

WILLIAM PEDUTO
MAYOR



KARINA RICKS
DIRECTOR

June , 2021

President and Members
City Council
City of Pittsburgh

**RE: 5824 FORWARD AVE
ENCROACHMENT**

Dear President and Members of City Council:

We have a request for an encroachment permit at 5824 Forward Avenue, in the 14th Ward, 5th Council District, as shown on the attached plan. A copy of the request is also attached.

FLATS ON FORWARD LP, is proposing to construct four (4) bays that will contain 43 housing units, at 5824 Forward Avenue, in the 14th Ward, 5th that will project into the right-of-way.

Your favorable approval of this proposed Resolution is hereby recommended.

Sincerely,

A handwritten signature in black ink, appearing to be "KR", followed by a long horizontal flourish.

Karina Ricks
Director

KR:JM
Attachments


WILLIAM PEDUTO
MAYOR



KARINA RICKS
DIRECTOR

MEMORANDUM

To: Acting Director Chris Hornstein - Public Works
Director Sarah Kinter - PLI
Director Doug Anderson - Finance
Anthony Bilan - Law

From: Director Karina Ricks 

CC: Jen Massacci

Date: June 10, 2021

Re: Encroachment Permit

We have a request for an encroachment permit at 5824 FORWARD AVE, in the 14th Ward, 5th Council District, as shown on the attached plan. A copy of the request is also attached.

FLATS ON FORWARD LP, is proposing to construct four (4) bays that will contain 43 housing units, at 5824 Forward Avenue, in the 14th Ward, 5th that will project into the right-of-way. Kindly let us know if you have objection to this request.

KR/JM

Attachments

WILLIAM PEDUTO
MAYOR



KARINA RICKS
DIRECTOR

CITY OF PITTSBURGH
DEPARTMENT OF MOBILITY & INFRASTRUCTURE
CITY-COUNTY BUILDING

Application for an Encroachment on City Dedicated Right-Of-Way

Date: 03/26/2021

Applicant Name: Jon Szczesniak

Property Owner's Name (if different from Applicant): Flats on Forward LP

Address: 611 William Penn Place, Suite 800, Pittsburgh, PA, 15219

Phone Number: 412-281-2102 Alternate Phone Number: _____

Location of Proposed Encroachment: (4) locations along the property frontage of 5824 Forward Ave

Ward: 14 Council District: 5 Lot and Block: 0087G00155000000

What is the properties zoning district code: LNC (zoning office 255-2241)

Planning/Zoning Case OneStop Number (if applicable): ZDR-2020-03603

Is the existing right-of-way, a street or a sidewalk? Sidewalk

Width of Existing Right-of-Way (sidewalk or street): 60' (Before encroachment)

Length of Existing Right-of-Way (sidewalk or street): 206.44' (Before encroachment)

Width of Proposed Encroachment: four (4) bays at 7'-4" each

Length of Proposed Encroachment: four (4) bays at 36'-0" each

Number of feet the proposed object will encroach into the ROW: varies by -3" to the west bay based on property line)
approx 2'0" each bay

Description of encroachment: Four (4) projections of approximately 24" over the property line into the ROW along Forward Ave. Each projection is 7'-4" wide, and a total of 36' in height.

Reason for application: While each projection starts at Level 3 of the building, the height above the sidewalk varies from 16'-26' depending on the grade below.

Architecturally, each bay relates to the main living area of the residential units within. Additionally, the bays are used to break up what would be an otherwise long brick facade and add visual interest to predominant Squirrel Hill gateway.



Karina Ricks
Director
DOMI
414 Grant Street, 3rd Floor
Pittsburgh, PA 15219

February 23, 2021

Dear Director Ricks,

I am writing regarding an encroachment permit for the new building that ACTION-Housing will be constructing at 5824 Forward Avenue in Squirrel Hill. The intent of this project is to build a five-story building on a blighted site that is currently occupied by a vacant theater and a vacant lot at a major gateway to Squirrel Hill. The first floor of the building will be 10,000 SF of commercial office space for a non-profit tenant, the second floor will be 10,000 SF of structured parking for the commercial office space, and the upper three floors will have 43 one- and two-bedroom units of affordable housing, all affordable to households at or below 60% of AMI. Twenty five percent of the units will have a preference for people with disabilities. There will be 31 on site parking spaces as well as secure bicycle parking, a community room on a portion of the rooftop for the residential tenants, offices, and on-site laundry.

Thank you for DOMI's assistance with this important and much-needed project. Please let me know if you need any other information or have any questions.

Sincerely,

A handwritten signature in black ink that reads 'Lena Andrews'.

Lena Andrews
Director of Real Estate Development

FLATS ON FORWARD

Architect
 Bohlin Cywinski Jackson
 611 William Penn Place
 Suite 1300
 Pittsburgh, PA 15219
 v: 412.765.3890 f: 412.765.2209

Structural Engineer
 Atlantic Engineering Services
 650 Smithfield Street, Suite 1200
 Pittsburgh, PA 15222
 v: 412.338.9000

MEP + Fire Protection Engineer
 Iams Consulting, LLC
 333 East Carson Street, Suite 323
 Pittsburgh, PA 15219
 v: 412.697.3590

Civil Engineer

Landscape Architects

Acoustics Consultant
 Babich Acoustics
 6401 Penn Avenue, Suite 300
 Pittsburgh, PA 15206
 v: 412.228.0917



1 SITE PLAN
 AS1.00 SCALE: 1/16" = 1'-0"

Seal

Revisions

No.	Description	Date

Bohlin Cywinski Jackson
 Architecture Planning Interior Design
 Wilkes-Barre Pittsburgh Philadelphia Seattle San Francisco
 611 William Penn Place
 Suite 1300
 Pittsburgh, PA 15219
 v: 412.765.3890 f: 412.765.2209

© 2020 Bohlin Cywinski Jackson

FLATS ON FORWARD LP

FLATS ON FORWARD
 5824 FORWARD AVENUE
 PITTSBURGH, PA 15217
 PERMIT / BID SET

EXISTING SITE PLAN

Scale 1/16" = 1'-0"

Date 03/27/2020

BCJ Project Number 18206

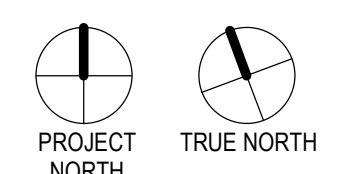
AS1.00

LEGEND/NOTES

GENERAL NOTES

SHEET NOTES

- EXISTING BUILDING TO BE REMOVED.



FLATS ON FORWARD

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 Bohlin Cywinski Jackson
 611 William Penn Place
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 Pittsburgh, PA 15229
 v: 412.765.3890 f: 412.765.2209

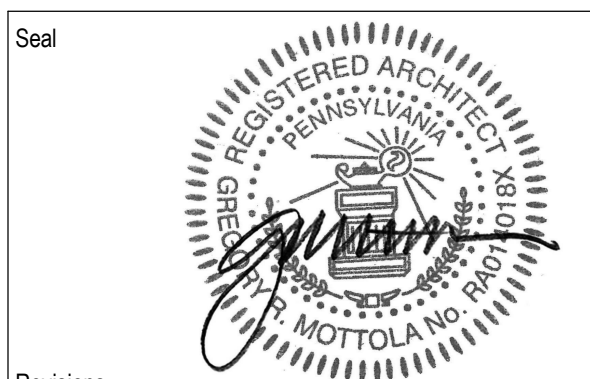
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FLATS ON FORWARD LP

FLATS ON FORWARD
 5824 FORWARD AVENUE
 PITTSBURGH, PA 15217
 PERMIT / BID SET

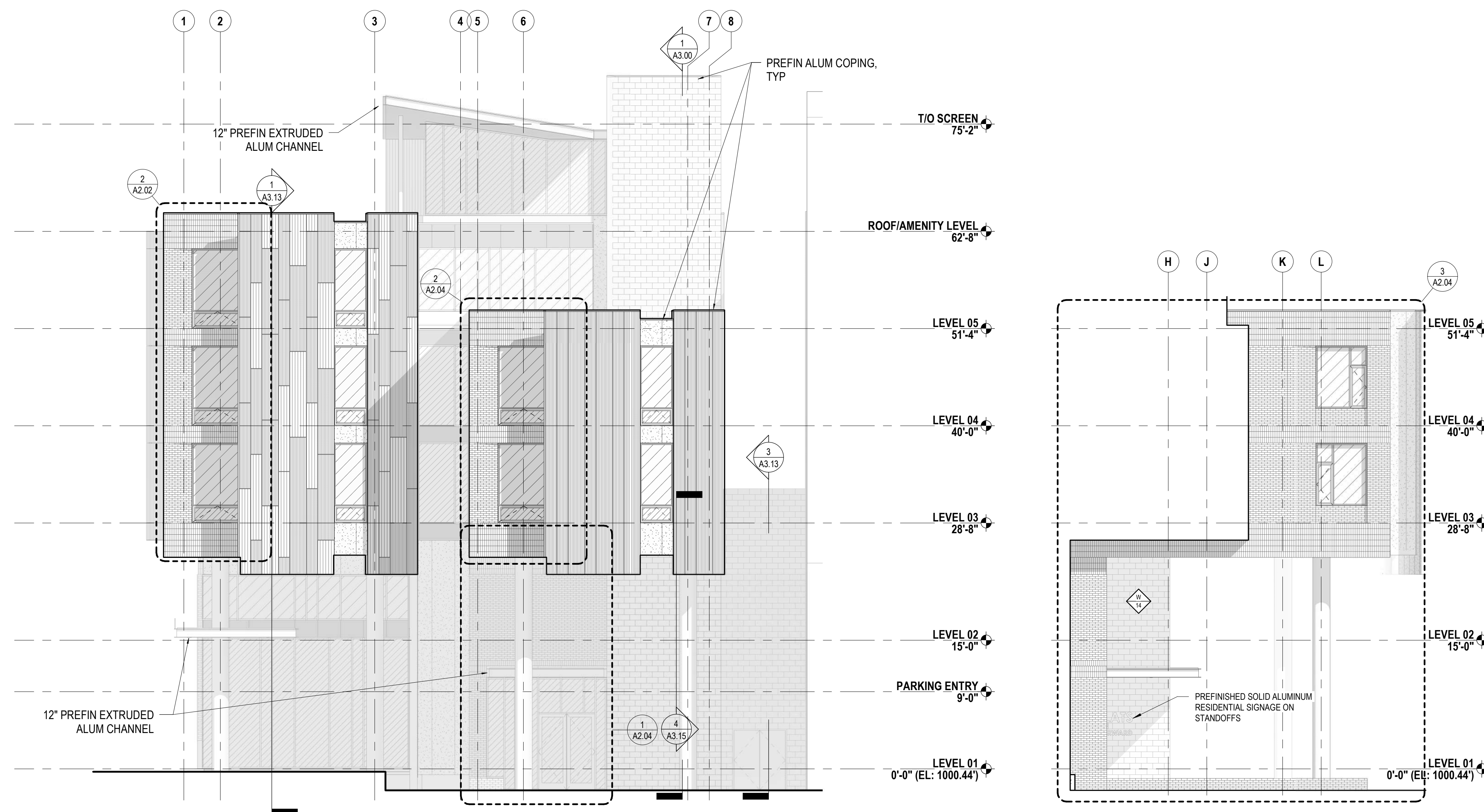
EXTERIOR BUILDING ELEVATIONS

Scale 1/8" = 1'-0"

Date 03/27/2020

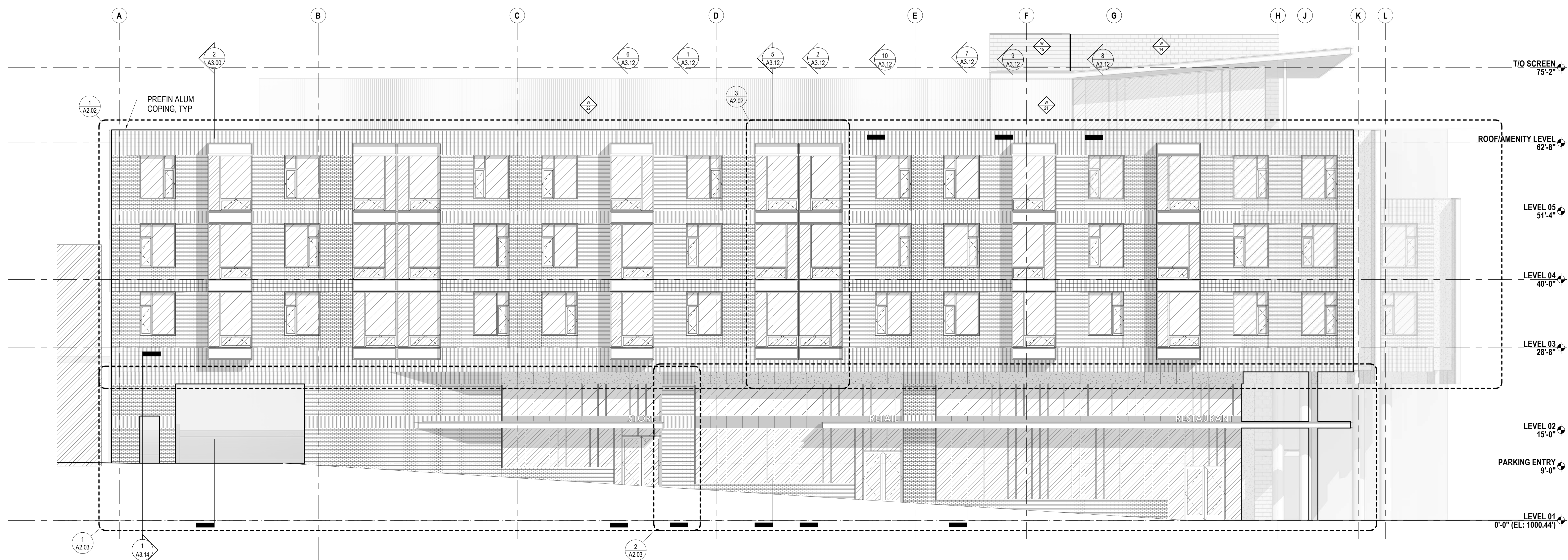
BCJ Project Number 18206

A2.00



2 WEST BUILDING ELEVATION
 SCALE: 1/8" = 1'-0"

5 NORTH ELEVATION OF SOUTH BAR
 SCALE: 1/8" = 1'-0"



1 NORTH BUILDING ELEVATION
 SCALE: 1/8" = 1'-0"

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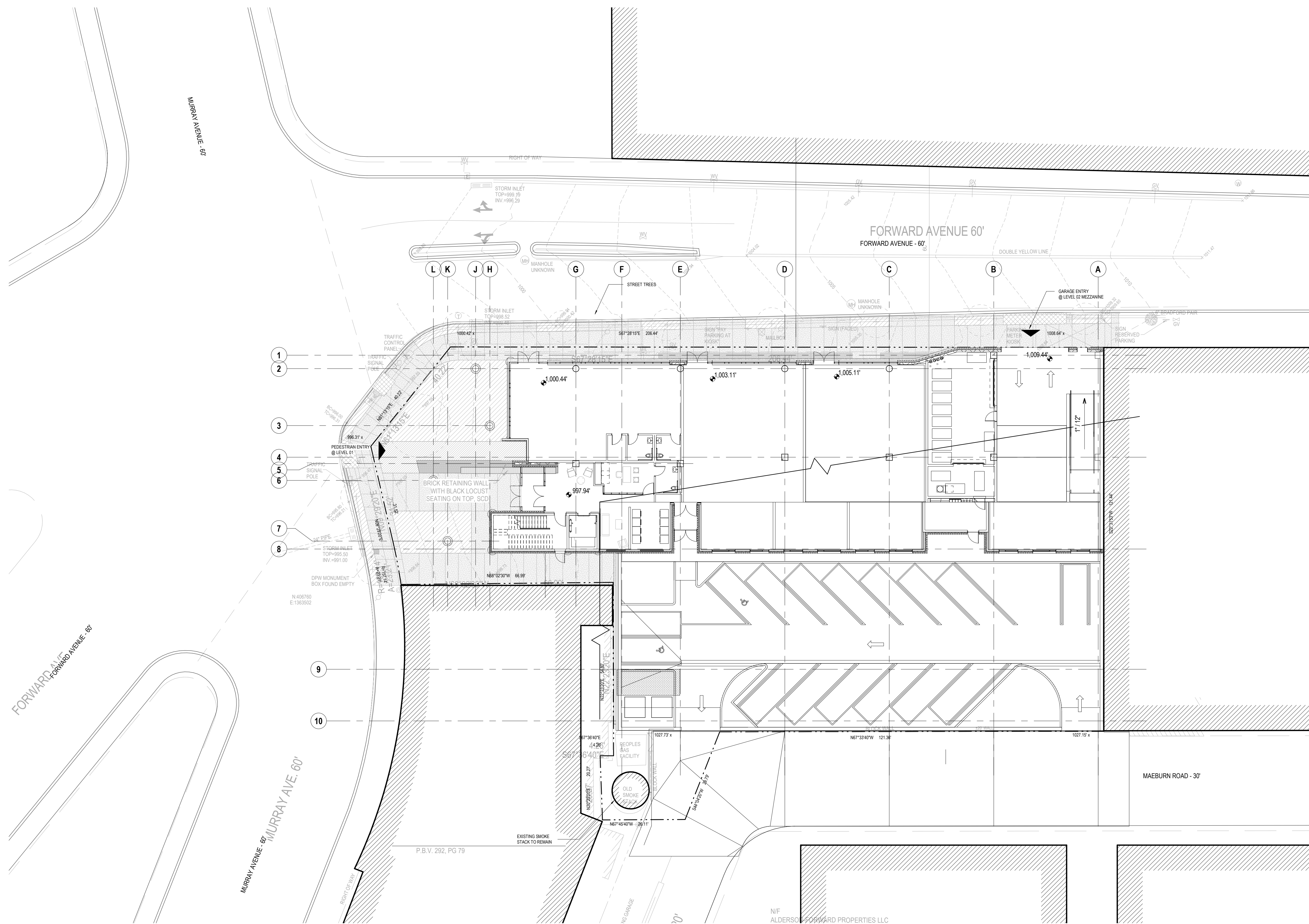
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1 SITE PLAN
 AS1.01 SCALE: 1/16" = 1'-0"

Seal

Revisions

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FLATS ON FORWARD LP

FLATS ON FORWARD
 5824 FORWARD AVENUE
 PITTSBURGH, PA 15217
 PERMIT / BID SET

ARCHITECTURAL SITE PLAN

Scale 1/16" = 1'-0"
 Date 03/27/2020
 BCJ Project Number 18206

AS1.01

LEGEND

GENERAL NOTES

- SEE CIVIL DRAWINGS FOR STORM WATER DESIGN AND DRAINAGE.
- SEE CIVIL DRAWINGS FOR COMPLETE EXISTING AND PROPOSED GRADING AND SPOT ELEVATIONS.
- SEE CIVIL DRAWINGS FOR LANDSCAPE PLANTING SCHEDULE AND DETAILS.
- SEE CIVIL DRAWINGS FOR ALL SITE DETAILS.
- SEE CIVIL DRAWINGS FOR ROW AND BUILDING ACCESS SLOPES.

SHEET NOTES

SUMMARY OF APPLICABLE PITTSBURGH ZONING CODE REQUIREMENTS

ZONING DISTRICT:
 LNC, LOCAL NEIGHBORHOOD COMMERCIAL

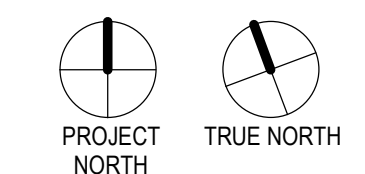
LOT AREAS:
 24,898 SF = 0.570 ACRES

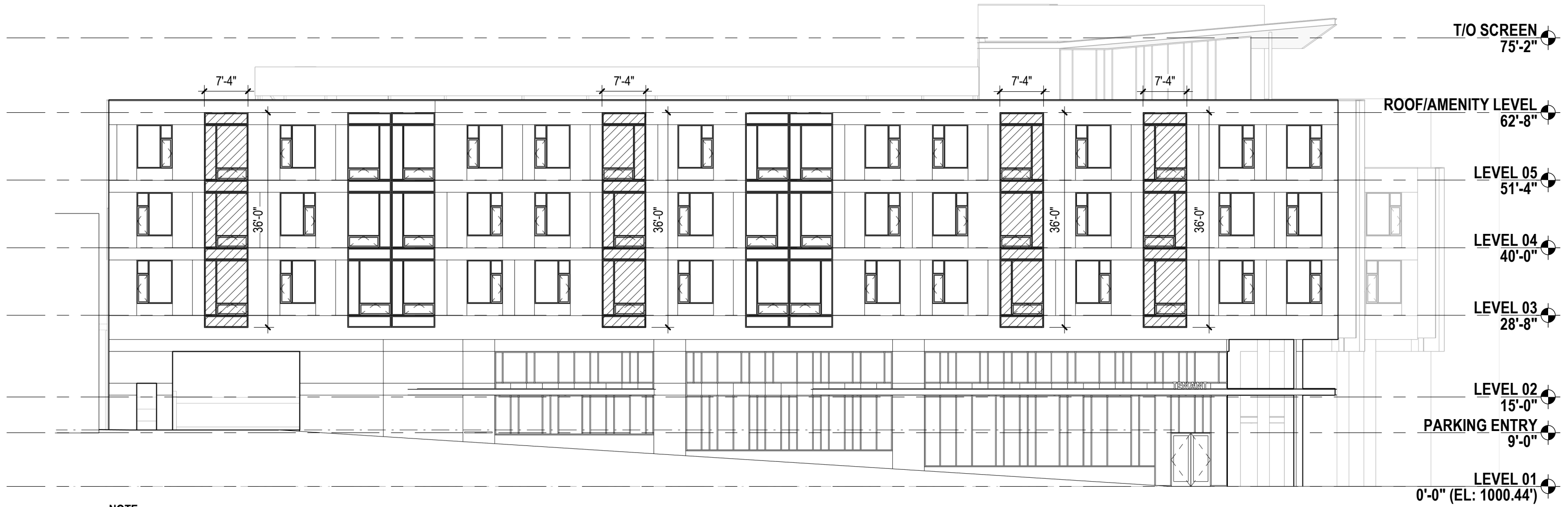
SITE DEVELOPMENT STANDARDS WITH ZONING VARIANCE ADJUSTMENTS UNDER REVIEW (RZV) - FILED ANTICIPATING JANUARY 2019 BOARD MEETING

MINIMUM LOT SIZE:	0 SF
MAXIMUM FLOOR AREA RATIO (RZV):	3.5:1
MAXIMUM LOT COVERAGE:	90%
MINIMUM FRONT SETBACK:	0 FEET
MINIMUM REAR SETBACK:	0 FEET
MINIMUM SIDEYARD SETBACK:	0 FEET
MAXIMUM HEIGHT (RZV):	89 FEET

OFF-STREET PARKING REQUIREMENT:	
RESIDENTIAL (RZV)	30
NON-RESIDENTIAL	39
BICYCLE PARKING REQUIREMENT:	
RESIDENTIAL (PER 3 UNITS)	15
NON-RESIDENTIAL (1 PER 10,000 SF)	4
OFF-STREET LOADING REQUIREMENT:	
RESIDENTIAL - MULTI-UNIT	1
RETAIL	1
TOTAL OFF-STREET PARKING	
SPACES REQUIRED/PROVIDED	69/32
TOTAL BICYCLE PARKING	
SPACES REQUIRED/PROVIDED	19/20
TOTAL OFF-STREET LOADING	
SPACES REQUIRED/PROVIDED	2/2

NOTE:
 SERVICE CONNECTION POINTS FOR WATER, SANITARY SEWER, STORM SEWER, ELECTRICAL AND GAS SERVICE SHALL BE TO EXISTING UTILITY MAINS LOCATED IN FORWARD AVENUE





NOTE:
REFER TO DCP-ZDR-2020-03603 FOR ZONING APPROVAL



VICINITY MAP
NOT TO SCALE



WALL BELOW RAEBURN STREET

PA ONE CALL DESIGN TICKET #20182840341 CONTACTS

COMPANY: PEOPLES GAS COMPANY LLC
ADDRESS: 375 NORTH SHORE DRIVE
PITTSBURGH, PA. 15212
CONTACT: DEBBIE ROSS
EMAIL: DEBBIE.LROSS@PEOPLES-GAS.COM

COMPANY: VERIZON PENNSYLVANIA LLC
ADDRESS: 1026 HAY ST
PITTSBURGH, PA. 15221
CONTACT: DEBORAH BARUM
EMAIL: DEBORAH.D.DELIA@VERIZON.COM

COMPANY: PITTSBURGH WATER & SEWER AUTHORITY THE
ADDRESS: 1200 PENN AVENUE
PITTSBURGH, PA. 15222
CONTACT: RICK OBERMEIER
EMAIL: ROBERMEIER@PH20.COM

COMPANY: PITTSBURGH CITY DEPT OF PUBLIC WORKS
ADDRESS: 611 SECOND AVE
PITTSBURGH, PA. 15219
CONTACT: OFFICE PERSONNEL

COMPANY: DUQUESNE LIGHT COMPANY
ADDRESS: 2645 NEW BEAVER AVE PA-TD
PITTSBURGH, PA. 15233
CONTACT: SHANE THERET
EMAIL: STHERET@DUQUOLIGHT.COM

COMPANY: DOE COMMUNICATIONS LLC
ADDRESS: 424 S 27TH ST, SUITE 220
PITTSBURGH, PA. 15203
CONTACT: SHAWN BLANNER
EMAIL: SBLANNER@DOE.COM

COMPANY: LIGHTOWER FIBER NETWORKS LLC
CONTACT: DESIGN PERSONNEL
EMAIL: MAPPINGREQUESTS@FIBERTECH.COM

COMPANY: COMCAST CABLEVISION
ADDRESS: 1530 CHARTERS AVE
PITTSBURGH, PA. 15204
CONTACT: JOSEPH BECHTOLD
EMAIL: JOSEPH_BECHTOLD@CABLE.COMCAST.COM



Know what's below
Call before you dig

POCUSSET ST.

FORWARD AVE

MURRAY AVE. 60'

FORWARD AVENUE 60'

RAEBURN RD 20'

RAEBURN RD 30'

N/F ALDERSON-FORWARD PROPERTIES LLC
D.B.V. 10802, PG 412
PARCEL TWO
87-G-155

N/F JEWISH RESIDENTIAL SERVICES INC.
D.B.V. 17788, PG 335
87-G-66-CU

N/F SQUIRREL HILL GATEWAY LOFTS LP
D.B.V. 16867, PG 335
87-G-66

LOT 1
P.B.V. 292, PG 79

N/F MORROWFIELD APARTMENTS LP
D.B.V. 11498, PG 519
87-G-64

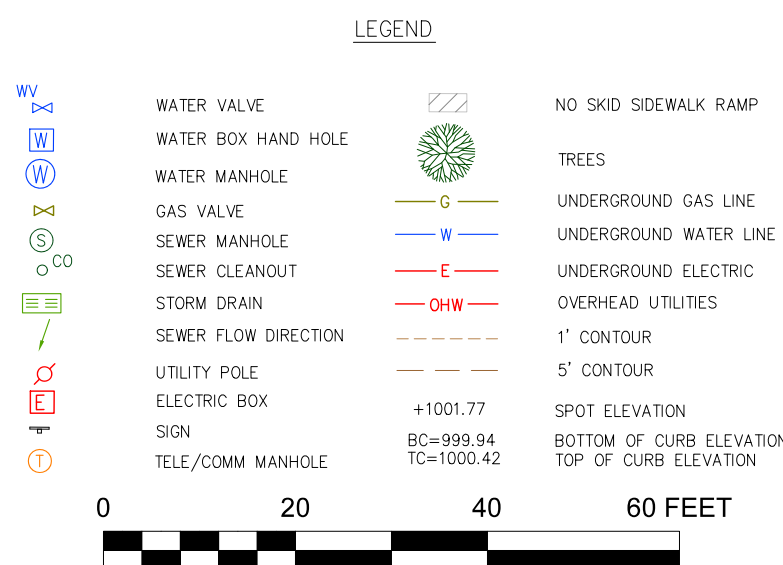
LOTS 2 & 3
P.B.V. 87, PG 104

N/F FLATS ON FORWARD LP
D.B.V. 17637, PG 567
87-G-155

LOT 2
P.B.V. 292, PG 79
FORMERLY
LOT 2
P.B.V. 264, PG. 127

2 STORY BRICK BUILDING
13,900 SQFT
24,809 SQFT
0.570 ACRES

N/F 3 KATZ CREW LP
D.B.V. 13906, PG 258
LOT 1
P.B.V. 264, PG. 127
87-G-160



SURVEYOR'S NOTES:

- ELEVATIONS ARE BASED ON NAVD88 VERTICAL DATUM. CONTOURS ARE DRAWN AT 1' INTERVALS.
- BOUNDARY BEARINGS ARE BASED ON P.B.V. 292, PG. 79. BEARINGS IN ITALICS ARE FOR REFERENCE TO NAD83, PA SOUTH ZONE STATE PLACE COORDINATES.
- FIELD WORK WAS CONDUCTED ON 10/10/18 AND UPDATED ON 12/21/2019.
- UTILITIES ARE BASED ON VISIBLE EVIDENCE FOUND IN THE FIELD AND PLANS SENT PER A DESIGN ONE CALL TICKET WAS SUBMITTED ON BEHALF OF THE PROJECT.
- THIS SURVEY PLAN WAS CREATED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS MAY EXIST.
- RAEBURN STREET IS ELEVATED +20' ABOVE SITE. THERE APPEARS TO BE A STRUCTURE BENEATH THE ROAD THAT IS NO LONGER IN USE.



Amy Jo Hopkins
1/3/2020

DATE: 10/15/2018
REVISED: 1/3/2020
SCALE: 1"=20'
PROJECT NO: 2018-041

EXISTING CONDITIONS SURVEY
5824 FORWARD AVENUE
SITUATE IN
14TH WARD, CITY OF PITTSBURGH
ALLEGHENY COUNTY, PA
MADE FOR

ACTION-HOUSING



RAEBURN RD LOOKING DOWN RAMP



RAEBURN RD LOOKING AT BRICK STRUCTURE



RAEBURN RD LOOKING EAST ALONG WALL

FLATS ON FORWARD

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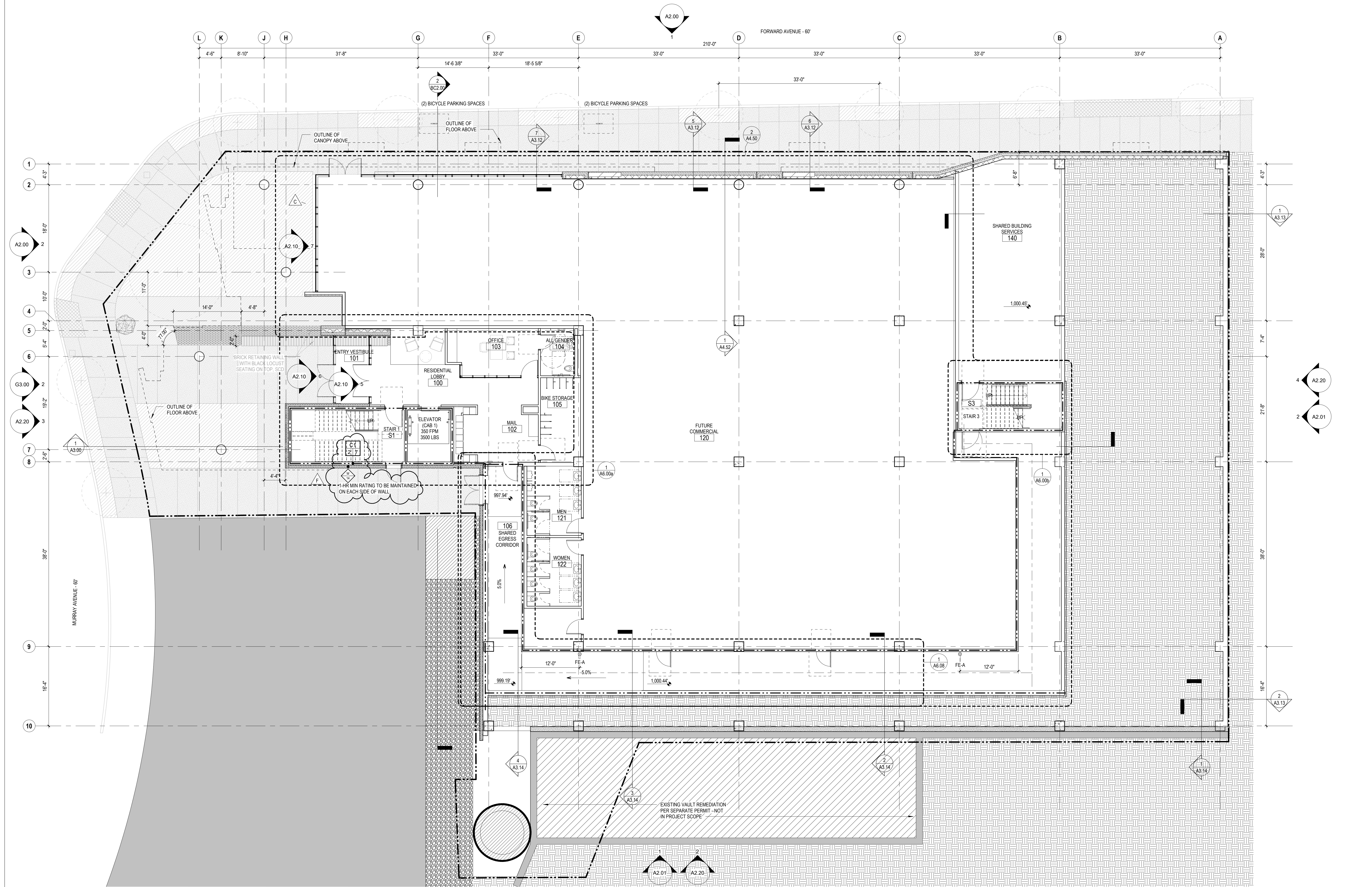
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1 LEVEL 01
A1.11 SCALE: 1/8" = 1'-0"

LEGEND

GENERAL NOTES

- UNIT DEMISING WALLS ARE INDICATED BY THIS LINETYPE.
- CONTRACTOR MUST ACCOUNT FOR CONSTRUCTION TOLERANCES TO ENSURE PROPER MINIMUM AND MAXIMUM CLEARANCES REQUIRED BY PHA/ADA PER ICCANSI A117.1-2009.
- UNIT ENTRY DOOR TAGS ONLY IN OVERALL PLANS.
- UNLESS OTHERWISE DESIGNATED, ALL UNITS ARE TYPE B, VISIBLE FOLLOWING PHFA Visibility™ (GUIDELINES).

OVERALL BUILDING AREAS

GROSS BUILDING AREA										
LEVEL	GROSS FLOOR AREA	RETAIL	INTERIOR AMENITY	UNIT AREA	UNIT COUNT	PARKING*	COMMON LOBBY	CRG CORRIDOR, STAIRS, ETC.	SHAFTS + EOH + MISC.	TOTAL
L06	1,549		689				171	411	248	2,978
L05	13,028	134	13,028	14			241	2,085	593	19,118
L04	13,735			15			241	2,087	554	18,672
L03	22,494		993	9,993	14	8,839	19	241	2,274	35,673
L02	14,276						10,899	17	791	25,993
L01	10,022	10,266					791	2,687	1,260	24,726
TOTALS	80,084.00	10,266.00	1,416	30,364	43	18,648	30	13,961	5,937	148,306.00
NET FLOOR AREA PHFA										
LEVEL	NET FLOOR AREA	RETAIL	INTERIOR AMENITY	UNIT AREA	UNIT COUNT	PARKING*	COMMON LOBBY	CRG CORRIDOR, STAIRS, ETC.	SHAFTS + EOH + MISC.	TOTAL
L06	1,179		689				146	291	85	2,185
L05	11,297	118	11,297	14			241	1,913	297	15,810
L04	12,415			15			241	1,933	297	15,891
L03	12,191		919	9,993	14	N/A	241	2,031	297	25,672
L02	3,912						297	628	2,006	6,543
L01	13,860	9,629					727	2,265	1,150	27,666
TOTALS	54,044.00	9,826.00	1,296	28,179	43		1,307	9,235	4,211	107,805.00

*ITALICS EXTERIOR AREA

*MARKHAM OF 40% OF TOTAL PERMITTED TO BE SIZED AS COMPACT STALLS (13) / (10) PROVIDED

SHEET NOTES

1. REFER TO ARCHITECTURAL DESIGN NARRATIVE FOR INFORMATION ON ALTERNATE PRICING AT THE RETAIL SPACES AND ASSOCIATED SERVICES.

FIRE & LIFE SAFETY KEY

- FIRE EXTINGUISHERS. REFER TO SPECIFICATIONS**
- FE-A SURFACE MOUNT GARAGE, UTILITY, AND UNIT AREAS ONLY.
 - FEC SEMI-RECESSED CABINETS IN ALL OTHER LOCATIONS.
 - EXIT ILLUMINATED EXIT SIGNAGE (REFER TO ELECTRICAL FOR LOCATIONS OF ADDITIONAL ILLUMINATED EGRESS SIGNS)
 - CLASS / STANDPIPE
 - 1 HOUR FIRE RATING
 - 2 HOUR FIRE RATING
 - 3 HOUR FIRE RATING

LEVEL 01 FLOOR PLAN

Scale 1/8" = 1'-0"
Date 03/27/2020

PHFA Number TC2019-455/O-1345
BCJ Project Number 18206

A1.11

FLATS ON FORWARD

Architect
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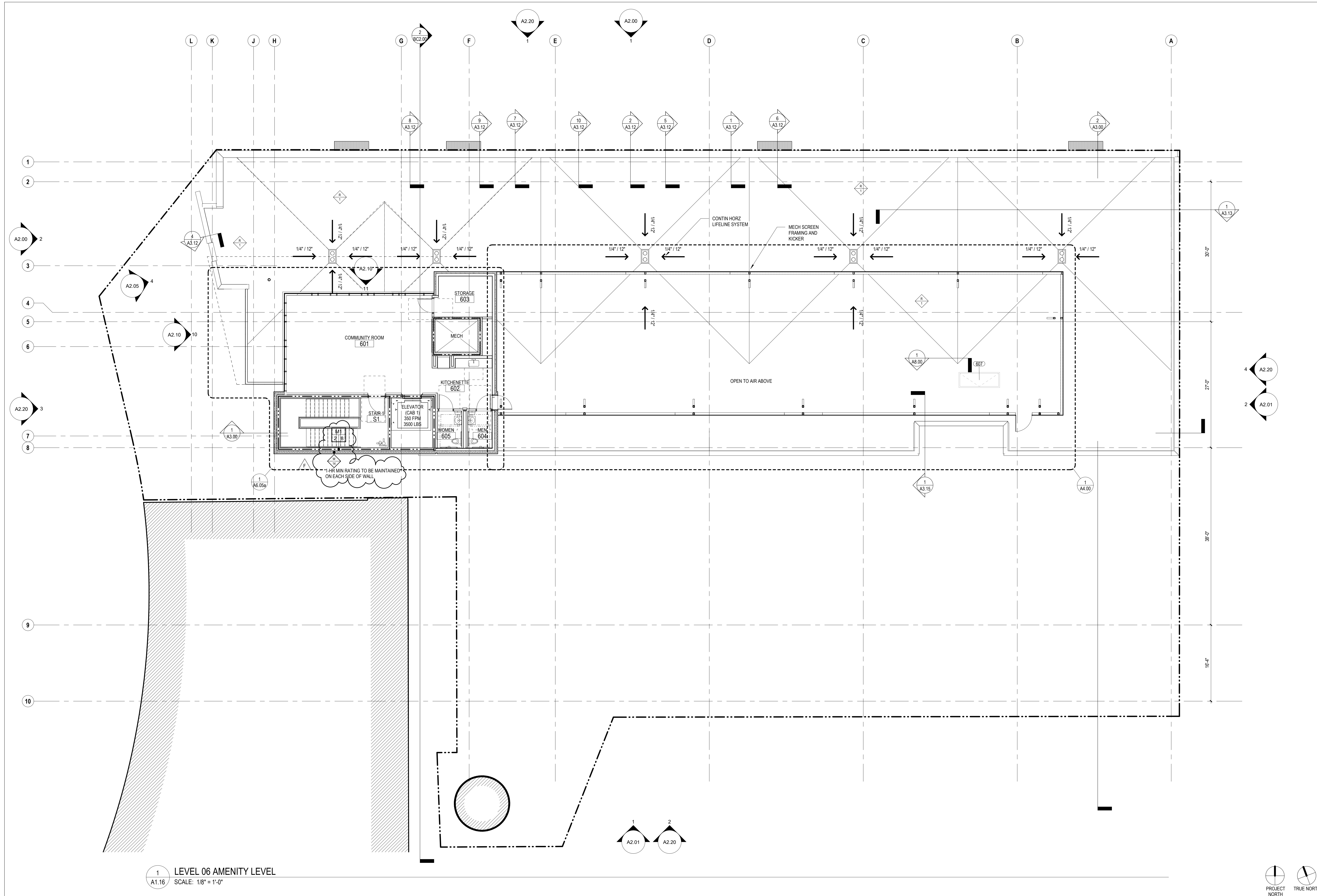
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1 LEVEL 06 AMENITY LEVEL
A1.16 SCALE: 1/8" = 1'-0"

LEGEND

GENERAL NOTES

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AND ARE WALL TYPE U.N.O.
- CONTRACTOR MUST ACCOUNT FOR CONSTRUCTION TOLERANCES TO ENSURE PROPER MINIMUM AND MAXIMUM CLEARANCES REQUIRED BY FHAA/ADA PER ICC/ANSI A117.1-2009.
- UNIT ENTRY DOOR TAGS ONLY IN OVERALL PLANS
- UNLESS OTHERWISE DESIGNATED, ALL UNITS ARE TYPE B, VISITABLE (FOLLOWING PHFA VisiAbility™ GUIDELINES)

OVERALL BUILDING AREAS

LEVEL	GROSS FLOOR AREA	RETAIL	INTERIOR AMENITY	UNIT AREA	UNIT COUNT	PARKING*	COMMON + LOBBY	CRG (CORRIDOR, STAIRS, ETC.)	SHAFTS + ESH + MSC
L06	1,549		889		171		411	243	
L05	13,028	134	13,028	14	261	2,005	165		
L04	13,785			15	241	2,087	554		
L03	22,494		993	9,963	14	8,839	19	2,274	554
L02	14,295				10,889	17	397	795	3,356
L01	15,022	10,266			781	2,687	1,263		
TOTALS	80,064.00	10,266.00	1,416	30,864	43	18,648	30**	1,982	5,837

*ITALICS EXTERIOR AREA

LEVEL	NET FLOOR AREA PHFA	RETAIL	INTERIOR AMENITY	UNIT AREA	UNIT COUNT	PARKING*	COMMON + LOBBY	CRG (CORRIDOR, STAIRS, ETC.)	SHAFTS + ESH + MSC
L06	1,775		859		145		291	85	
L05	11,747	118	11,747	14	244	1,933	297		
L04	12,415			15	244	1,933	297		
L03	12,191		939	9,963	14	8,839	19	2,035	297
L02	14,295				10,889	17	397	628	3,036
L01	13,860	9,629			727	2,365	1,150		
TOTALS	54,094.00	9,825.00	1,256	28,179	43	13,601	9,245	4,211	

*ITALICS EXTERIOR AREA
**MARKUM OF 40% OF TOTAL PERMITTED TO BE SIZED AS COMPACT STALLS (13) / (10) PROVIDED

SHEET NOTES

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- FE-A SURFACE MOUNT GARAGE, UTILITY, AND UNIT AREAS ONLY.
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 - CLASS / STANDPIPE
- 1 HOUR FIRE RATING
2 HOUR FIRE RATING
3 HOUR FIRE RATING

AMENITY LEVEL FLOOR PLAN

Scale 1/8" = 1'-0"

Date 03/27/2020

PHFA Number TC2019-455/O-1345

BCJ Project Number 18206

A1.16

FLATS ON FORWARD

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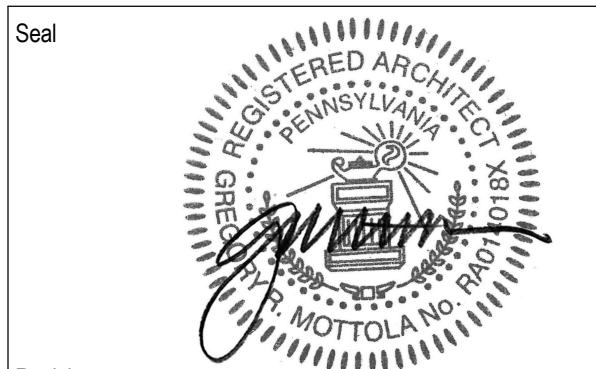
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Revisions	No.	Description	Date
C	PHFA REVISION		2020-07-22
D	PLI REVISION		2021-11-15
E	ZONING REVISION		2021-01-13
F	PLI REVISION		2021-02-03

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 Pennsylvania 15219
 v: 412.765.3890 f: 412.765.2209

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FLATS ON FORWARD LP

FLATS ON FORWARD
 5824 FORWARD AVENUE
 PITTSBURGH, PA 15217
 PERMIT / BID SET

LEVEL 05 FLOOR PLAN

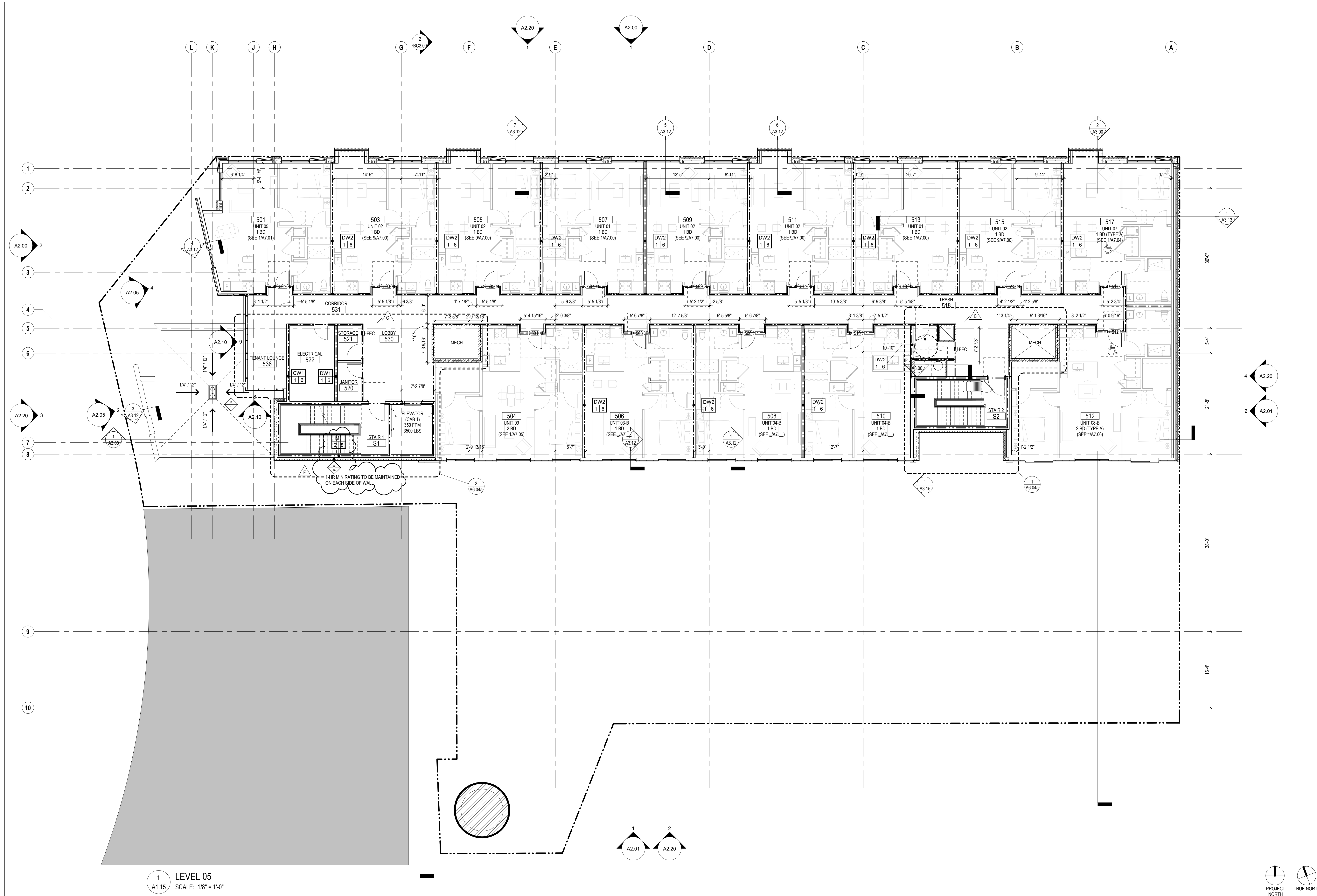
Scale 1/8" = 1'-0"

Date 03/27/2020

PHFA Number TC2019-455/O-1345

BCJ Project Number 18206

A1.15



1 LEVEL 05
 A1.15 SCALE: 1/8" = 1'-0"

LEGEND

GENERAL NOTES

- UNIT DEMISING WALLS ARE INDICATED BY THIS LINETYPE.
- CONTRACTOR MUST ACCOUNT FOR CONSTRUCTION TOLERANCES TO ENSURE PROPER MINIMUM AND MAXIMUM CLEARANCES REQUIRED BY PHFA/ADA PER ICC/ANSI A117.1-2009.
- UNIT ENTRY DOOR TAGS ONLY IN OVERALL PLANS.
- UNLESS OTHERWISE DESIGNATED, ALL UNITS ARE TYPE B, VISIBLE (FOLLOWING PHFA Visibility™ GUIDELINES).

OVERALL BUILDING AREAS

LEVEL	GROSS FLOOR AREA	RETAIL	INTERIOR AMENITY	UNIT AREA	UNIT COUNT	PARKING*	COMMON LOBBY	CRG (CORRIDOR, STAIRS, ETC.)	SHAFTS + EOL + MISC
L05	15,549		889		171		411	248	
L04	13,028	134	13,028	14	261	2,087	554		
L03	22,464		993	9,963	14	8,839	19	2,274	554
L02	14,276				10,889	17	397	795	3,286
L01	10,022	10,266					781	2,687	1,263
TOTALS	80,844.00	10,266.00	1,416	30,864	43	18,648	33"	1,982	5,837

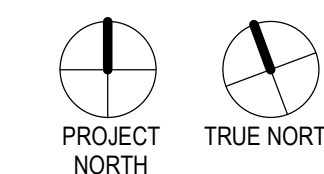
LEVEL	NET FLOOR AREA	RETAIL	INTERIOR AMENITY	UNIT AREA	UNIT COUNT	PARKING*	COMMON LOBBY	CRG (CORRIDOR, STAIRS, ETC.)	SHAFTS + EOL + MISC
L05	1,775		859		145		291	85	
L04	11,747	118	11,747	14	244	1,933	297		
L03	12,415		1,041	15	244	1,933	297		
L02	12,191		1,041	14	244	1,933	297		
L01	13,860	9,629			727	2,265	1,150		
TOTALS	54,004.00	9,629.00	1,250	38,179	43	1,301	9,295	4,211	

*ITALICS EXTERIOR AREA
 *MARKING OF 40% OF TOTAL PERMITTED TO BE SIZED AS COMPACT STALLS (13) (10) PROVIDED

SHEET NOTES

FIRE & LIFE SAFETY KEY

- FIRE EXTINGUISHERS. REFER TO SPECIFICATIONS**
- FE-A SURFACE MOUNT GARAGE, UTILITY, AND UNIT AREAS ONLY.
 - FEC SEMI-RECESSED CABINETS IN ALL OTHER LOCATIONS.
 - EXIT ILLUMINATED EXIT SIGNAGE (REFER TO ELECTRICAL FOR LOCATIONS OF ADDITIONAL ILLUMINATED EGRESS SIGNS)
 - CLASS / STANDPIPE
- 1 HOUR FIRE RATING
 2 HOUR FIRE RATING
 3 HOUR FIRE RATING



FLATS ON FORWARD

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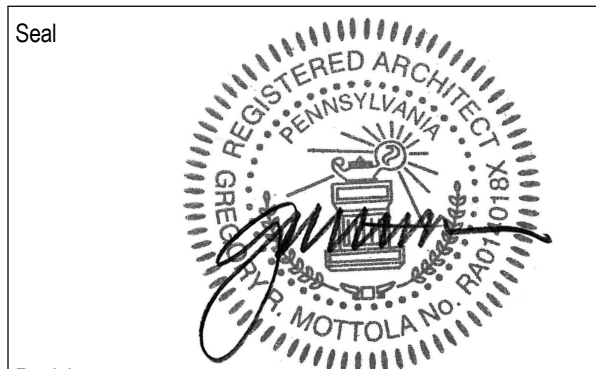
Structural Engineer
Atlantic Engineering Services
650 Smithfield Street, Suite 1200
Pittsburgh, PA 15222
v: 412.338.9000

MEP + Fire Protection Engineer
Iams Consulting, LLC
333 East Carson Street, Suite 323
Pittsburgh, PA 15219
v: 412.697.3590

Civil Engineer

Landscape Architects

Acoustics Consultant
Babich Acoustics
6401 Penn Avenue, Suite 300
Pittsburgh, PA 15206
v: 412.228.0917



Revisions	No.	Description	Date
C	PHFA REVISION		2020-07-22
D	PLI REVISION		2021-11-15
E	ZONING REVISION		2021-01-13
F	PLI REVISION		2021-02-03

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5824 FORWARD AVENUE
PITTSBURGH, PA 15217
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LEVEL 04 FLOOR PLAN

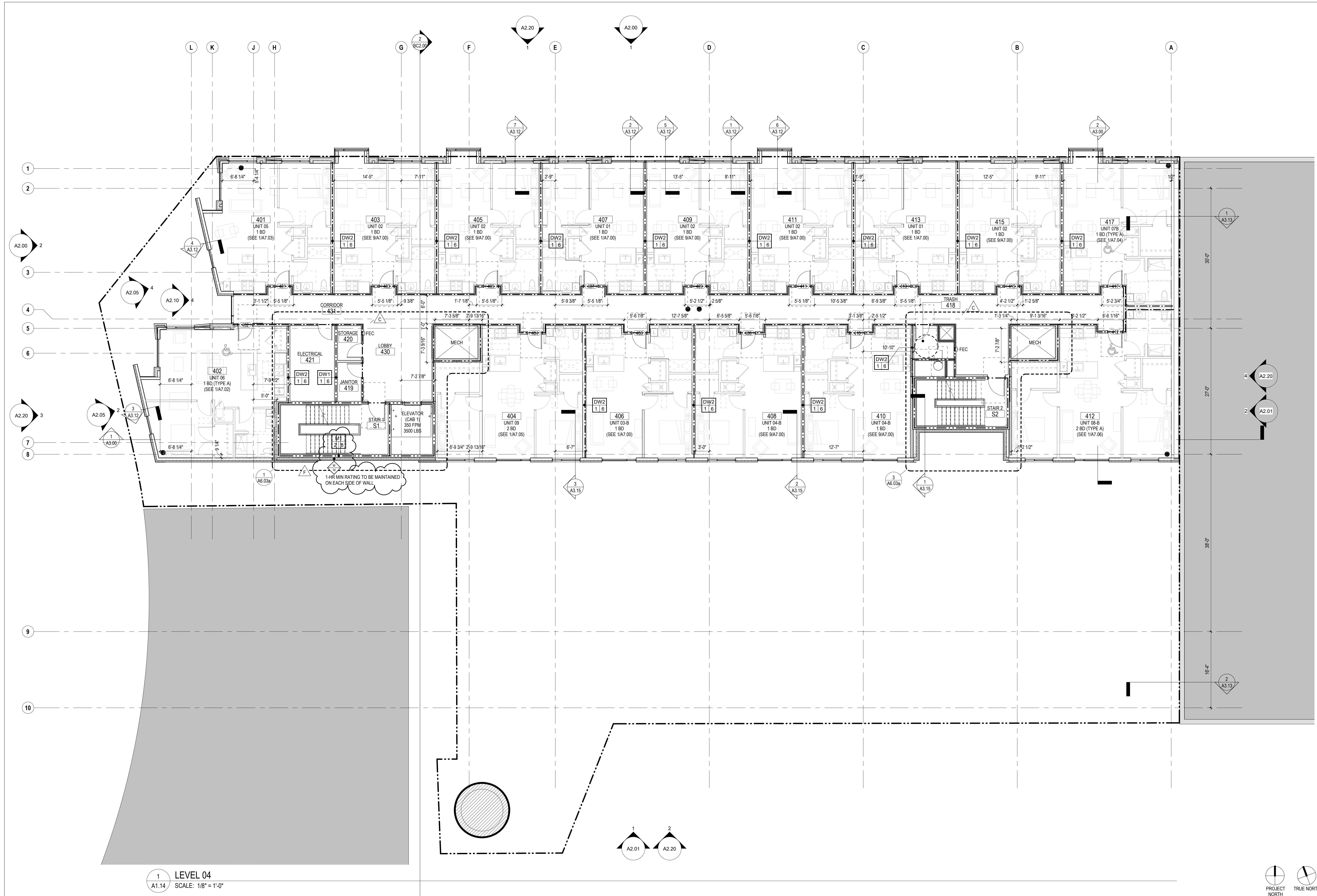
Scale 1/8" = 1'-0"

Date 03/27/2020

PHFA Number TC2019-455/O-1345

BCJ Project Number 18206

A1.14



1 LEVEL 04
SCALE: 1/8" = 1'-0"

LEGEND

GENERAL NOTES

- UNIT DEMISING WALLS ARE INDICATED BY THIS LINETYPE.
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OVERALL BUILDING AREAS

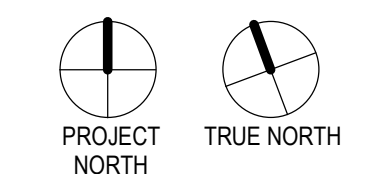
GROSS BUILDING AREA										
LEVEL	GROSS FLOOR AREA	RETAIL	INTERIOR AMENITY	UNIT AREA	UNIT COUNT	PARKING*	COMMON LOBBY	CRIC CORRIDOR, STAIRS, ETC.	SHAFTS + EOM + MISC.	TOTAL
L04	15,549		889	171	411	243				16,673
L03	13,028		134	13,028	14		241	2,087	554	15,500
L02	22,494		993	9,963	14	8,839	19	241	2,274	34,630
L01	14,296							297	795	15,091
L00	10,022		10,266					781	2,687	23,676
TOTALS	80,644.00	10,266.00	1,416	30,864	43	18,648	32	1,392	10,361	5,837
NET FLOOR AREA PHFA										
LEVEL	NET FLOOR AREA	RETAIL	INTERIOR AMENITY	UNIT AREA	UNIT COUNT	PARKING*	COMMON LOBBY	CRIC CORRIDOR, STAIRS, ETC.	SHAFTS + EOM + MISC.	TOTAL
L04	11,775		889	146	291	85				12,760
L03	11,747		118	11,747	14		244	1,933	297	14,049
L02	12,415		109	9,941	15	N/A	244	1,933	297	14,999
L01	12,191		109	9,963	14		244	2,031	297	14,835
L00	3,652							297	628	4,577
L01	13,840		9,629				727	2,265	1,150	27,551
TOTALS	54,464.00	9,825.00	1,226	28,179	43	1,301	9,295	4,211	2,124	97,406

*ITALICS EXTERIOR AREA
*MARKING OF 40% OF TOTAL PERMITTED TO BE SIZED AS COMPACT STALLS (10' PROVIDED)

SHEET NOTES

FIRE & LIFE SAFETY KEY

- FIRE EXTINGUISHERS, REFER TO SPECIFICATIONS**
- FE-A SURFACE MOUNT GARAGE, UTILITY, AND UNIT AREAS ONLY.
 - FE-B SEMI-RECESSED CABINETS IN ALL OTHER LOCATIONS.
 - FEC ILLUMINATED EXIT SIGNAGE (REFER TO ELECTRICAL FOR LOCATIONS OF ADDITIONAL ILLUMINATED EGRESS SIGNS)
 - EXIT CLASS / STANDPIPE
 - 1 HOUR FIRE RATING
 - 2 HOUR FIRE RATING
 - 3 HOUR FIRE RATING



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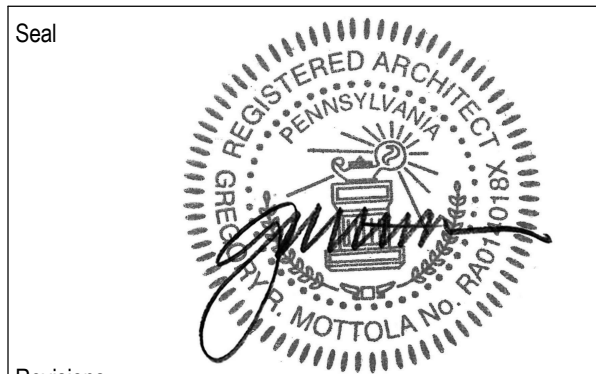
Structural Engineer
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v: 412.338.9000

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LEVEL 03 FLOOR PLAN

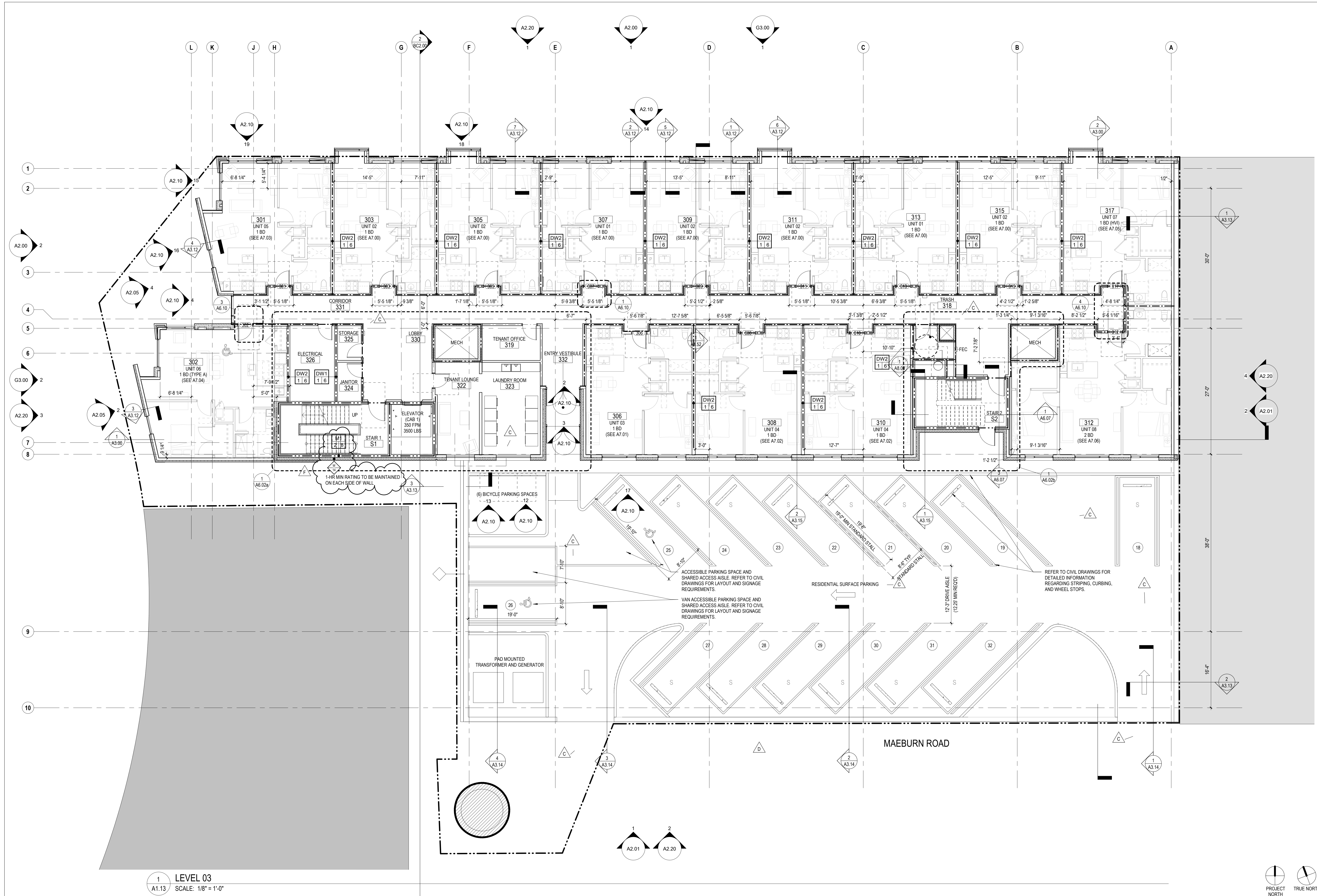
Scale: 1/8" = 1'-0"

Date: 03/27/2020

PHFA Number: TC2019-455/O-1345

BCJ Project Number: 18206

A1.13



1 LEVEL 03
A1.13 SCALE: 1/8" = 1'-0"

- LEGEND**
- MANUEVER CLEARANCE
 - LANDSCAPE AREA
 - SHAFT WALL TYPE

- GENERAL NOTES**
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OVERALL BUILDING AREAS

LEVEL	GROSS FLOOR AREA	RETAIL	INTERIOR AMENITY	UNIT AREA	UNIT COUNT	PARKING*	COMMON + LOBBY	CRG (CORRIDOR, STAIRS, ETC.)	SHAFTS + ESH + MISC.	
L06	1,549		889		171	411			248	
L05	13,028	134	13,028	14	261	2,085			165	
L04	13,785		13,873	15	241	2,087			554	
L03	22,464		9,963	14	8,839	19	261	2,274	554	
L02	14,276		10,899	17	397	795			3,386	
L01	10,022	10,266			781	2,687			1,263	
TOTALS	80,064.00	10,266.00	1,416	30,864	43	18,648	30	1,982	10,361	5,937

*ITALICS EXTERIOR AREA

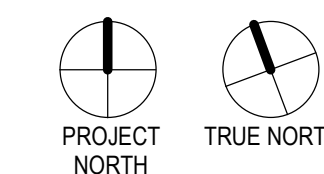
LEVEL	NET FLOOR AREA PHFA	RETAIL	INTERIOR AMENITY	UNIT AREA	UNIT COUNT	PARKING*	COMMON + LOBBY	CRG (CORRIDOR, STAIRS, ETC.)	SHAFTS + ESH + MISC.
L06	1,775		895		146	291			85
L05	11,747	118	11,747	14	244	1,913			297
L04	12,415		9,941	15	244	1,933			297
L03	12,191		9,063	14	264	2,035			297
L02	3,652		10,899	17	297	628			3,036
L01	13,860	9,629			727	2,265			1,150
TOTALS	54,064.00	9,629.00	1,250	28,179	43	13,901	9,295	4,211	4,211

*ITALICS EXTERIOR AREA
*MARKING OF 40% OF TOTAL PERMITTED TO BE SIZED AS COMPACT STALLS (13) - (10) PROVIDED

SHEET NOTES

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 - FE-C CLASS I STANDPIPE
 - EXIT ILLUMINATED EXIT SIGNAGE (REFER TO ELECTRICAL FOR LOCATIONS OF ADDITIONAL ILLUMINATED EGRESS SIGNS)
- 1 HOUR FIRE RATING
2 HOUR FIRE RATING
3 HOUR FIRE RATING



FLATS ON FORWARD

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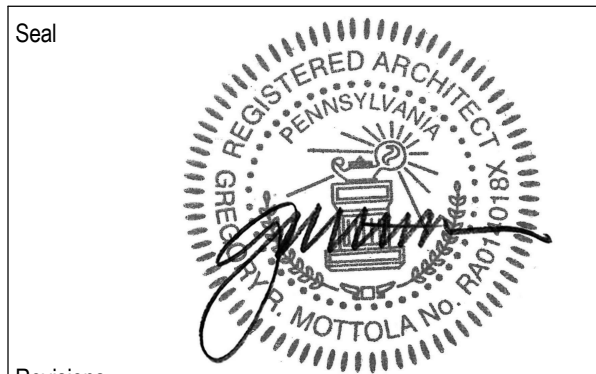
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PERMIT / BID SET

LEVEL 02 FLOOR PLAN

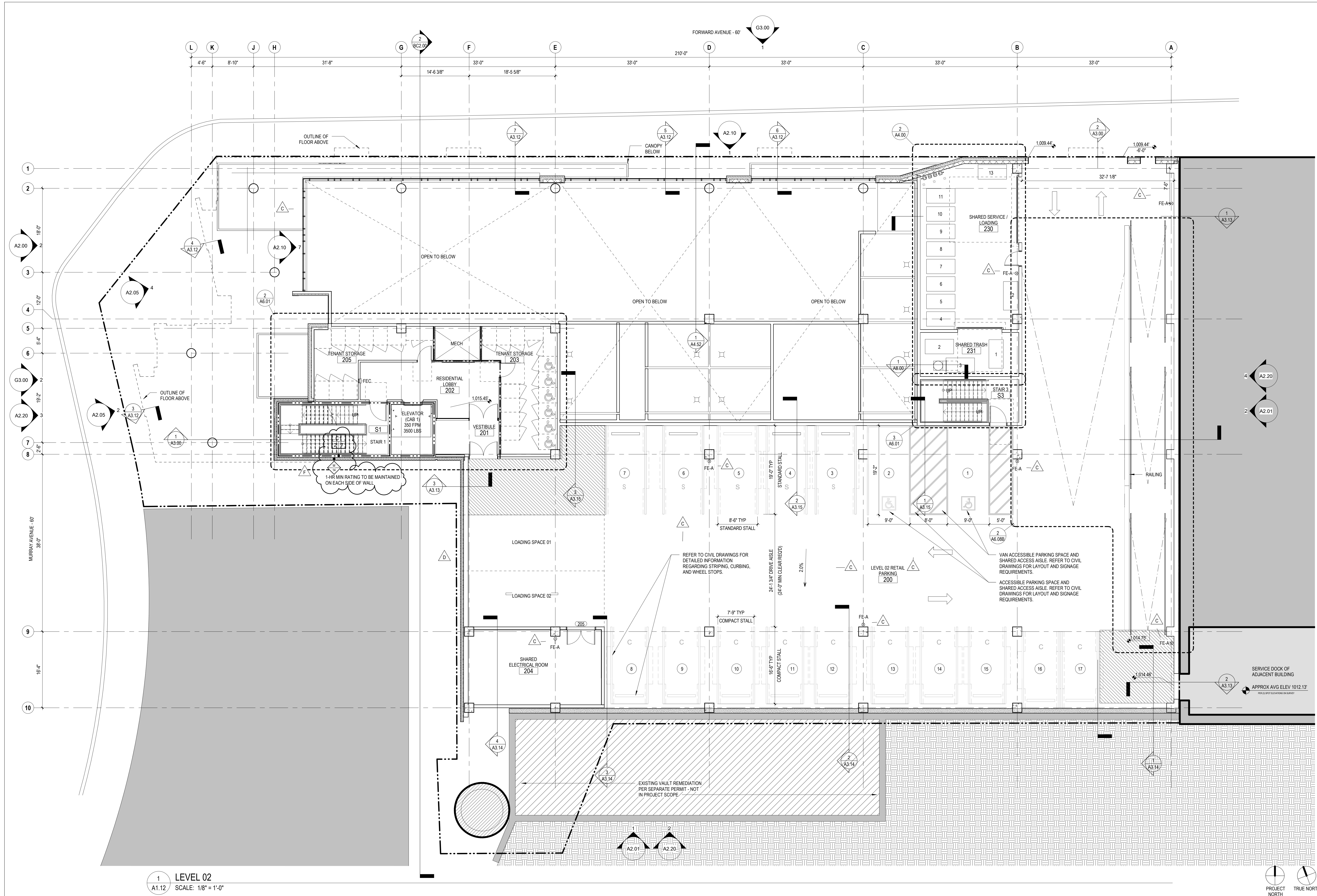
Scale 1/8" = 1'-0"

Date 03/27/2020

PHFA Number TC2019-455/O-1345

BCJ Project Number 18206

A1.12



1 LEVEL 02
A1.12 SCALE: 1/8" = 1'-0"

LEGEND

GENERAL NOTES

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AND ARE WALL TYPE U.N.O.
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L06	1,549		889				171	441	248
L05	13,028	134		13,028	14		261	2,005	163
L04	13,735			13,735	15		241	2,087	554
L03	22,464		993	9,963	14	8,839	261	2,274	554
L02	14,276			14,276			297	792	3,386
L01	10,022	10,266					731	2,687	1,263
TOTALS	80,064.00	10,266.00	1,416	30,864	43	18,648	1,362	10,361	5,837

LEVEL	NET FLOOR AREA PHFA	RETAIL	INTERIOR AMENITY	UNIT AREA	UNIT COUNT	PARKING*	COMMON + LOBBY	CRG (CORRIDOR, STAIRS, ETC.)	SHAFTS + ECH + MISC.
L06	1,175		659				145	291	85
L05	11,747	118		11,747	14		244	1,913	297
L04	12,415			12,415	15		244	1,933	297
L03	12,191		529	9,963	14	N/A	244	2,031	297
L02	3,622						297	628	2,026
L01	13,660	9,629					727	2,265	1,150
TOTALS	54,464.00	9,825.00	1,256	28,179	43		1,301	9,235	4,211

*ITALICS EXTERIOR AREA
*MAXIMUM OF 40% OF TOTAL PERMITTED TO BE SIZED AS COMPACT STALLS (13) (10) PROVIDED

SHEET NOTES

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 - EXIT ILLUMINATED EXIT SIGNAGE (REFER TO ELECTRICAL FOR LOCATIONS OF ADDITIONAL ILLUMINATED EGRESS SIGNS)
 - CLASS / STANDPIPE
- 1 HOUR FIRE RATING
2 HOUR FIRE RATING
3 HOUR FIRE RATING



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

3/19/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER First National Insurance Agency, LLC 12 Federal Street Suite 405 One North Shore Center Pittsburgh PA 15212	CONTACT NAME: Tracey Spearman PHONE (A/C. No. Ext): 919-659-9032 E-MAIL ADDRESS: info@fnb-corp.com		FAX (A/C. No.): 412-231-0249
	INSURER(S) AFFORDING COVERAGE		NAIC #
INSURED Flats on Forward, LP 611 William Penn Place, Suite 800 Pittsburgh PA 15219	INSURER A : Nautilus Insurance Company	17370	
	INSURER B :		
	INSURER C :		
	INSURER D :		
	INSURER E :		
	INSURER F :		

COVERAGES

CERTIFICATE NUMBER: 945590745

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:	Y		NN1124799	5/31/2020	5/31/2021	EACH OCCURRENCE	\$ 1,000,000
							DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 100,000
							MED EXP (Any one person)	\$ 5,000
							PERSONAL & ADV INJURY	\$ 1,000,000
							GENERAL AGGREGATE	\$ 3,000,000
							PRODUCTS - COMP/OP AGG	\$
								\$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS ONLY						COMBINED SINGLE LIMIT (Ea accident)	\$
							BODILY INJURY (Per person)	\$
							BODILY INJURY (Per accident)	\$
							PROPERTY DAMAGE (Per accident)	\$
								\$
	UMBRELLA LIAB <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$						EACH OCCURRENCE	\$
							AGGREGATE	\$
								\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A				PER STATUTE	OTHER
							E.L. EACH ACCIDENT	\$
							E.L. DISEASE - EA EMPLOYEE	\$
							E.L. DISEASE - POLICY LIMIT	\$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

The City of Pittsburgh is named as Additional Insured but only with respects to general liability and the operation of the named insured as per written contract.

CERTIFICATE HOLDER**CANCELLATION**

The City of Pittsburgh
 414 Grant Street
 Pittsburgh PA 15219

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

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