PLAN - 1" = 10'  
DATE: \_\_\_\_\_ SHEET: \_\_\_\_\_ ACCESSION NO. \_\_\_\_\_  
REV1: August 2, 2021 3 OF 3 CASE NO. \_\_\_\_\_

K:\CLIENTS\G151\G151001\G1512102R144 - NORTH AIKEN AVE - PWSA\G151001\PRODUCTION\1512102R144 - TAP IN DETAILS.DWG - Sheet 3

ELORA WAY (20' ROW)

3'-0"  
27'-6"  
12'-2"  
12'-2"  
2'-8"  
12'-7"  
27'-6"  
12'-6"

Primary structure, 15' front, 3' and 0' side setback  
33"x33" AC Condenser, 3' side setback  
33"x33" AC Condenser, 6' side setback  
19'x8.5' parking space, 0' rear, 2' side setback  
19'x8.5' parking space, 0' rear, 5' side setback

233 NORTH AIKEN AVE  
2 STORY SINGLE FAMILY DWELLING

PROPERTY LINE  
BI-FOLD GATES, TYP.  
42'-2"  
9'-0"  
6'-0"  
PROPERTY LINE  
3'-0" 1'-9"

PARKING  
PARKING  
PARKING  
PARKING

AC  
AC  
AC  
AC  
231 - 231 1/2 NORTH AIKEN AVE  
PROPOSED 3 STORY DUPLEX

9'x12.25' first story porch, with roof less than 4' from ceiling to top, per 925.06.A.14

PARKING  
PARKING  
PARKING

AC  
AC  
AC  
227 - 229 NORTH AIKEN AVE  
PROPOSED 3 STORY DUPLEX

9'x12.25' first story porch, with roof less than 4' from ceiling to top, per 925.06.A.14

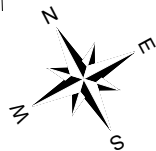
6'6"H Fence, Gate. 0'rear, 0' side setback, typ.  
19'x8.5' parking space, 0' rear, 2' side setback  
19'x8.5' parking space, 0' rear, 5' side setback  
33"X33" AC condenser, 3' side setback  
33"X33" AC condenser, 9' side setback  
Primary structure, 15' front, 3' and 0' side setback

94'-3"  
3'-5"

225 NORTH AIKEN AVE  
2.5 STORY SINGLE FAMILY DWELLING

SIDEWALK  
○ (E) UTILITY POLE

NORTH AIKEN (50' ROW)



# SITE PLAN

227-231 1/2 N AIKEN AVE.  
Pittsburgh, PA

DATE: January 18, 2021

© COPYRIGHT 2021 citySTUDIO, LLC  
5150 Penn Ave. Pittsburgh, PA 15224  
412.345.199 info@citystudiopgh.com





## N AIKEN NEW DUPLEXES

20% DESIGN DEVELOPMENT DRAWING

NOT FOR CONSTRUCTION

ISSUED: FEBRUARY 16, 2021

**PROJECT LOCATION:**  
227-229, 231-231 1/2 N Aiken Ave  
Pittsburgh, PA 15206

**PROJECT OWNER:**  
Odie's Development Company  
123 3rd St  
Oakmont PA 15139

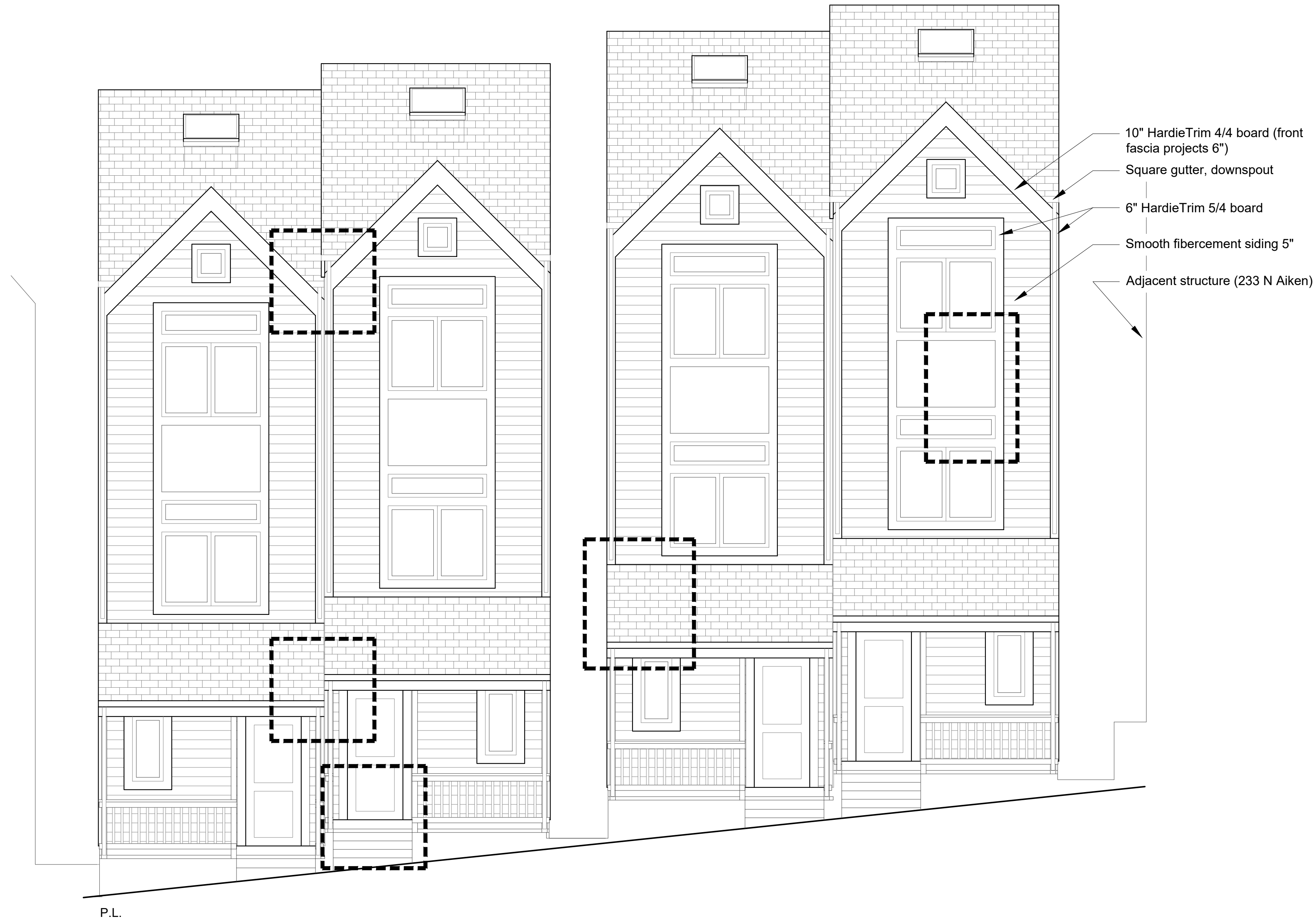
REVISIONS:

DRAWN: IN      CHECKED: RE

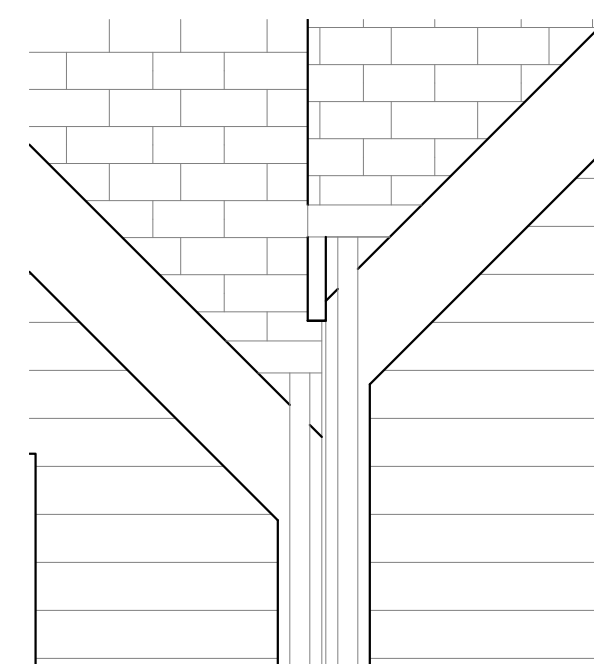
227-231 N AIKEN

# A2.1

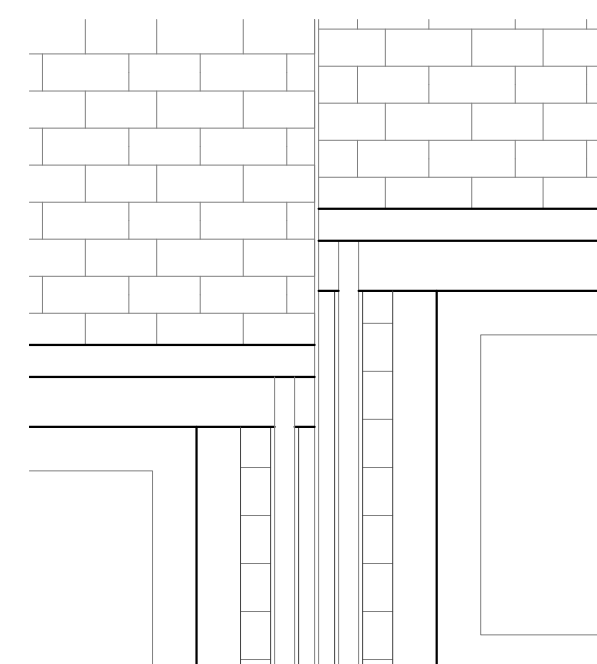
EXTERIOR ELEVATIONS



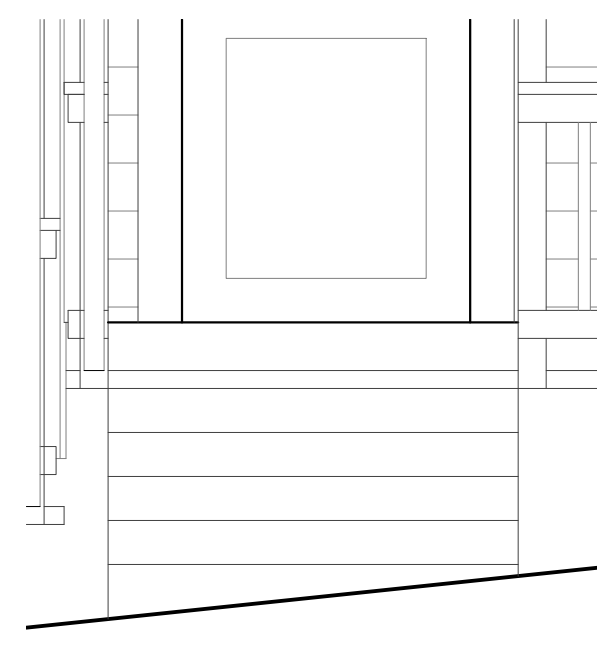
**1** FRONT ELEVATION  
Scale: 1/4"=1'-0"



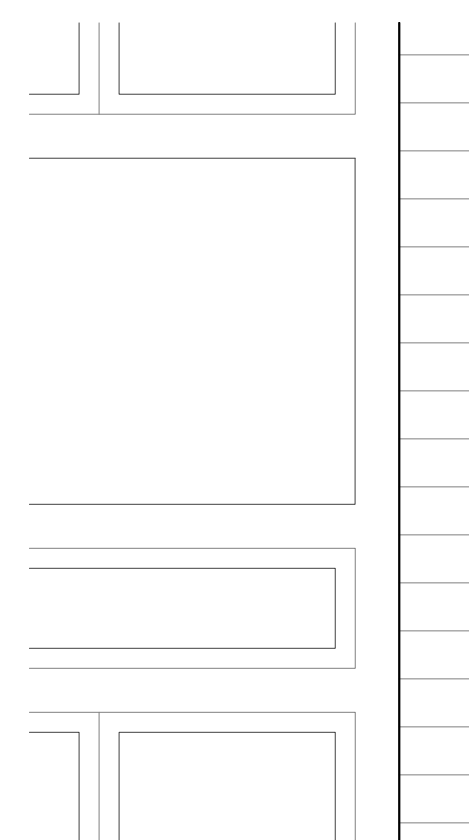
**2** DETAIL  
Scale: 1/2"=1'-0"



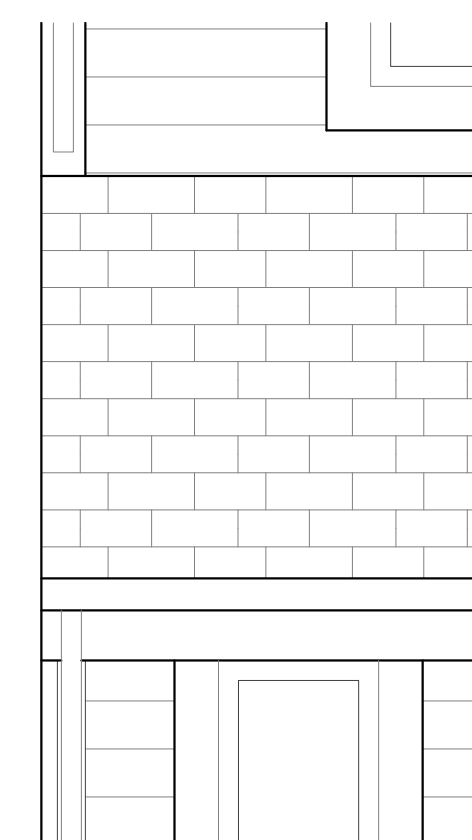
**3** DETAIL  
Scale: 1/2"=1'-0"



**4** DETAIL  
Scale: 1/2"=1'-0"

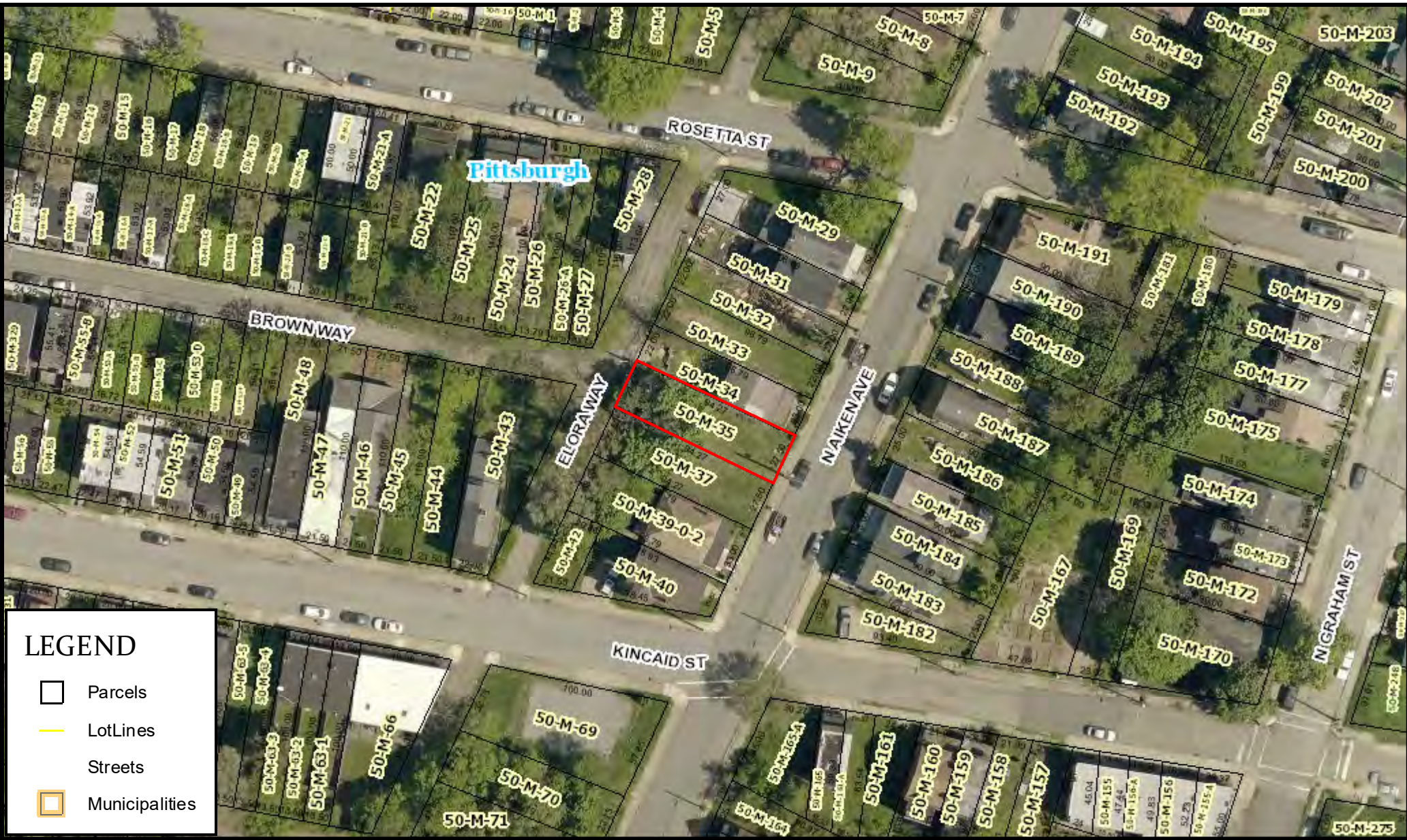


**5** DETAIL  
Scale: 1/2"=1'-0"



**6** DETAIL  
Scale: 1/4"=1'-0"

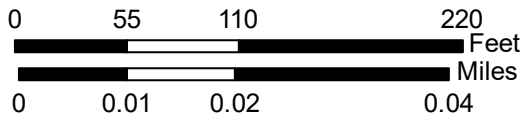




**LEGEND**

- Parcels
- LotLines
- Streets
- ▭ Municipalities

This map is for informational purposes only. Parcel information is provided from the Office of Property Assessments in Allegheny County. Content and availability are subject to change. Property characteristics and values change due to a variety of factors such as court rulings, municipality permit processing and subdivision plans. Excludes name and contact information for property owners, as required by Ordinance 3478-07. For additional information, call the Allegheny County GIS Help Desk at (412) 350-4774 or email at GISHelp@AlleghenyCounty.US.



WGS84 Web Mercator





Parcel ID : 0050-M-00035-0000-00  
 Property Address : 231 N AIKEN AVE  
 PITTSBURGH, PA 15206

Municipality : 110 10th Ward - PITTSBURGH  
 Owner Name : ODIE'S DEVELOPMENT COMPANY

School District :	Pittsburgh	Neighborhood Code :	11003
Tax Code :	Taxable	Owner Code :	Corporation
Class :	Residential	Recording Date :	12/20/2019
Use Code :	VACANT LAND	Sale Date :	12/20/2019
Homestead* :	No	Sale Price :	\$2,000
Farmstead :	No	Deed Book :	17881
Clean And Green	No	Deed Page :	195
Other Abatement :	No	Lot Area :	2,134 SQFT

\* If this property had a recent sale or deed change the 'YES' that is showing may apply to the prior owner.  
 New owners wishing to receive the abatement must apply.  
 The deadline to apply is March 1st of each year.  
 Details may be found on the [County's abatement page](#).

2021 Full Base Year Market Value

2021 County Assessed Value

Land Value	\$25,000	Land Value	\$25,000
Building Value	\$0	Building Value	\$0
Total Value	\$25,000	Total Value	\$25,000

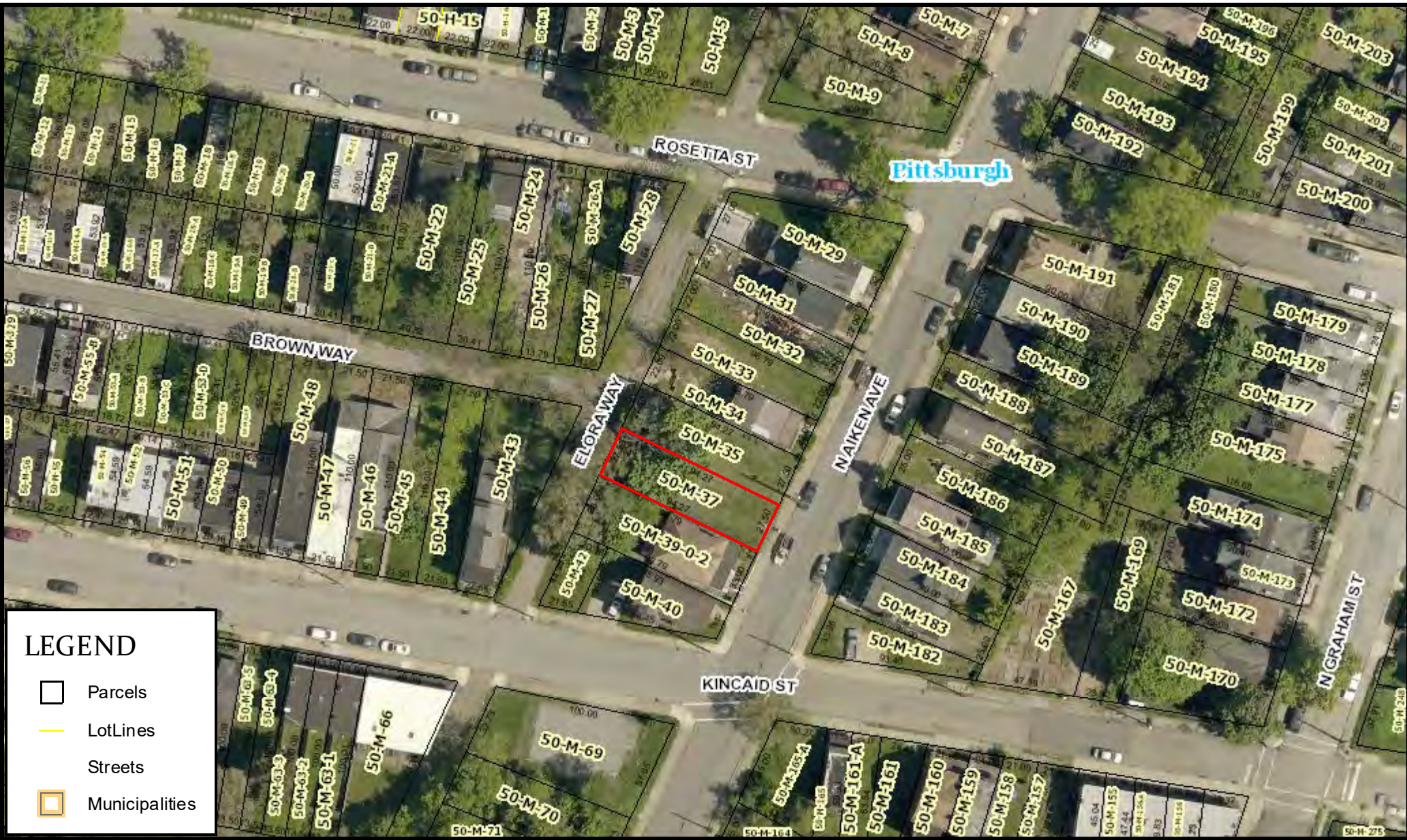
2020 Full Base Year Market Value

2020 County Assessed Value

Land Value	\$25,000	Land Value	\$25,000
Building Value	\$0	Building Value	\$0
Total Value	\$25,000	Total Value	\$25,000

Address Information

Owner Mailing : 123 3RD ST  
 OAKMONT , PA 15139-2169



This map is for informational purposes only. Parcel information is provided from the Office of Property Assessments in Allegheny County. Content and availability are subject to change. Property characteristics and values change due to a variety of factors such as court rulings, municipality permit processing and subdivision plans. Excludes name and contact information for property owners, as required by Ordinance 3478-07. For additional information, call the Allegheny County GIS Help Desk at (412) 350-4774 or email at GISHelp@AlleghenyCounty.US.





Parcel ID : 0050-M-00037-0000-00  
 Property Address : 227 -229 N AIKEN AVE  
 PITTSBURGH, PA 15206

Municipality : 110 10th Ward - PITTSBURGH  
 Owner Name : ODIE'S DEVELOPMENT COMPANY

School District :	Pittsburgh	Neighborhood Code :	11003
Tax Code :	Taxable	Owner Code :	Corporation
Class :	Residential	Recording Date :	12/23/2019
Use Code :	VACANT LAND	Sale Date :	11/19/2019
Homestead* :	No	Sale Price :	\$11,600
Farmstead :	No	Deed Book :	17883
Clean And Green	No	Deed Page :	500
Other Abatement :	No	Lot Area :	3,201 SQFT

\* If this property had a recent sale or deed change the 'YES' that is showing may apply to the prior owner.  
 New owners wishing to receive the abatement must apply.  
 The deadline to apply is March 1st of each year.  
 Details may be found on the [County's abatement page](#).

2021 Full Base Year Market Value

2021 County Assessed Value

Land Value	\$28,700	Land Value	\$28,700
Building Value	\$0	Building Value	\$0
Total Value	\$28,700	Total Value	\$28,700

2020 Full Base Year Market Value

2020 County Assessed Value

Land Value	\$28,700	Land Value	\$28,700
Building Value	\$0	Building Value	\$0
Total Value	\$28,700	Total Value	\$28,700

Address Information

Owner Mailing : 123 THIRD ST  
 OAKMONT , PA 15139-2169

July 16, 2021

Mr. Bob Smith  
KU Resources  
22 South Linden Street  
Duquesne, PA 15110

Subject: Water and Sewer (W&S) Use Approval  
Project Name: 227-231 North Aiken Avenue (Project)  
PWSA Project No.: 20014.58

Dear Bob,

The W&S Use Application for the Project has been approved, as summarized below:

<b>Type of Flow</b>	<b>Sanitary, gpd</b>	<b>Water, gpd</b>	<b>Storm, cfs</b>
<i>Project Flow</i>	1,600	1,600	0.40
<i>Existing Flow</i>	0	0	0.30
<i>Net Flow</i>	1,600	1,600	

The PWSA shall request the Department of Environmental Protection (DEP) to issue a Final Determination on the Need for Sewage Planning. If sewage planning is required, we have enclosed for your use the location of the most limited capacity sewer (MLCS). The hydraulic capacity of the MLCS shall be determined via the following method:

- Peak Flow Depth Measurements (Sanitary Net Flow  $\leq$  4,000 gpd)
- Flow Monitoring (Sanitary Net Flow  $>$  4,000 gpd)

Our review was based on information provided by others under the assumption that this information was accurate and complete. Should you have any questions, please do not hesitate to contact me directly at 412-255-8800 x5523 or SConnell@pgh2o.com.

Sincerely,

Shannon Connell  
Engineer III

Enclosure(s)

cc: Barry King, PE, PMP – PWSA (via email)  
Kate Mechler, PE – PWSA (via email)  
Robert Herring, PE, PMP – PWSA (via email)  
eBuilder – Filing System (via email)





## Water and Sewer (W/S) Use Application Form

**Instructions** The complete W/S Use Application shall be uploaded via e-builder. To obtain an e-builder project folder, please make a request on our website at [www.pgh2o.com/permits](http://www.pgh2o.com/permits). In addition, please refer to the Developer’s Manual for detailed information on application requirements.

- Requirements**
- Application Fee       Application Form       Narrative
- Flow Calculations       Site Plan       Floor Plan

**Project Info**

Project Name: North Aiken Duplexes

Address: 227-229 & 231 N Aiken Ave  
Pittsburgh, PA 15206

Is the Project located on a lot created prior to May 15, 1972?     YES     NO

**Owner/Developer**

Name: Odie's Development Group

Address: 5150 Penn Ave, #300  
Pittsburgh, PA 15224

Email: ryan@citystudiopgh.com

Phone Number: 412-345-1999

**Consultant**

Firm Name: KU Resources

Address: 22 South Linden Street  
Duquesne, PA 15110

Contact Name: Bob Smith

Email: bsmith@kuresources.com

Phone Number: (412) 469-9331

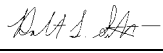
**Flow Data**

Type of Flow	Sanitary, gpd	Water, gpd	Storm, cfs
Project Flow	1600	1600	0.40
Existing Flow	0	0	0.30
Net Flow	1600	1600	Not Required

**Signature**

By signing below, I hereby certify, to the best of my knowledge, that the information provided within the Water and Sewer Use Application is true, complete and accurate.

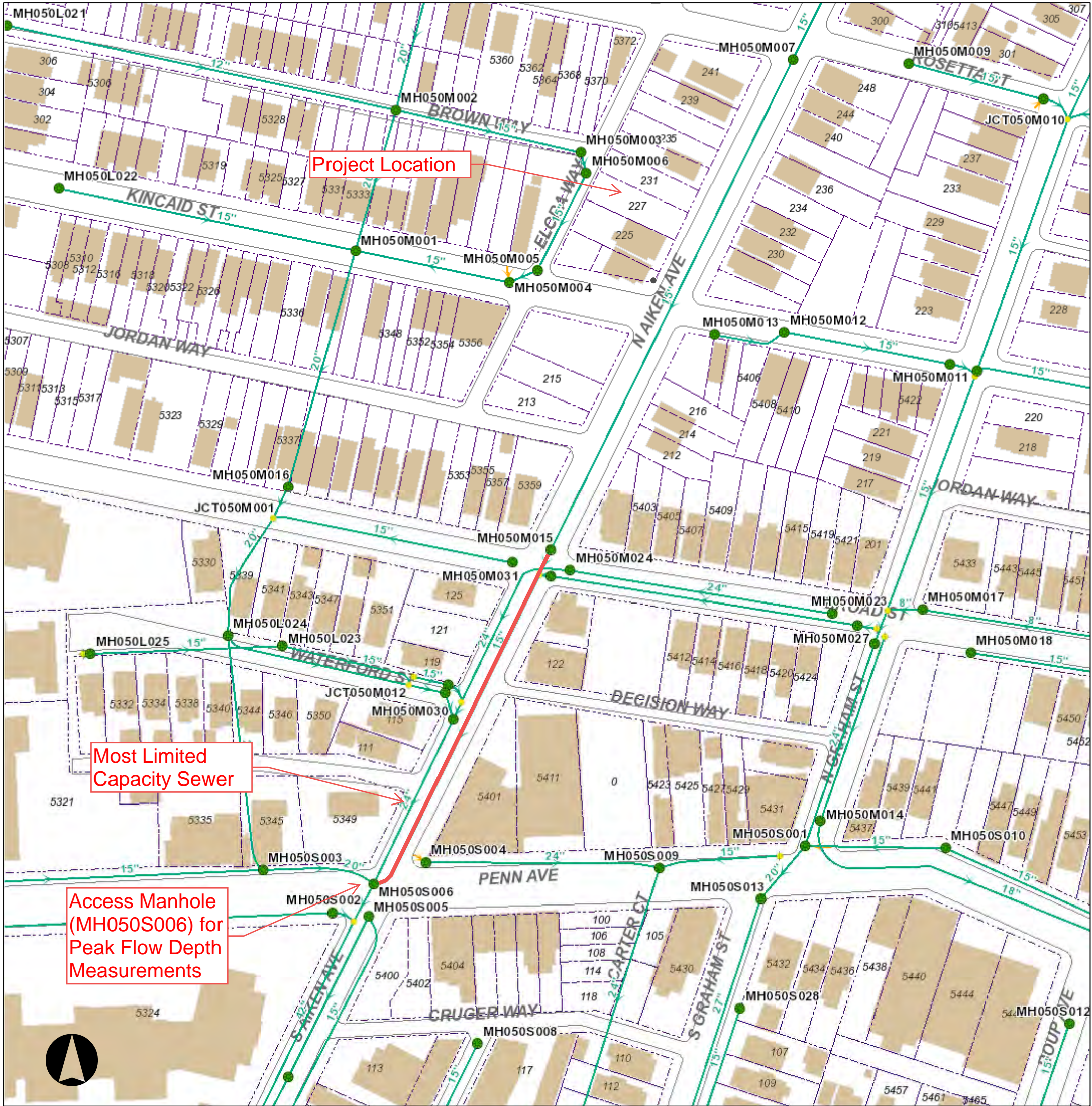
Name, printed: Robert L. Smith

Signature: 

Date: 5/11/2021

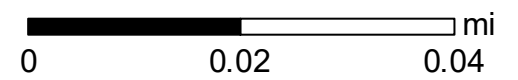


# 227-231 North Aiken Ave MLCS



## Legend

	Meter		Water Manhole		Private Inlet
	Curb Box		Rising Main		Outfall
	Water System Pump		Supply Main		End Cap
	Hydrant		Transmission Main		Sewer Pump Station
	System Valve		Distribution Main		Combined Sewer
	Dividing Pressure Valve		Hydrant Branch		Sanitary Sewer
	Coupling		Private Main		Storm Sewer
	Tee		Water Service Line		Regulated Combined Sewer
	Cross				Overflow Sewer
	Reducer	<b>SEWER</b>			Interceptor
	End Cap		Manhole		Sewer Force Main
	Wash Out		Junction		Private Sewer
			Inlet		Undefined Sewer
			Green Infrastructure Underground Facilities		



Neither the City of Pittsburgh nor the PWSA guarantees the accuracy of any of the information hereby made available, including but not limited to information concerning the location and condition of underground structures, and neither assumes any responsibility for any conclusions or interpretations made on the basis of such information. COP and PWSA assume no responsibility for any understanding or representations made by their agents or employees unless such understanding or representations are expressly set forth in a duly authorized written document, and such document expressly provides that responsibility therefore is assumed by the City or the PWSA.

Date: 7/16/2021



**Most Limited Capacity Sewer (MLCS) Spreadsheet**

<b>PROJECT NAME:</b>	227-231 North Aiken Avenue
<b>PWSA PROJECT NUMBER:</b>	20014.58
<b>PWSA REVIEWER:</b>	Shannon Connell
<b>DATE:</b>	July 15, 2021

**LEGEND:**

Output Data
Input Data
Questionable Data
Hydraulically Limited Sewer

Upstream MH	Downstream MH	Upstream Invert	Downstream Invert	Length, ft	Diam., in.	Material	n	Area, sf	Wetted P, ft	Slope	Flow, gpd
MH050M007	MH050M015	1050.84	989.35	538.51	15	VCP	0.015	1.23	3.927	11.42%	12,259,962
MH050M015	JCT050M002	989.35	980.58	26.91	15	VCP	0.015	1.23	3.927	32.59%	20,712,223
JCT050M002	MH050S006	980.58	953.46	278.82	15	VCP	0.015	1.23	3.927	9.73%	11,315,315
MH050S006	JCT050S002	953.21	952.42	40.98	42	BR	0.016	9.62	10.996	1.93%	73,553,616
JCT050S002	MH050R008	952.42	950.00	514.81	42	VCP	0.015	9.62	10.996	0.47%	38,742,655
MH050R008	MH051C012	950.00	945.33	502.08	42	BR	0.016	9.62	10.996	0.93%	51,091,475
MH051C012	MH051C004	945.33	940.66	511.33	42	BR	0.016	9.62	10.996	0.91%	50,627,241
MH051C004	MH051G011	940.66	918.59	544.13	36	BR	0.016	7.07	9.425	4.06%	70,729,651
MH051G011	MH051G012	918.59	901.78	523.98	36	BR	0.016	7.07	9.425	3.21%	62,903,989
MH051G012	MH051L007	901.78	881.19	512.52	36	BR	0.016	7.07	9.425	4.02%	70,392,186

July 16, 2021

Mr. Thomas Flanagan  
PA Department of Environmental Protection  
Clean Water Program  
400 Waterfront Drive  
Pittsburgh, PA 15222

Subject: Preliminary Determination on the Need for Sewage Planning  
Project Name: 227-231 North Aiken Avenue  
PWSA Project No.: 20014.58

Dear Mr. Flanagan:

Please be advised that the Pittsburgh Water and Sewer Authority has approved the Water and Sewer (W/S) Use Application for the aforementioned Project. We have enclosed the W/S Use Approval Letter and the supporting documentation. The approved sanitary flows are summarized below:

Type of Sanitary Flow	Definition	Flow, gpd
Project Flow	Peak daily flow associated with the Project	1,600
Existing Flow	Peak daily flow within the past five years	0
Net Flow	= Project Flow – Existing Flow	1,600

Please see below for our Preliminary Determination on the Need for Sewage Planning:

- Yes, we believe the Project requires sewage planning  
 No, we believe the Project does not require sewage planning

**Based on the foregoing, please provide a Final Determination on the Need for Sewage Planning.**

Our review was based on information provided by others under the assumption that this information was accurate and complete. Should you have any questions, please do not hesitate to contact me directly at 412-255-8800 x5523 or SConnell@pgh2o.com.

Sincerely,

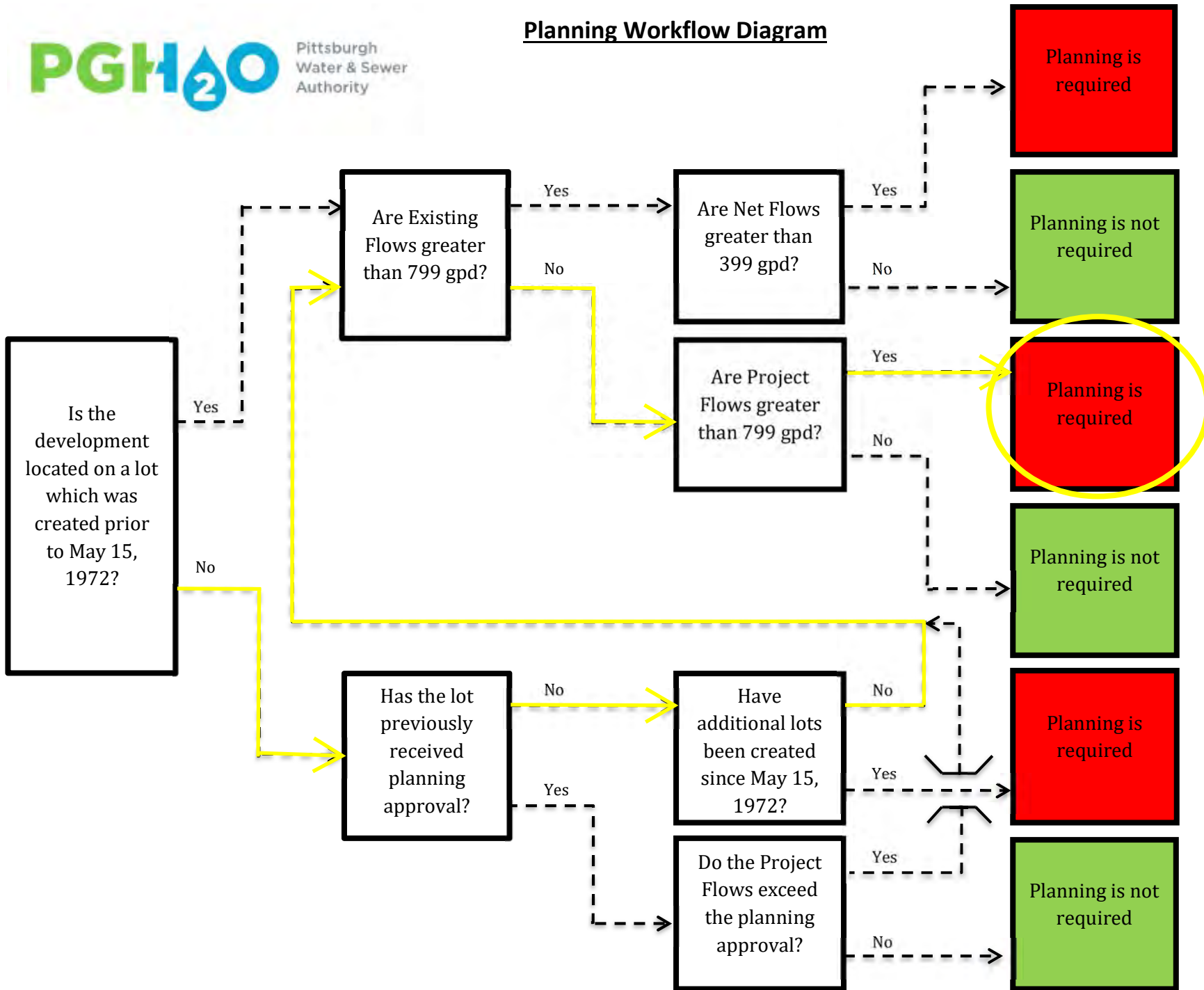
Shannon Connell  
Engineer III

Enclosure(s)

cc: Barry King, P.E. – PWSA (via email)  
Kate Mechler, P.E. – PWSA (via email)  
Robert Herring, P.E. – PWSA (via email)  
Bob Smith – Applicant (via email)  
eBuilder – Filing System (via email)



**Planning Workflow Diagram**





## Water and Sewer (W/S) Use Application Form

**Instructions** The complete W/S Use Application shall be uploaded via e-builder. To obtain an e-builder project folder, please make a request on our website at [www.pgh2o.com/permits](http://www.pgh2o.com/permits). In addition, please refer to the Developer’s Manual for detailed information on application requirements.

- Requirements**
- Application Fee       Application Form       Narrative
- Flow Calculations       Site Plan       Floor Plan

**Project Info**

Project Name: North Aiken Duplexes

Address: 227-229 & 231 N Aiken Ave  
Pittsburgh, PA 15206

Is the Project located on a lot created prior to May 15, 1972?     YES     NO

**Owner/Developer**

Name: Odie's Development Group

Address: 5150 Penn Ave, #300  
Pittsburgh, PA 15224

Email: ryan@citystudiopgh.com

Phone Number: 412-345-1999

**Consultant**

Firm Name: KU Resources

Address: 22 South Linden Street  
Duquesne, PA 15110

Contact Name: Bob Smith

Email: bsmith@kuresources.com

Phone Number: (412) 469-9331

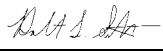
**Flow Data**

Type of Flow	Sanitary, gpd	Water, gpd	Storm, cfs
Project Flow	1600	1600	0.40
Existing Flow	0	0	0.30
Net Flow	1600	1600	Not Required

**Signature**

By signing below, I hereby certify, to the best of my knowledge, that the information provided within the Water and Sewer Use Application is true, complete and accurate.

Name, printed: Robert L. Smith

Signature: 

Date: 5/11/2021



## DESCRIPTION OF PROPOSED DEVELOPMENT

Odie's development group is developing a lot at parcel numbers 50-M-35 & 50-M-37 located in the 10<sup>th</sup> Ward of the City of Pittsburgh, Allegheny County, Pennsylvania. The proposed development will include construction of two (2), 3-story duplexes.

The site is located at 227-229, 231-231½ North Aiken Ave in the Garfield neighborhood of the City of Pittsburgh. See Figure 1 for the Site Location Map and the Existing Conditions Plan. Two duplexes are proposed for construction, each duplex having two units for a total of four units.

According to the Federal Emergency Management Agency, the subject project area does not lie within the regulated floodplain. The existing utilities include a 15-inch combo sewer in North Aiken Ave and 12-inch water line located in North Aiken Avenue.

## EXISTING SANITARY FLOWS

The site is currently a vacant lot and does not have any existing sanitary flows.

## PROPOSED SANITARY FLOWS

All sanitary lines will connect into the existing 15-inch combo sewer line in North Aiken Ave.

The daily sanitary flow estimate was determined by applying PA DEP Code Chapter 73.17 Sanitary Sewage Flow Estimates for the following types of establishments:

- Duplex – 400 gpd/unit

Effluent will ultimately be sent to the Allegheny County Sanitation Authority (ALCOSAN). See the attached Pittsburgh Water and Sewer Authority (PWSA) Sewer System map with the route to ALCOSAN highlighted.

The daily projected sanitary flows are computed as follows (please refer to architectural drawings for floor areas of respective uses):

### 1<sup>st</sup> Duplex

2 units x 400 gpd/unit = **800 gpd**

### 2<sup>nd</sup> Duplex

2 units x 400 gpd/unit = **800 gpd**

**Total = 1,600 gpd (4 EDU's)**

**Based on a comparison of previous and proposed flows, a PADEP Planning Module is anticipated to be required.**

## **STORMWATER CONVEYANCE**

Stormwater management is not needed at this site as 5,000 sf on new impervious surface nor 10,000 sf of land disturbance is proposed. Stormwater will be routed via roof leader connections and tied into the existing sanitary lateral within 5' of the existing combined sewer.

### Pre-development Storm Flows:

$$Q = CIA = 0.7(3.89)(0.11) = 0.30 \text{ cfs}$$

### Post-development Storm Flows:

$$Q = CIA = 0.95(3.89)(0.11) = 0.40 \text{ cfs}$$

## **ALTERNATIVE SEWAGE FACILITIES ANALYSIS**

1. Describe the chosen disposal method, its location, the daily flow proposed and if the method is an interim method (to be replaced by the ultimate method in 5 years or less), or is an ultimate method (to serve the development in the long term, for 5 years or more). Provide a description of how the chosen method will provide compliance with effluent limitations. Also provide the number of lots or EDU's that will be served.

ALCOSAN Treatment Facility. Credit for previous flows have not been considered, therefore there are 4.00 new EDUs.

2. Describe the types of land uses adjacent to the project area (Agricultural, Residential, Commercial etc.) and the type of sewage disposal method serving each of those land uses. Properties adjacent to the project must be described by indicating present land uses and zoning designations. Describe the sewage disposal methods being used for each of those adjacent land uses (onlot, municipal treatment, etc.) and if those methods are intended for interim or ultimate use.

The adjacent land uses are a mix of residential and commercial. Sanitary flows from the existing location ultimately flow into the same interceptor.

3. Indicate if the sewage facilities described in (2) are in need of improvement due to noncompliance with effluent limitations, high rates of on-lot malfunction or overloaded public sewers. Is there a potential for a combined public/private project?



No potential for combined public/private project.

4. Determine and indicate what sewage disposal method is proposed for the development area in the municipality's Official Sewage Facilities Plan (such as: on-lot disposal systems, public sewers, etc.).

Public sewers (ALCOSAN).

5. Describe any existing sewage management program(s) in the area, and/or any sewage management program(s) that this project would be required to participate in, and that program's requirements.

ALCOSAN's Wet Weather Plan (WWP).

6. Describe any potential alternative sewage disposal methods that are available for the project. Consider all reasonable possibilities for sewage disposal, such as a stream discharge or an alternate method of land disposal. The municipality, delegated local agency or DEP may also require consideration of particular types of sewage disposal methods in the analysis. The chosen method must assure that applicable water quality standards are attained.

None.

7. Describe why the proposed method was chosen over any of the other methods described in the alternatives analysis. Environmental, administrative, and financial concerns may be addressed. Also indicate how the chosen method will guarantee adequate sewage disposal, including compliance with applicable water quality standards and effluent limitations, for the development in both the short-term (up to 5 years) and long-term (beyond 5 years) by describing the adequacy of the proposed facilities (organic and hydraulic loading) and the ability of the facility to accept additional flows or loads.

NA

8. Indicate who will be the owner of the facility, and who will be responsible for operation and maintenance of the facility and ultimately compliance with applicable water quality standards and effluent limitations.

Public sewers (ALCOSAN).

9. Finally, the applicant may use the narrative to describe any special considerations or provide any additional information that supports the choice of disposal method. The alternatives analysis must be attached to the planning module package for review by the municipality and approving agency.

NA





# N AIKEN NEW DUPLEXES

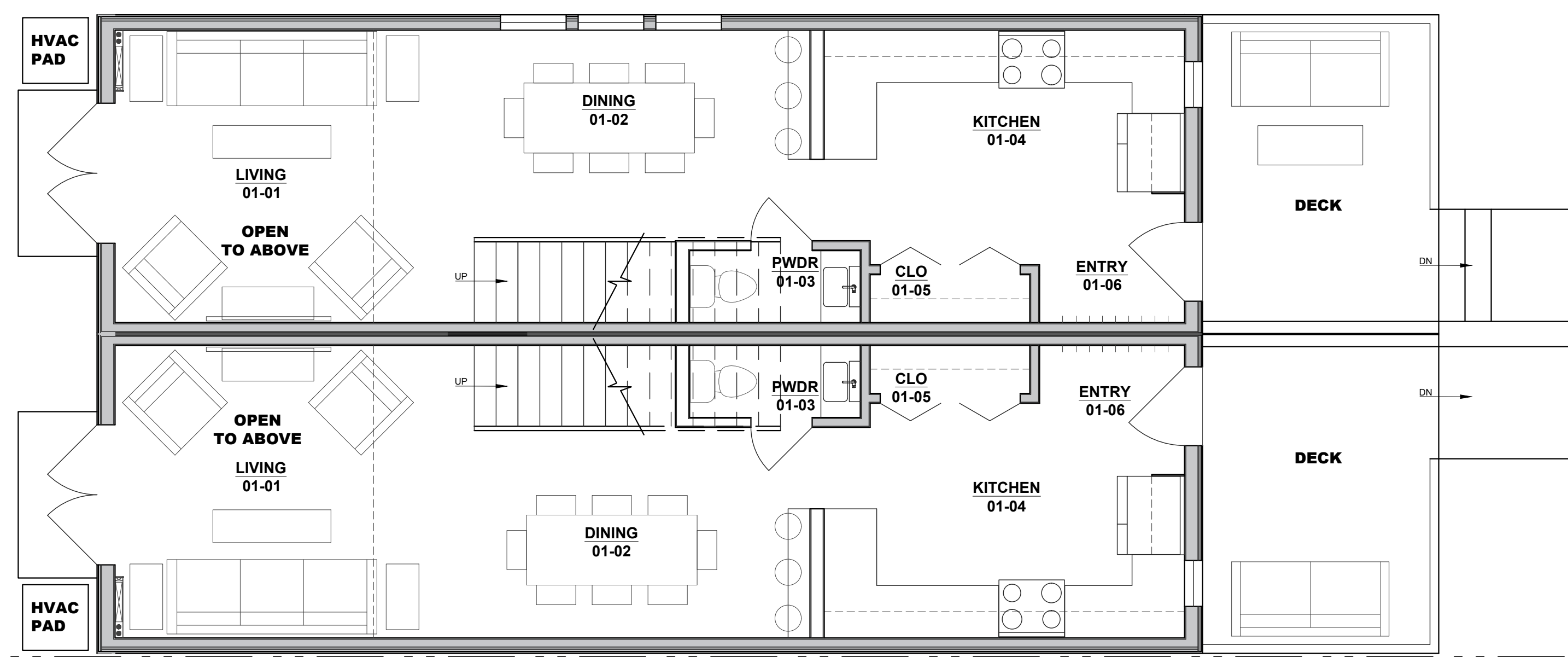
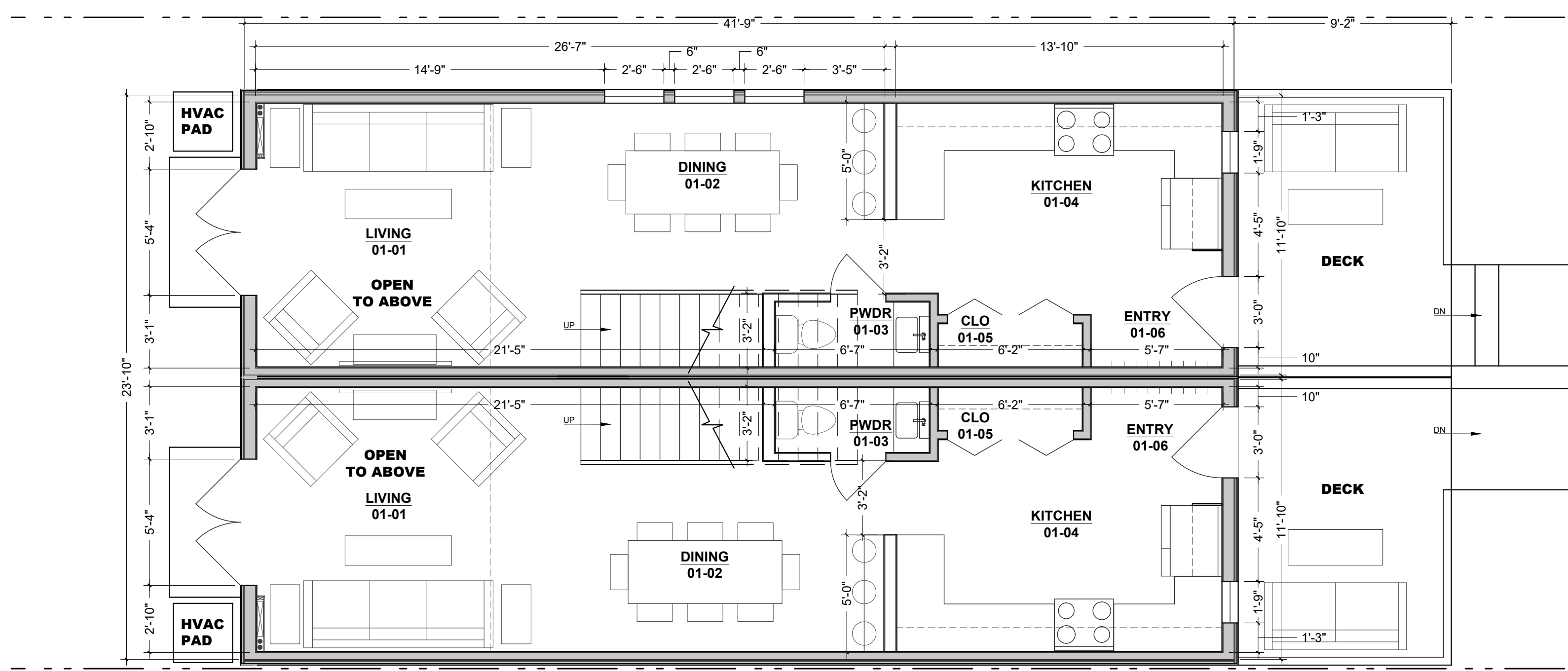
20% DESIGN DEVELOPMENT DRAWING

NOT FOR CONSTRUCTION

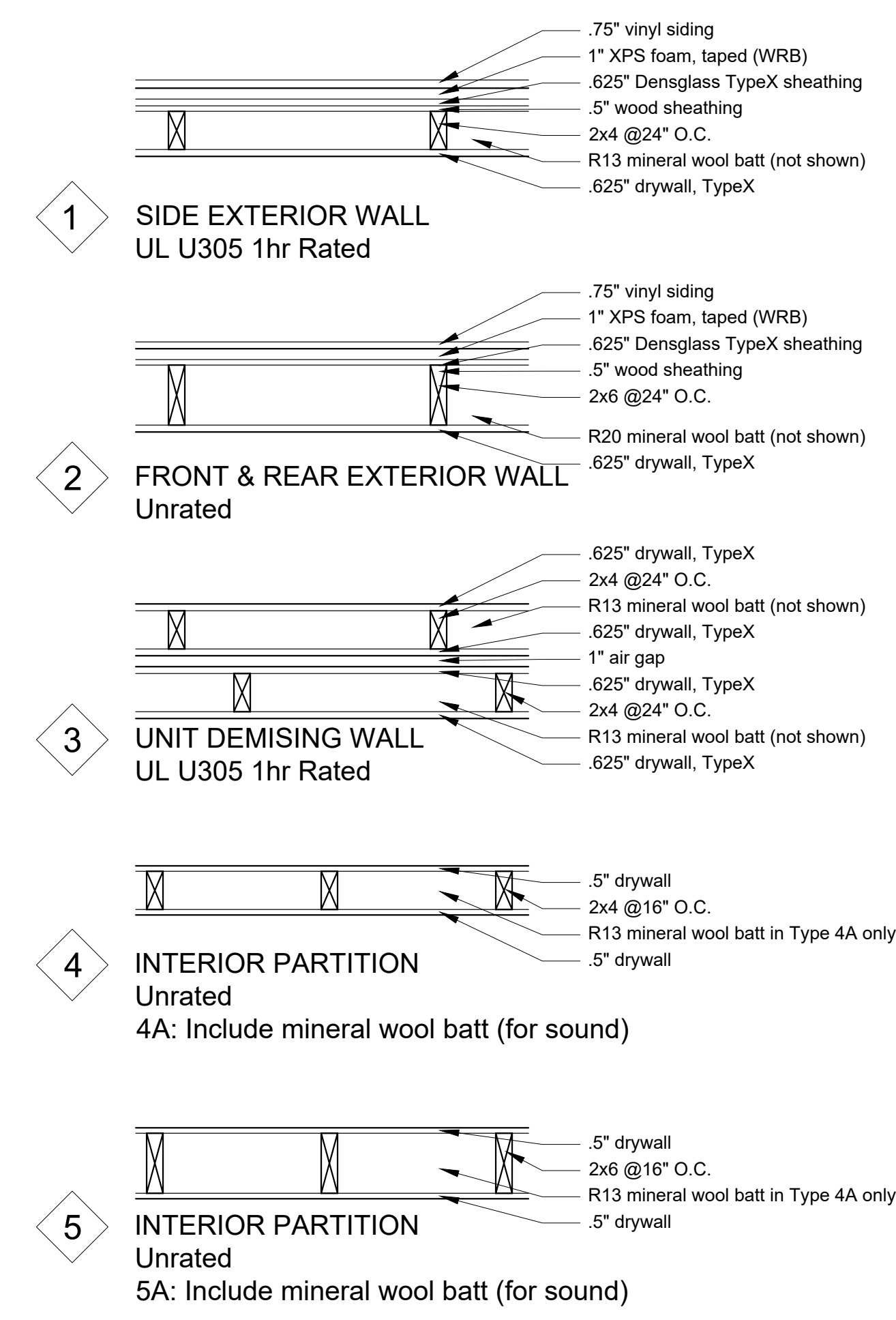
ISSUED: FEBRUARY 16, 2021

**PROJECT LOCATION:**  
227-229, 231-231 1/2 N Aiken Ave  
Pittsburgh, PA 15206

**PROJECT OWNER:**  
Odie's Development Company  
123 3rd St  
Oakmont PA 15139



**1 FIRST FLOOR PLAN**  
Scale: 1/4"=1'-0"



**WALL ASSEMBLIES**  
Scale: 1"=1'-0"

REVISIONS:

DRAWN: IN      CHECKED: RE



## N AIKEN NEW DUPLEXES

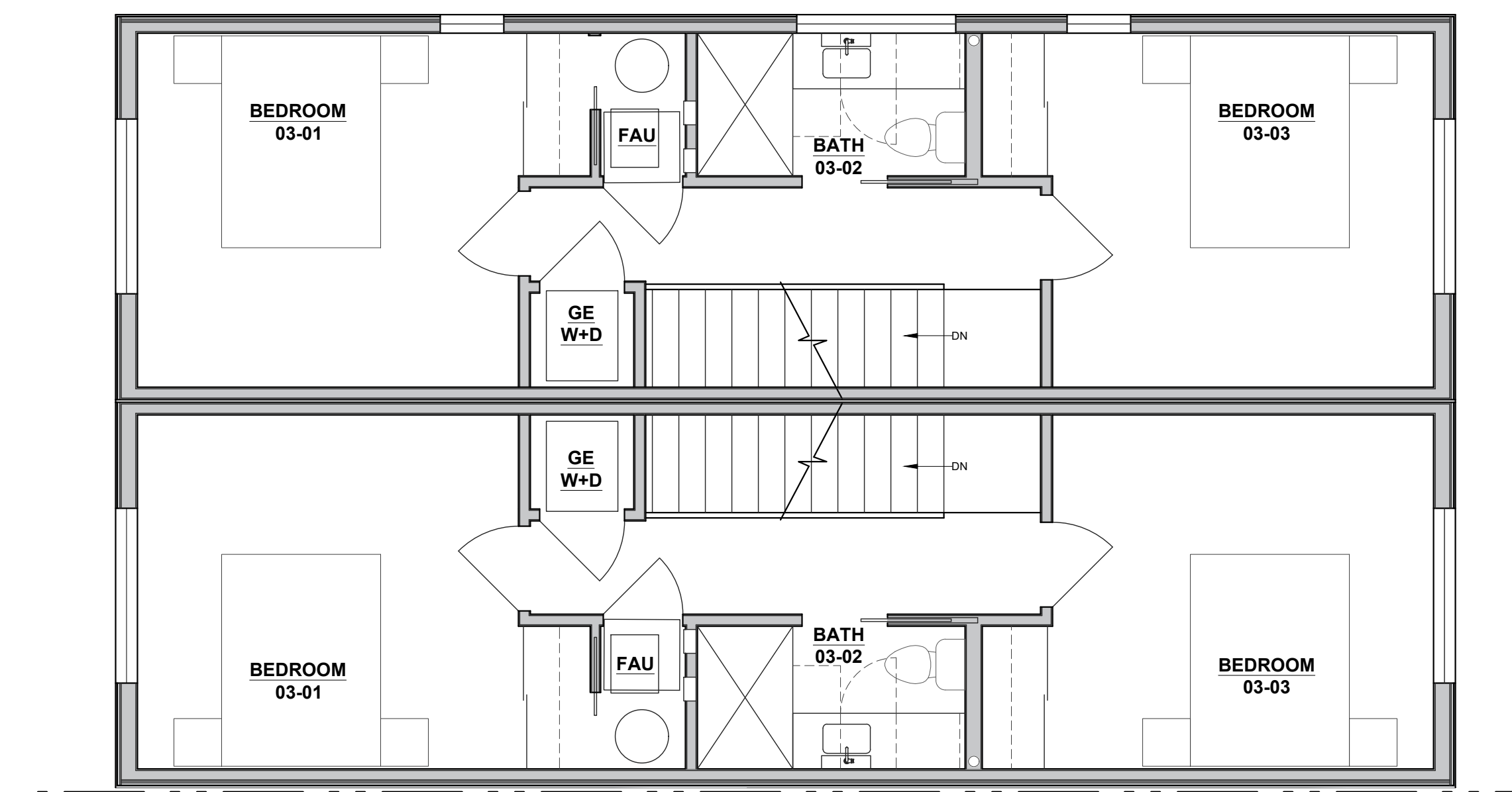
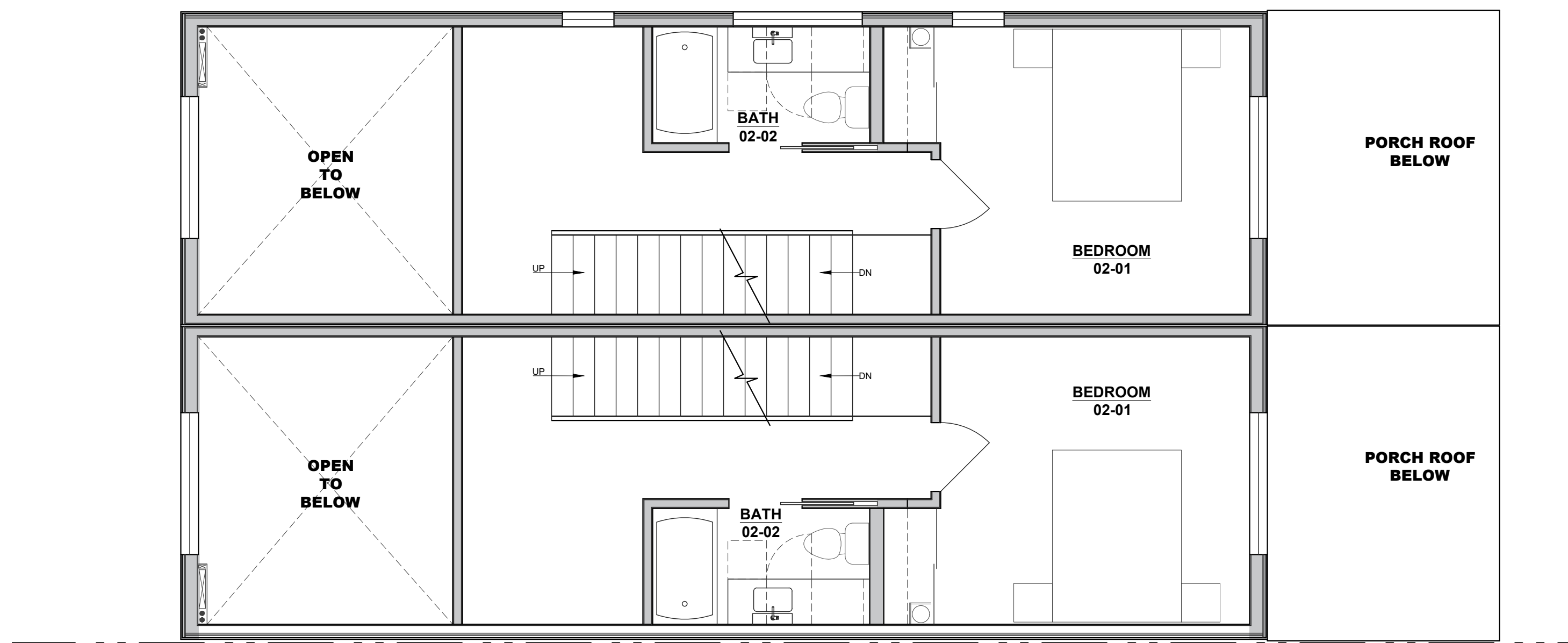
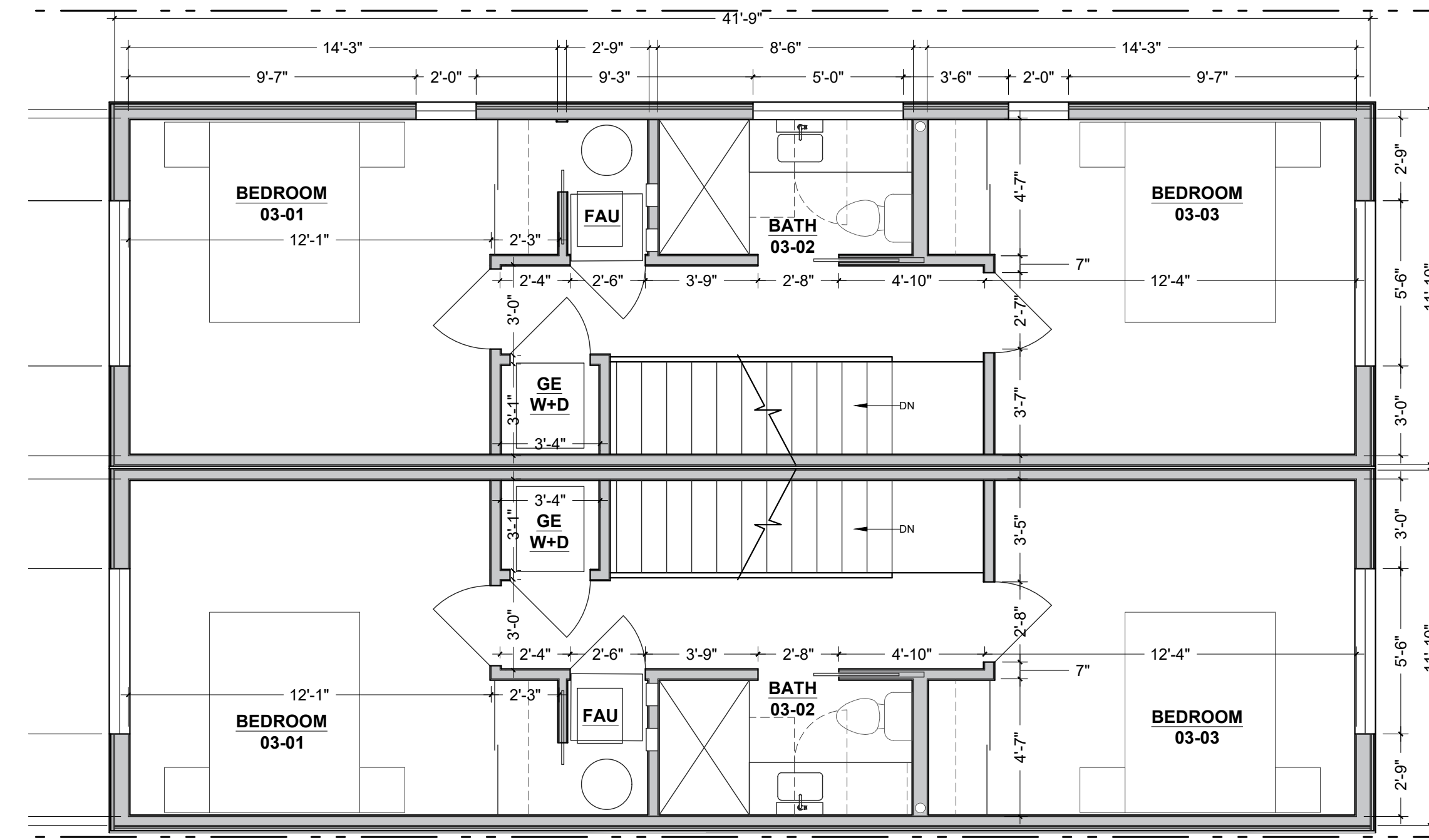
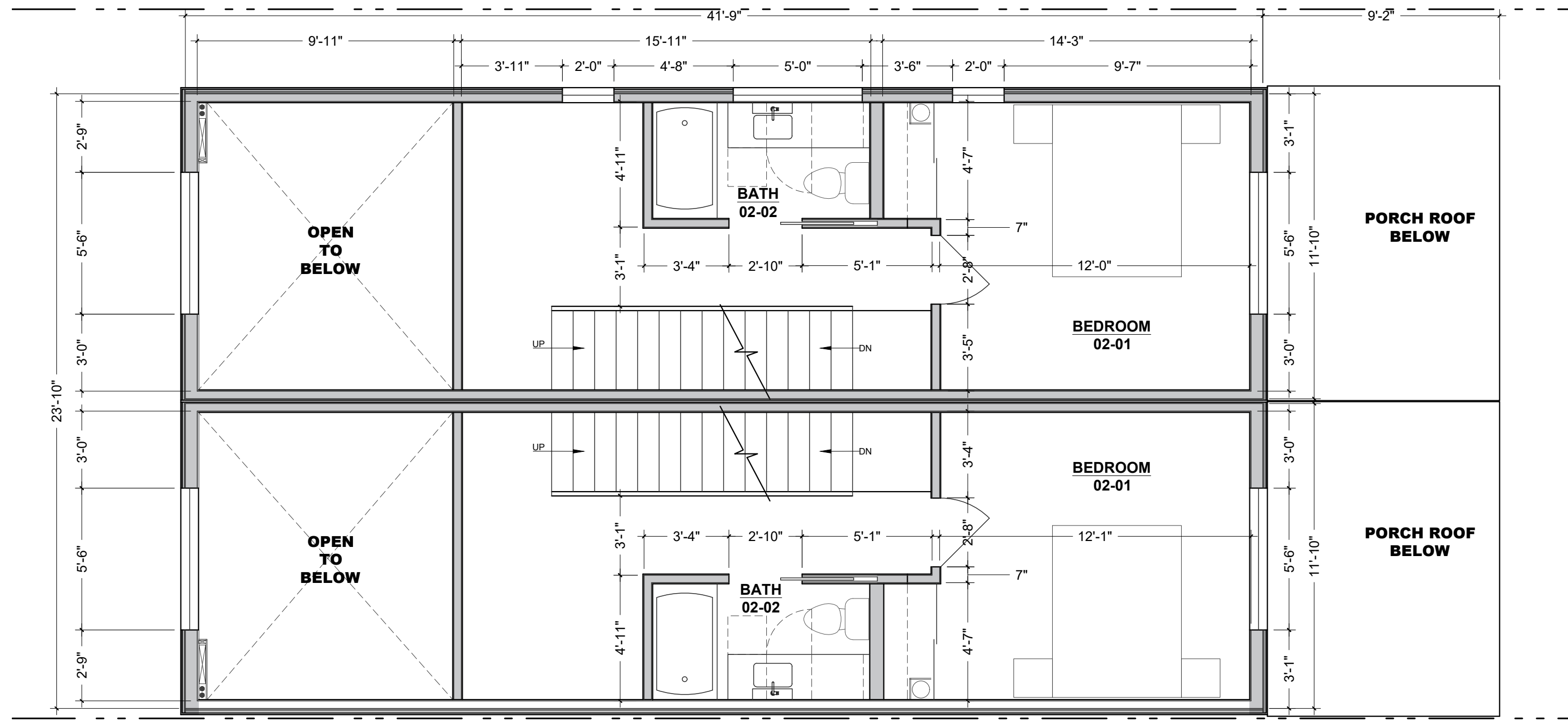
20% DESIGN DEVELOPMENT DRAWING

NOT FOR CONSTRUCTION

ISSUED: FEBRUARY 16, 2021

PROJECT LOCATION:  
227-229, 231-231 1/2 N Aiken Ave  
Pittsburgh, PA 15206

PROJECT OWNER:  
Odie's Development Company  
123 3rd St  
Oakmont PA 15139



**1** SECOND FLOOR PLAN  
Scale: 1/4"=1'-0"

**2** THIRD FLOOR PLAN  
Scale: 1/4"=1'-0"

REVISIONS:

DRAWN: IN      CHECKED: RE

227-231 N AIKEN

# A1.2

FLOOR PLANS

# N AIKEN NEW DUPLEXES

20% DESIGN DEVELOPMENT DRAWING

NOT FOR CONSTRUCTION

ISSUED: FEBRUARY 16, 2021

**PROJECT LOCATION:**  
227-229, 231-231 1/2 N Aiken Ave  
Pittsburgh, PA 15206

**PROJECT OWNER:**  
Odie's Development Company  
123 3rd St  
Oakmont PA 15139

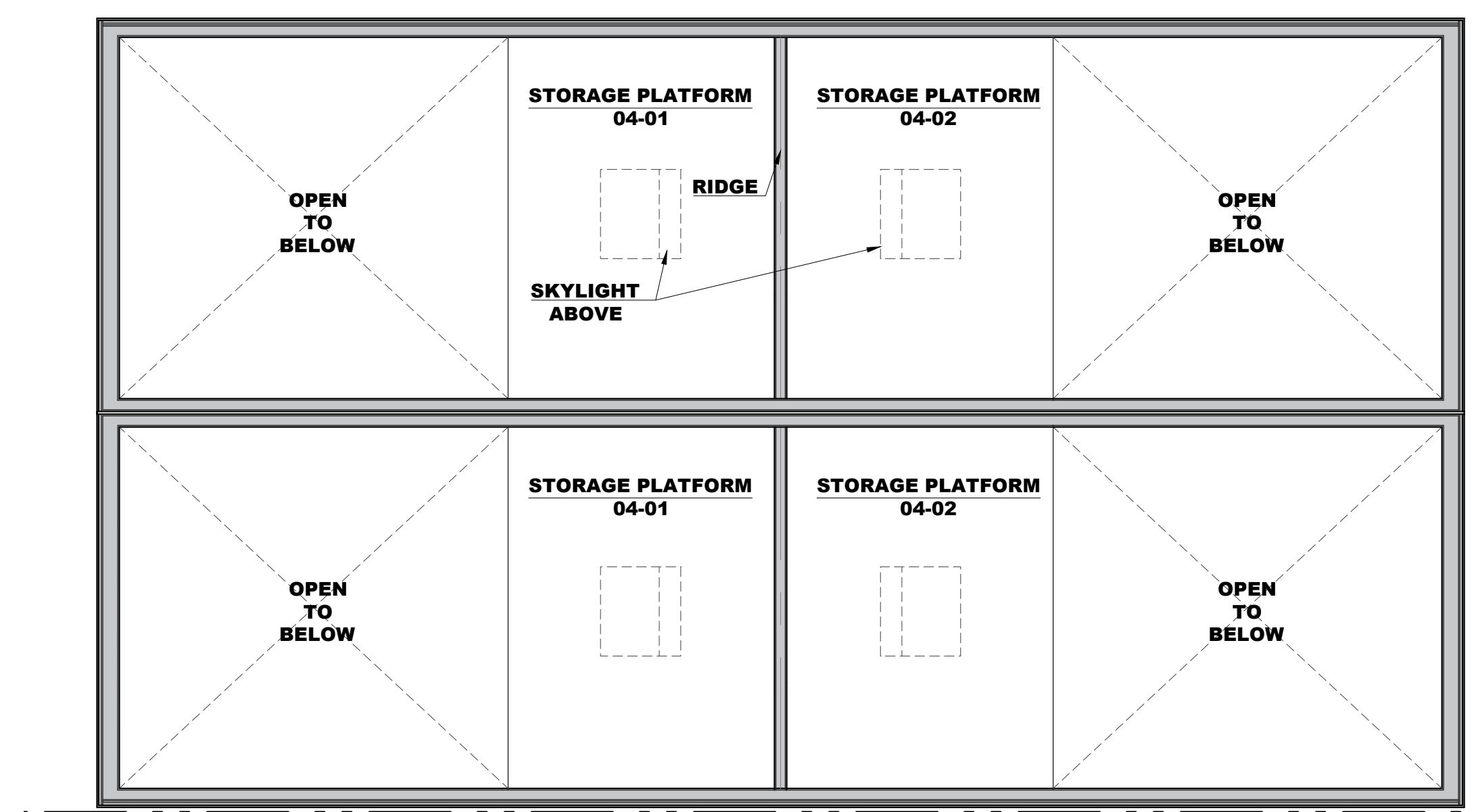
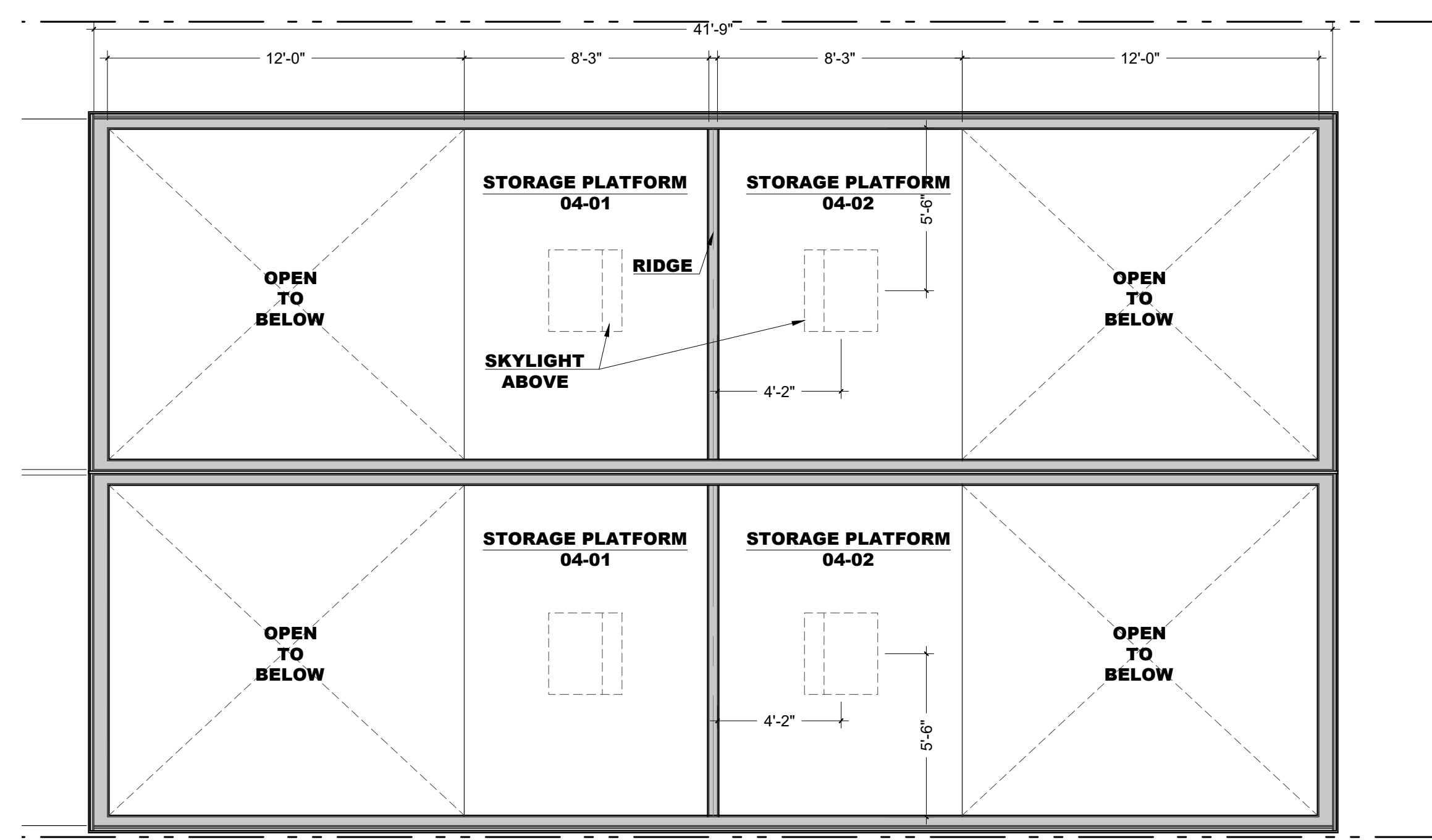
REVISIONS:

DRAWN: IN      CHECKED: RE

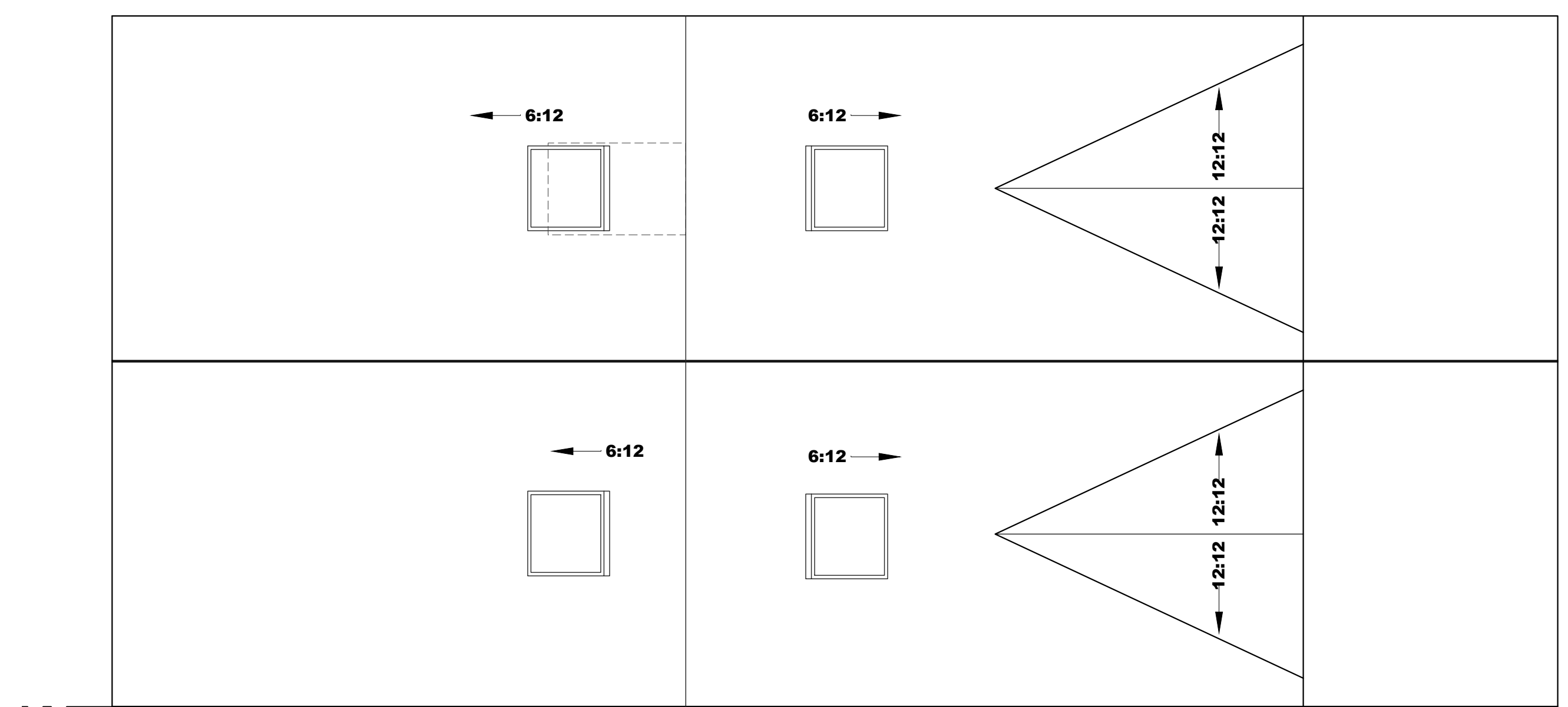
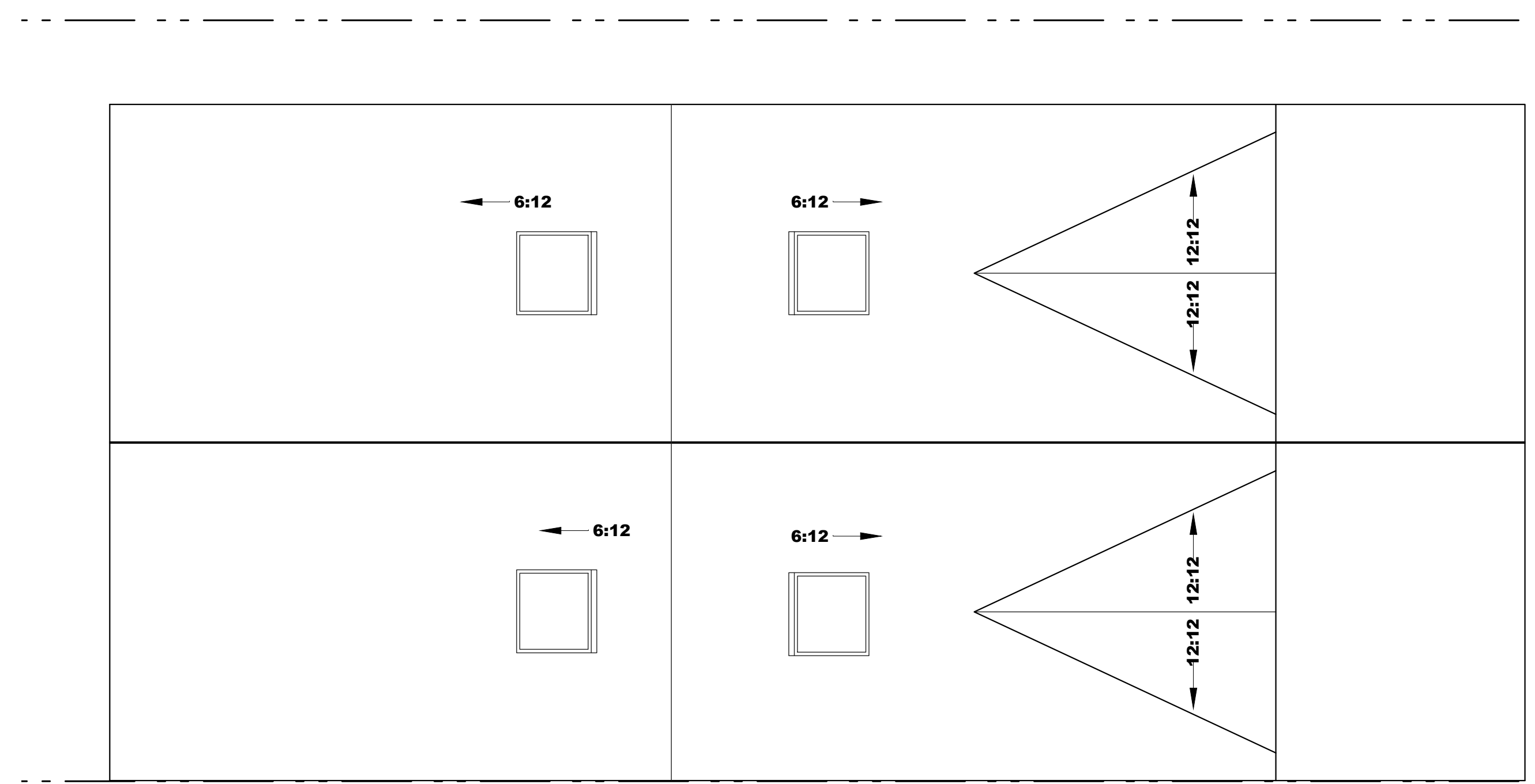
227-231 N AIKEN

# A1.3

FLOOR PLANS



**1** ATTIC PLAN  
Scale: 1/4"=1'-0"



**2** ROOF PLAN  
Scale: 1/4"=1'-0"



## N AIKEN NEW DUPLEXES

20% DESIGN DEVELOPMENT DRAWING

NOT FOR CONSTRUCTION

ISSUED: FEBRUARY 16, 2021

PROJECT LOCATION:  
227-229, 231-231 1/2 N Aiken Ave  
Pittsburgh, PA 15206

PROJECT OWNER:  
Odie's Development Company  
123 3rd St  
Oakmont PA 15139

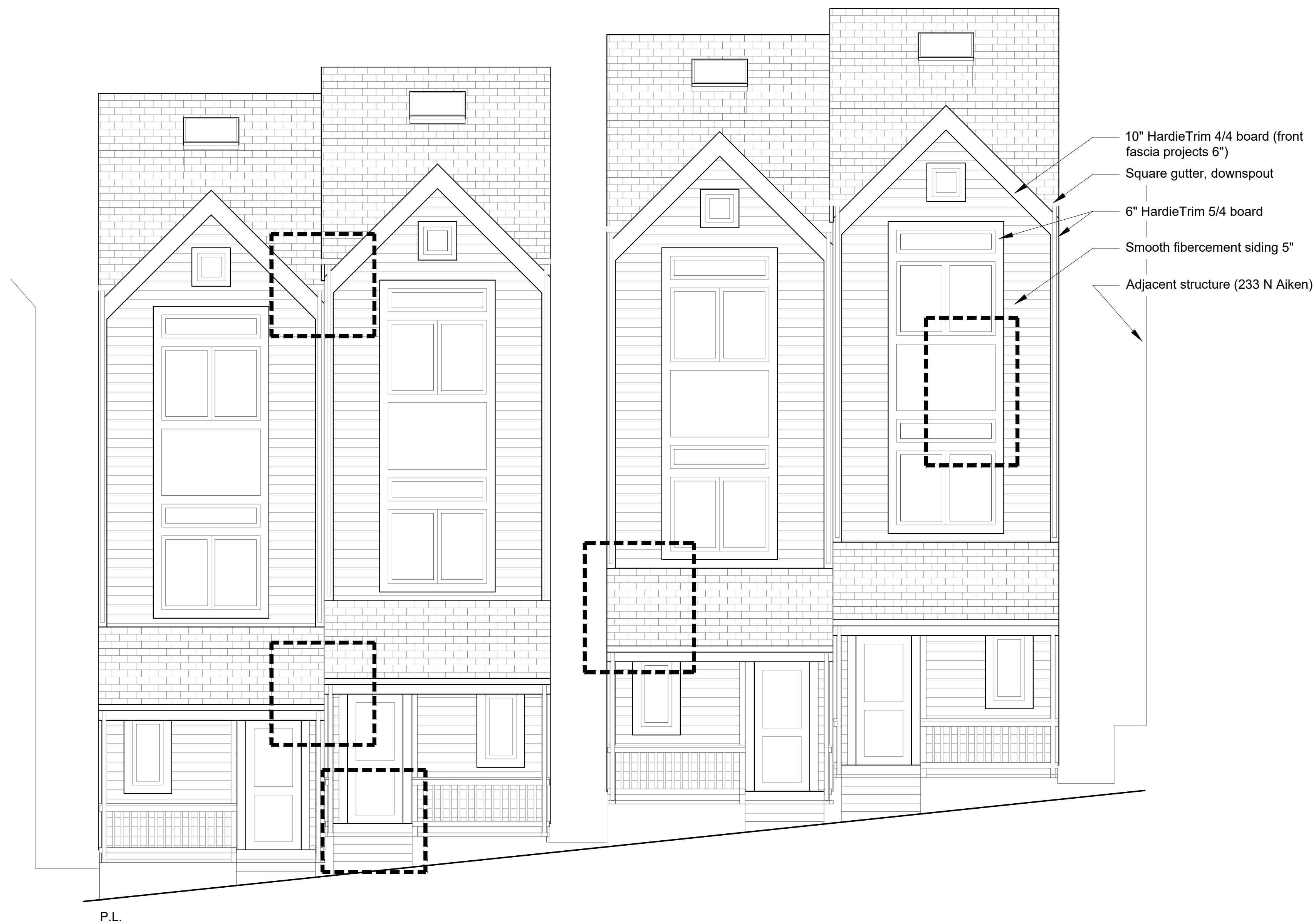
REVISIONS:

DRAWN: IN      CHECKED: RE

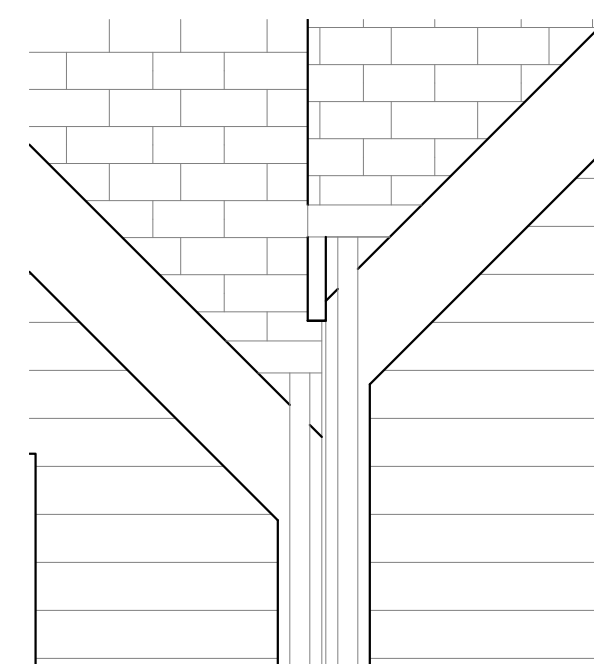
227-231 N AIKEN

# A2.1

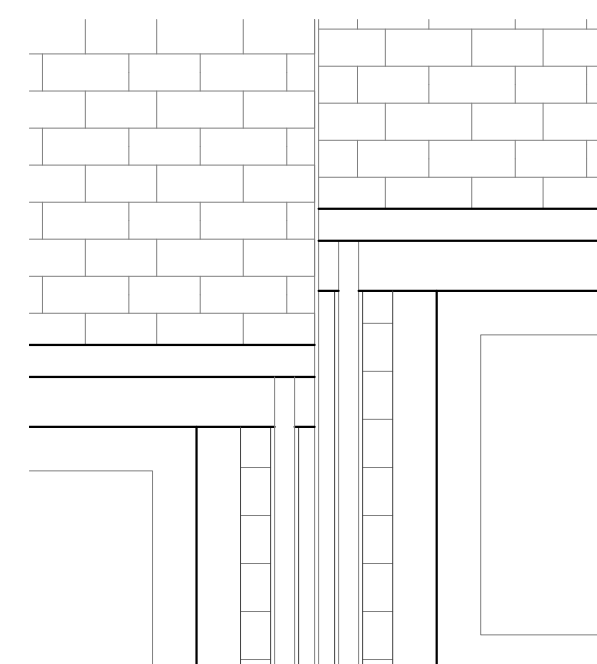
EXTERIOR ELEVATIONS



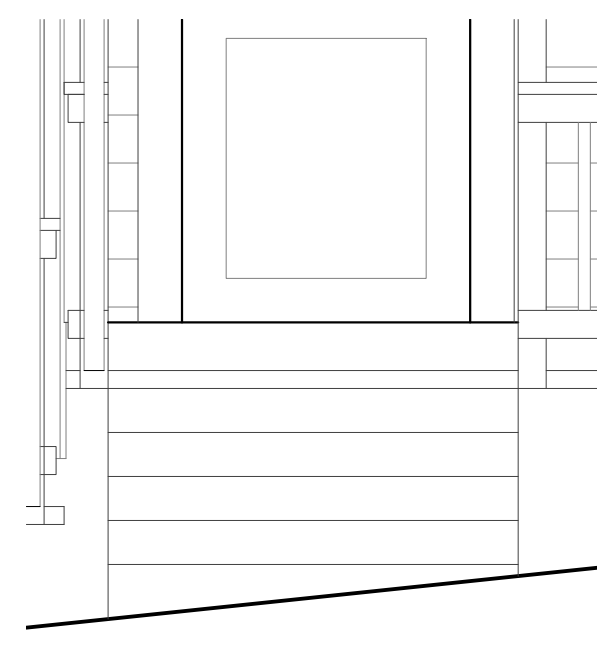
**1** FRONT ELEVATION  
Scale: 1/4"=1'-0"



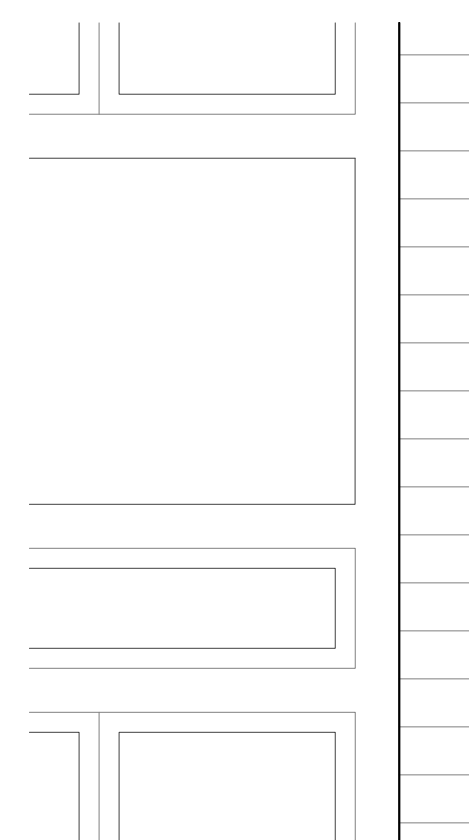
**2** DETAIL  
Scale: 1/2"=1'-0"



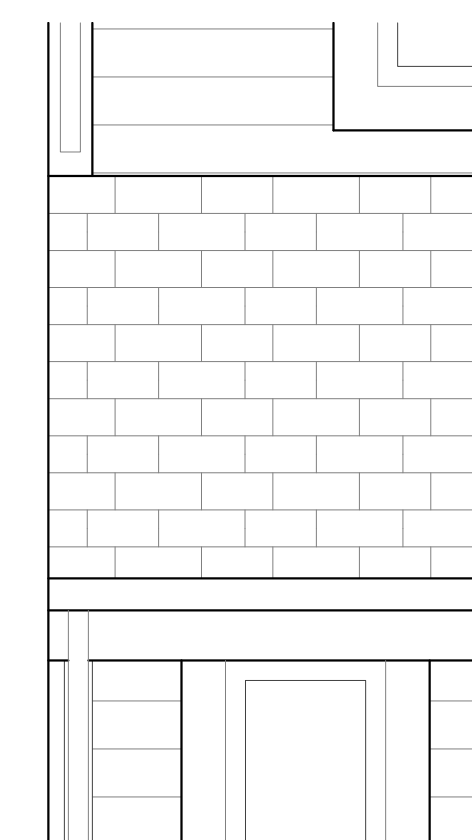
**3** DETAIL  
Scale: 1/2"=1'-0"



**4** DETAIL  
Scale: 1/2"=1'-0"



**5** DETAIL  
Scale: 1/2"=1'-0"



**6** DETAIL  
Scale: 1/4"=1'-0"

## N AIKEN NEW DUPLEXES

**20% DESIGN DEVELOPMENT DRAWING**

**NOT FOR CONSTRUCTION**

**ISSUED: FEBRUARY 16, 2021**

**PROJECT LOCATION:**  
227-229, 231-231 1/2 N Aiken Ave  
Pittsburgh, PA 15206

**PROJECT OWNER:**  
Odie's Development Company  
123 3rd St  
Oakmont PA 15139

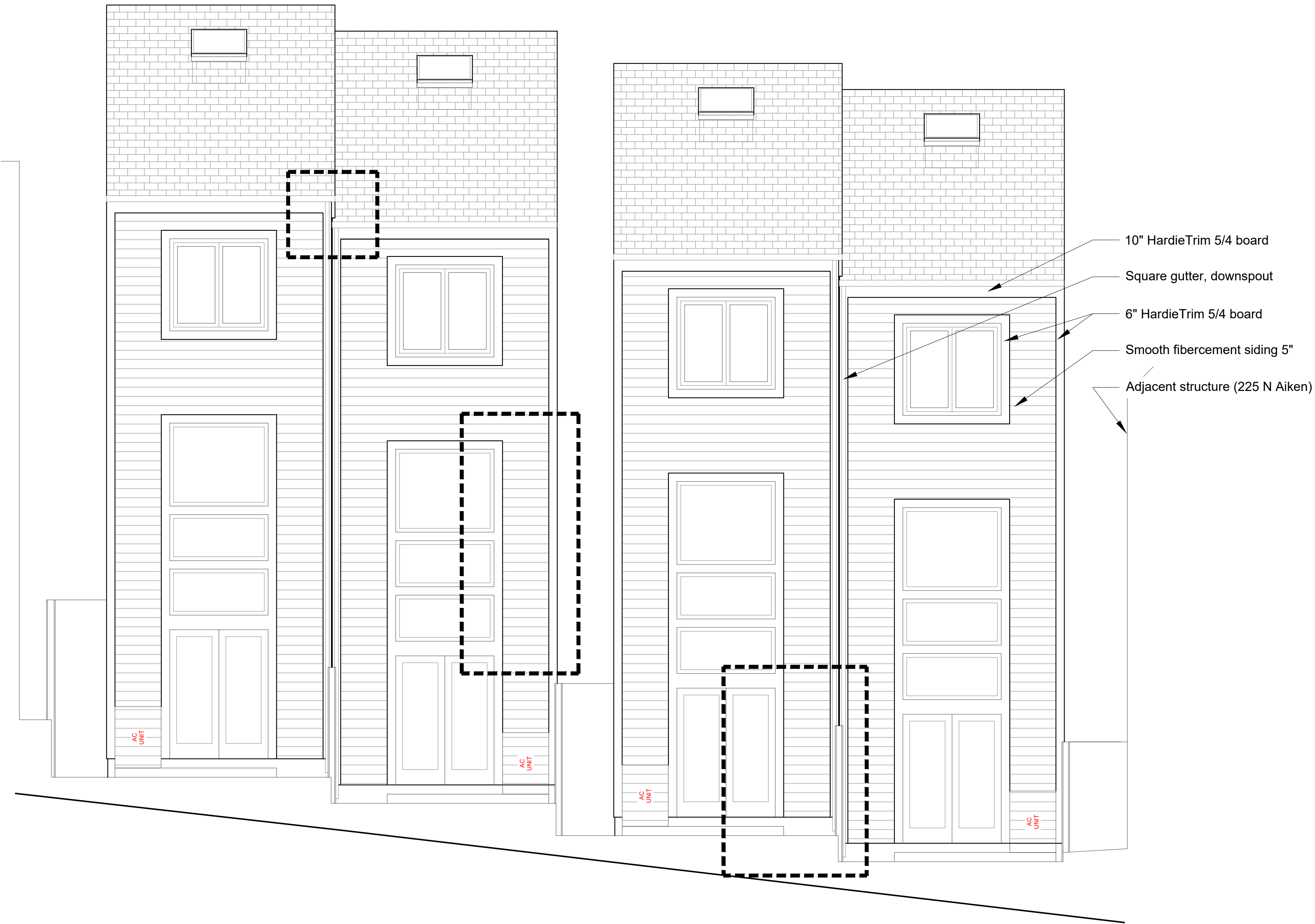
REVISIONS:

DRAWN: IN      CHECKED: RE

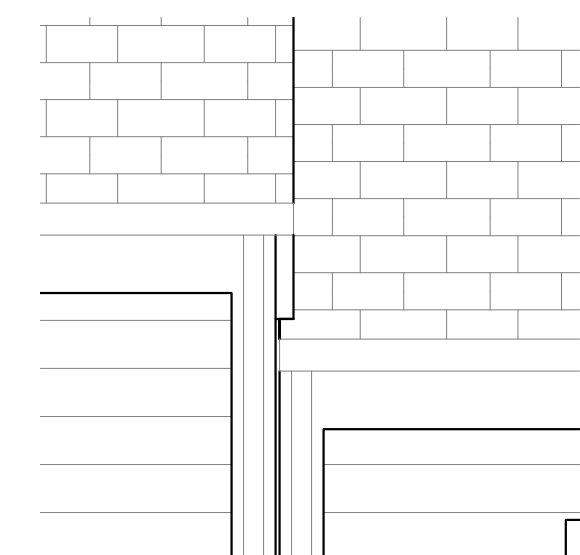
227-231 N AIKEN

# A2.2

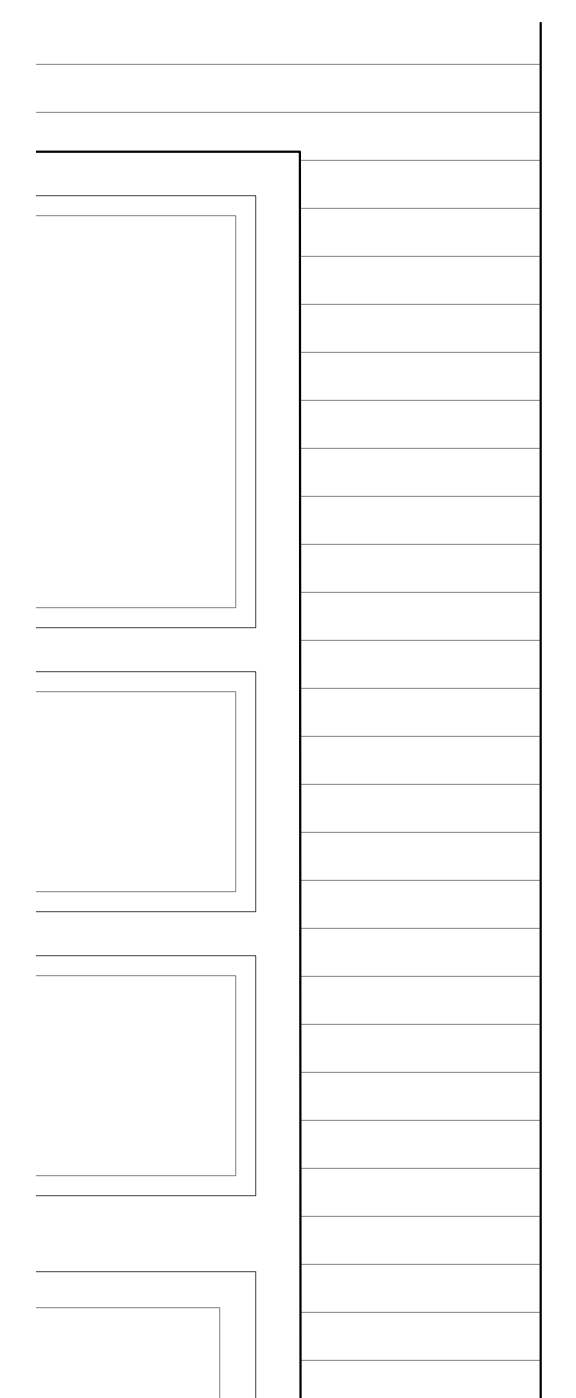
EXTERIOR ELEVATIONS



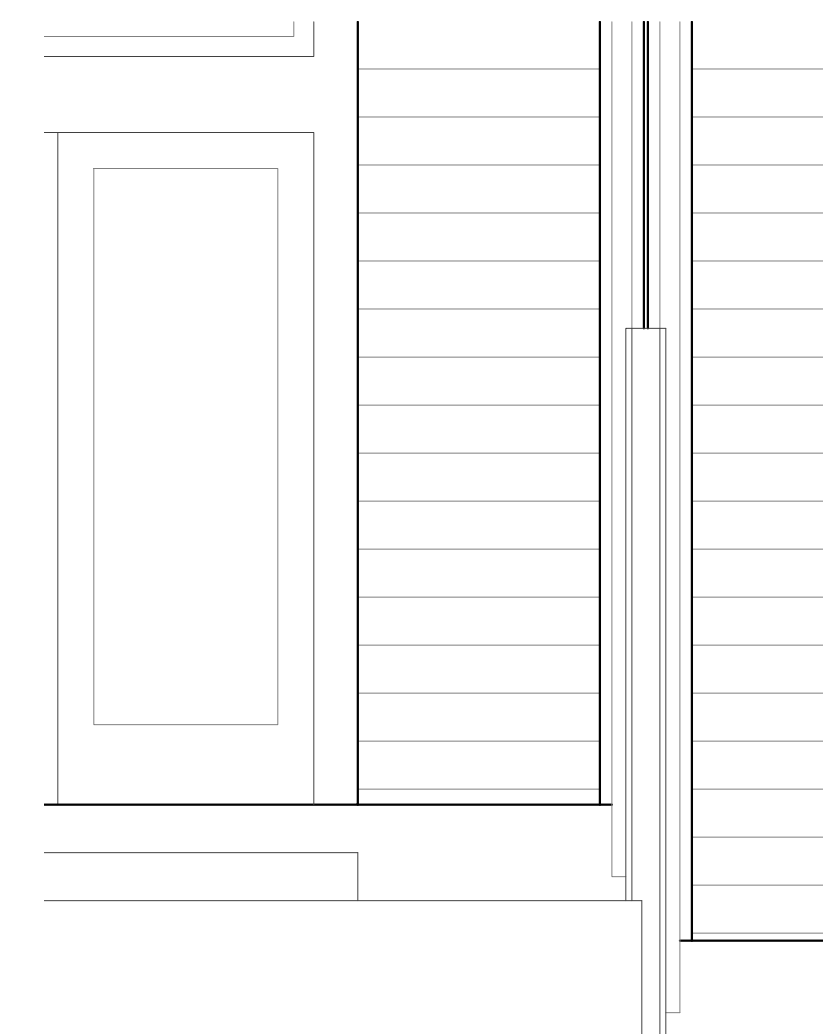
**1 REAR ELEVATION**  
Scale: 1/4"=1'-0"



**2 DETAIL**  
Scale: 1/2"=1'-0"



**3 DETAIL**  
Scale: 1/2"=1'-0"



**4 DETAIL**  
Scale: 1/2"=1'-0"





# WATER AND SEWER AVAILABILITY LETTER REQUEST

All persons planning to perform construction, demolition, or renovation work that will involve water and/or sewer services are recommended to complete this form and submit to PWSA. PWSA will review the request and reply to indicate if PWSA-owned water and/or sewer utilities are present at the site of the proposed work.

This request form is **required** for all of the following types of development. (Please note that the term "sewer" refers to sanitary sewers, combined sewers, and storm sewers.)

1. New water and/or sewer tap(s) for all approved/recorded subdivisions.
2. Change of Use and/or increase in water and/or sewer flows for residential development(s), commercial, industrial and institutional developments (i.e. total project sanitary flow is greater than 799 gallons per day).
3. New water and/or sewer tap(s) for all residential, commercial, industrial, and institutional developments.

Please email the completed form to: [permitinfo@pgh2o.com](mailto:permitinfo@pgh2o.com)

<b>Information to be submitted by the Applicant:</b>			
Property Owner Name:			
Address of Property:			
Proposed Use of Site:			
Closest street intersection to the property:			
<b>Requester Information</b>			
Name:		Date of Request:	
Address:			
Phone Number:			
Email Address:			
Preferred Method of Delivery:	<input type="checkbox"/> Email	<input type="checkbox"/> Mail	
<b>PWSA Use Only:</b>			
PWSA Water Service Available	<input type="checkbox"/> Yes	<input type="checkbox"/> No	Size / Location: _____
PWSA Sewer Service Available:	<input type="checkbox"/> Yes	<input type="checkbox"/> No	Size / Location: _____
Applicant must contact separate agency for water and/or sewer service:	<input type="checkbox"/> Yes	<input type="checkbox"/> No	
Name of separate agency:	_____		
PWSA Approval:	Signature and Date	<i>Wendy M. Dean</i>	
	Name (printed)	_____	
	Title	_____	

Disclaimer: The information provided by PWSA does not guarantee capacity of the PWSA-owned water and/or sewer lines to satisfy the needs of the proposed development. The permit application process required by PWSA evaluates the water demand and sewer flows of the development, as provided by the Applicant, and renders a decision on the capacity of the PWSA facilities.

February 25, 2021

Bob Smith  
22 South Linden Street  
Duquesne, PA 15110

**RE: Water and Sewer Availability**  
231 N. Aiken Avenue

Dear Mr. Smith:

In response to your inquiry on 2/19/2021 concerning water and sewer availability for the area referenced above, please be advised that both water and sewers are available near the site, and water and sewer service will be provided in accordance with the policies and procedures of the Pittsburgh Water and Sewer Authority.

We wish to advise you that, if it is your desire to tap our water and sewer mains for service, your plans and Water and Sewer Use Application must be approved by the Authority, complete with detail showing the type of connection, meter, and backflow device before any work is performed.

Please note that the Authority in no way guarantees that the available lines have the capacity or pressure adequate for your project's needs. It is the responsibility of the project developer, design consultant, and/or architects to determine, at their expense, the adequacy of the existing water system to fulfill their needs.

If you plan to make modifications to the water or sewer system, please submit design drawings to The Pittsburgh Water and Sewer Authority for approval.

**Refer to the Pittsburgh Water and Sewer Authority (PWSA) website ([www.pgh2o.com](http://www.pgh2o.com)) for the complete "Procedure Manual for Developers". All tap in plans and applications must be submitted according to the manual.**

If you have any questions, please feel free to contact me at (412) 255-8800 x 8030. Thank you.

Sincerely,



Wendy M. Dean  
Engineering Tech II

cc: PWSA File



# 231 N. Aiken St - Sewer





# 231 N. Aiken St - Water





July 16, 2021

Mr. Thomas Flanagan  
PA Department of Environmental Protection  
Clean Water Program  
400 Waterfront Drive  
Pittsburgh, PA 15222

Subject: Tap Allocation Authorization Letter

Dear Mr. Flanagan:

Please be advised that the Pittsburgh Water and Sewer Authority (PWSA) authorizes the tap allocations associated with the following Project:

Project Name:	227-231 North Aiken Avenue
Project Address:	227-231 North Aiken Avenue Pittsburgh, PA 15206
Net Flow, gpd:	1,600
EDU's, 400gpd/EDU:	4

Our review is based on information provided by others under the assumption that this information was accurate and complete. Should you have any questions, please do not hesitate to contact me directly at x5523 or SConnell@pgh2o.com.

Sincerely,

Shannon Connell  
Engineer III

cc: Barry King, P.E. – PWSA (via email)  
Kate Mechler, P.E. – PWSA (via email)  
Robert Herring, P.E. – PWSA (via email)  
Bob Smith – Applicant (via email)  
Regis Ryan – DEP (via email)  
eBuilder – Filing System (via email)

## Fiscal Impact Statement

<b>Department</b>	Law Department		
<b>Preparer</b>	Benjamin Smith		
<b>Contact</b>	Robert Smith (KU Resources, Inc.) 412-469-9331		
<b>Type of Initiative</b>	<input checked="" type="checkbox"/> Legislation	<input type="checkbox"/> Executive Order	
<b>Type of Legislation</b>	Other		

Odie's Development Group is developing a lot at parcel numbers 50-M-35 and 50-M-37 located in the 10th Ward of the City of Pittsburgh, Allegheny County, Pennsylvania. The proposed development will include construction of two (2), 3-story duplexes as described in the attached Sewage Facilities Planning Module (the "Planning Module") for land development and proposes that project be served by use of existing connections to the City of Pittsburgh sewage systems; and

The City of Pittsburgh must adopt and submit to the Department of Environmental Protection for its approval, as a Plan Revision to the City of Pittsburgh's Official Sewage Facilities Plan, the Planning Module for land development.

<b>Total Cost</b>	\$ 0			
<b>Frequency of Expenditure</b>	<input type="checkbox"/> One-Time	<input type="checkbox"/> Multi-Year		
<b>Funding Source</b>	<input type="checkbox"/> Operating	<input type="checkbox"/> Capital	<input type="checkbox"/> Grant	<input type="checkbox"/> Trust Fund
<b>Is this item budgeted?</b>	<input type="checkbox"/> Yes		<input type="checkbox"/> No	

**JDE Account Information**

N/A

**Additional Costs**

N/A

**Impact on City Revenue**

N/A

**Attachments**

If required, include any additional attachments and/or exhibits



**City of Pittsburgh**  
**Sewer Facilities Planning Module Questionnaire**

**PROJECT NAME: North Aiken Duplexes, 10<sup>th</sup> Ward**

1) What was the previous permitted use for this property?

None, vacant land.

2) What is the proposed use for the property?

Two (2) Buildings, 3-Story Duplexes.

3) How is green stormwater mitigation being integrated into the proposed project?

Stormwater flows conveyed from roof via roof leader system to existing PWSA combination sewer.

4) Will the development result in a net positive or net negative change in stormwater flow?

0.1 cfs net positive change.

Resolution No. \_\_\_\_\_

CITY OF PITTSBURGH

Introduced: Bill No:

Committee: Intergovernmental Affairs Committee Status:

Sponsored by:

Resolution adopting Plan Revision to the City of Pittsburgh's Official Sewage Facilities Plan for 227-229, 231-231½ North Aiken Ave, 10<sup>th</sup> Ward, Pittsburgh, PA 15206.

**WHEREAS**, SECTION 5 of the Act of January 24, 1966, P.L. 1535, No. 537, known as the "Pennsylvania Sewage Facilities Act," as amended, and the rules and regulations of the Pennsylvania Department of Environmental Protection (the "Department") adopted thereunder, Chapter 71 of Title 25 of the Pennsylvania Code, requires the City of Pittsburgh to adopt an Official Sewage Facilities Plan (the "Official Plan") providing for sewage services adequate to prevent contamination of waters of the Commonwealth and/or environmental health hazards from sewage wastes, and to revise said plan whenever it is necessary to determine whether a proposed method of sewage disposal for a new development conforms to a comprehensive program of pollution control and water quality management; and

**WHEREAS**, Odie's Development Group, has proposed the development of parcels of land identified as North Aiken Duplexes identified in the Allegheny County System as Block and Lots 50-M-35, and 50-M-37, in the 10<sup>th</sup> Ward of the City of Pittsburgh, Pennsylvania and described in the attached Sewage Facilities Planning Module (the "Planning Module") for land development and proposes that project be served by use of existing connections to the City of Pittsburgh sewage systems; and

**WHEREAS**, the Pittsburgh Water Sewer Authority, the Allegheny County Sanitary Authority, the City of Pittsburgh Planning Department and the Allegheny County Health Department have reviewed the respective components of the attached Planning Module in regard to each authority/department's expertise and have approved the respective components as explained in the attached Planning Module.

**WHEREAS**, based upon the approval of the above authorities and departments, the City of Pittsburgh finds that the project described in the attached Planning Module for land development conforms to applicable zoning, subdivision, other municipal ordinances and plans, and to a comprehensive program of pollution control and water quality management.

**BE IT RESOLVED BY THE COUNCIL OF THE CITY OF PITTSBURGH AS FOLLOWS:**

**SECTION 1.** The City of Pittsburgh hereby adopts and submits to the Department of



Environmental Protection for its approval as a Plan Revision to the City of Pittsburgh's Official Sewage Facilities Plan, the above-referenced Planning Module for land development, which is attached hereto as **Exhibit A**.

Said Planning Module includes the proposed 227-229, 231-231½ North Aiken Ave, Allegheny County at lot and blocks 50-M-35, and 50-M-37, in the 10<sup>th</sup> Ward of the City of Pittsburgh.

Finally, that any Ordinance or Resolution or part thereof conflicting with the provisions of this Resolution, is hereby repealed so far as the same affects this Resolution.